

217 WEST 57TH STREET
NEW YORK, NY

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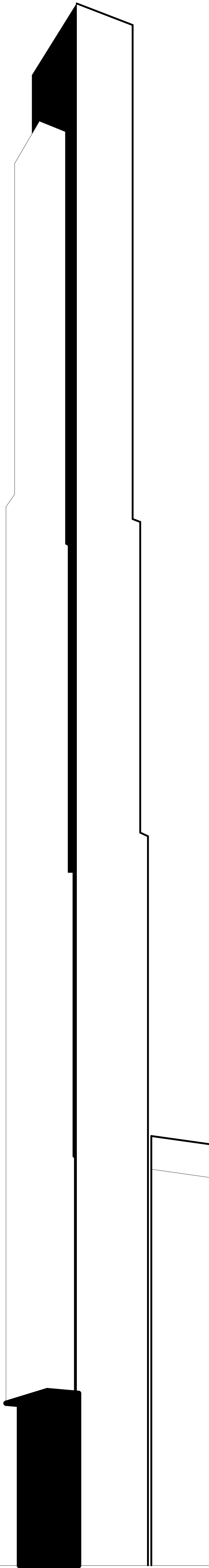
CURTAIN WALL CONSULTANT:

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LANDMARK/PRESERVATION CONSULTANT:

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ARCHITECTURAL - 03 OCTOBER 2016 - D.O.B. AMENDMENT 3



ZONING CALCULATIONS

Map 8c BLOCK / LOTS : 1029 / 14, 19, 23, 27, 36, 37, 43, 47 and 50

1. ZONING DISTRICTS

C5-1
C5-3 MID
C6-6 MID

2. LOT AREA

C5-1

44,686 SF

C5-3 MID
C6-6 MID
Sub-Total MID

31,171 SF
15,058 SF
46,229 SF

Total

90,915 SF

3. USES PERMITTED

C5-1
C5-3 MID
C6-6 MID

UG 1-6, 9-11
UG 1-6, 9-11
UG 1-12

4. USES PROPOSED

Existing to Remain:

C5-1
C5-3 / C6-6 MID

UG 3 - School
UG 2 - Residential
UG 4 - Not for Profit without
Sleeping Accommodation
UG 6 - Commercial

Proposed New Building :

C5-1 / C5-3 MID

UG 2 - Residential
UG 6 - Retail
UG 10 - Large Retail

5. FLOOR AREA PERMITTED

A) FAR PERMITTED

1. C5-1

Commercial
Residential
w/ Inclusionary Housing Bonus
Community Facility

4 FAR
10 FAR
12 FAR
10 FAR

Inclusionary Housing Provided

Off-Site New Construction
Bonus Rate 3.5 FAR
Floor Area Permitted
FAR Permitted

25,533.5 SF
25,533.5 SF X 3.5 = 89,367 SF
(44,686 X 10) + 89,367 SF = 536,227 SF
536,227 SF / 44,686 = 12 FAR

2. C5-3 MID and C6-6 MID (zones are identical for Zoning Bulk purposes)

Commercial
Residential
w/ Residential Recreational Space Bonus
Community Facility

15 FAR
10 FAR
12 FAR
15 FAR

B) FLOOR AREA PERMITTED

1. C5-1

Commercial
Residential
Community Facility
Maximum FA Permitted

44,686 SF X 4 FAR 178,744 SF
44,686 SF X 12 FAR 536,232 SF *
44,686 SF X 10 FAR 446,860 SF
536,232 SF

2. C5-3 MID and C6-6 MID (zones are identical)

Commercial
Residential
Residential with Recreation Space
Community Facility
Maximum FA Permitted

46,229 SF X 15 FAR 693,435 SF
46,229 SF X 10 FAR 462,290 SF
46,229 SF X 12 FAR 554,748 SF
693,435 SF
693,435 SF

3. Total Zoning Lot

Maximum Commercial
Maximum Residential
Maximum Community Facility
Maximum FA Permitted

872,179 SF
1,050,980 SF *
1,140,295 SF
1,229,667 SF

* Note : Residential 10 FAR identical between Districts and may be located in any Zone

6. FLOOR AREA PROPOSED (See Floor Area Schedule Z-003)

1. C5-1

Existing Buildings :
Retail
Residential
Community Facility
Total

3,527 SF
82,603 SF
71,010 SF
157,140 SF

New Building :

Retail
Residential
Total

72,837 SF
536,241 SF
609,078 SF

Total C5-1 Zone :

Retail
Residential
Community Facility
Total

76,364 SF
618,844 SF
71,010 SF
766,218 SF

2. C5-3 MID and C6-6 MID

Existing Buildings :
Retail
Residential
Community Facility
Total

5,638 SF
157,145 SF
26,397 SF
189,180 SF

New Building :

Retail
Residential
Total

97,463 SF
159,036 SF
256,499 SF

Total C5-3 MID and C6-6 MID Zones :

Retail
Residential
Community Facility
Total

103,101 SF
316,181 SF
26,397 SF
445,679 SF

3. Total Zoning Lot

Existing Buildings :
Retail
Residential
Community Facility
Total

9,165 SF
239,748 SF
97,407 SF
346,320 SF

New Building :

Retail
Residential
Total

170,300 SF
695,277 SF
865,577 SF

Total Zoning Lots :

Retail
Residential
Community Facility
Total

179,465 SF
935,025 SF
97,407 SF
1,211,897 SF

7. DWELLING UNITS PERMITTED (See Floor Area Schedule)

A) Maximum Floor Area
B) Non-Residential Floor Area
C) Floor Area for Dwelling Units
D) Maximum Dwelling Units
E) Proposed

1,211,897 SF
179,465 SF + 97,407 SF 276,872 SF
1,211,897 SF + 276,872 SF 935,025 SF
935,025 SF / 790 SF per unit 1184 D.U.
179 D.U. + 170 Existing D.U. 349 D.U.

8. REQUIRED OFF-STREET LOADING

A) Retail Floor Area
0 - 25,000 SF
Next 15,000 SF (25,001 - 40,000 SF)
Next 60,000 SF (40,001 - 100,000 SF)
Each additional 150,000 (100,001 - 250,000 SF)

Berths Required
0
1
1
1
2
3 ...

Total
0
1
2
3 ...

New Retail Floor Area Provided
Above Grade Retail Floor Area = 168,513 SF
Below Grade Retail Sales Only Floor Area = 68,549 SF
(see 3 and 4 / Z-008.00)
Total New Retail Floor Area = 237,062 SF

B) Residential

None Required

Off-Street Loading Berths Required

OFF-STREET LOADING BERTHS PROVIDED

Size of required Berths

Berths Required
0
3
3
3

Total
0
3
3
3

(see 1 / Z-045)

COMPLIES

9. ACCESSORY OFF-STREET PARKING

A) None Required

PARKING PROVIDED

None

COMPLIES

10. BICYCLE PARKING

Required Bicycle Parking (15 SF / Bicycle) :
Residential : 1 Bicycle per 2 Dwelling Units
Retail : 1 Bicycle / 10,000 SF

179 D.U. / 2 = 90 BICYCLES
238,836 SF / 10,000 = 24 BICYCLES

Total Bicycles required
Total Bicycle Parking Space required

90 + 24 = 114
(90 X 9 SF) + (24 X 15 SF) = 1170 SF

BICYCLE PARKING SPACE PROVIDED

1215 SF (See Z-045)

COMPLIES

11. STREETSCAPE

A) Street Wall Continuity - C5-3 - West 57th Street

Street Wall Continuity

See Z-041

COMPLIES

B) Street Wall Continuity - C5-3 - Broadway

Street Wall Continuity

See Z-042

COMPLIES

C) Street Wall Continuity - C5-1 - West 58th Street

Sign Regulations

See Z-043

COMPLIES

D) Retail Continuity - C5-1 and C5-3

Sign Regulations
Street Wall Articulation
Glazing Requirements

See Z-043
See Z-044
See Z-044

COMPLIES

E) Special Urban Design Requirements C5-1

Curb Cuts
Central Refuse Storage Area

See Z-045
See Z-045

COMPLIES

F) Special Urban Design Requirements C5-3

Pedestrian Circulation Space
Major Building Entrances

See Z-046
See Z-046

COMPLIES

Waiver of Relocation of Subway Stair at Seventh Avenue to be Requested Pursuant to Section 37-44

12. STREETSCAPE TREE PLANTING

A) Required number of trees : One every 25' of Street Frontage of the Zoning Lot
Length of Street Frontage 1,099.61'
Trees Required (one street tree / 25') 1,099.61' / 25' = 44 Trees

TREES PROVIDED 2 Existing Trees +

42 New Off Site Trees = 44 Trees (see Z-047)

COMPLIES

13. YARD EQUIVALENTS

REAR YARD PROVIDED

Yes (see Z-048)

COMPLIES

14. RESIDENTIAL RECREATIONAL SPACE

Residential floor area in C5-3 / C6-6 zones exceed 10 FAR. Recreational space is required in C5-3 / C6-6.

A) Recreational Space Required

5,000 SF

RESIDENTIAL RECREATIONAL SPACE PROVIDED 7,724 SF (see Z-049)

COMPLIES

15. HEIGHT AND SETBACK

C5-1 Height and Setback Regulations
A) Maximum Height of Front Walls and Required Setbacks
B) Tower Regulations
C) Special Tower Regulations for Mixed Buildings

COMPLIES

C5-1 HEIGHT AND SETBACK PROVIDED

See Z-050

COMPLIES

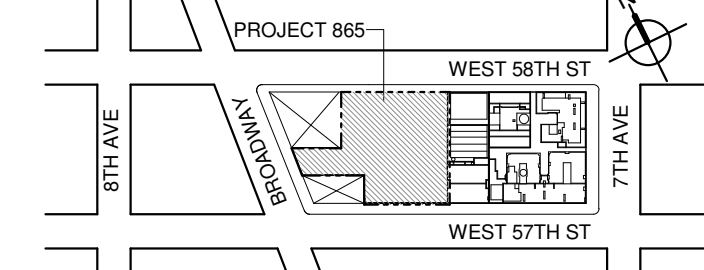
C5-3 Height and Setback Regulations
A) Alternative Height and Setback Regulations - Daylight Evaluation
B) Analysis Plan and Section Angles Scoring Schedules
C) Analysis Plan and Section Angles Scoring Charts

C5-3 HEIGHT AND SETBACK PROVIDED

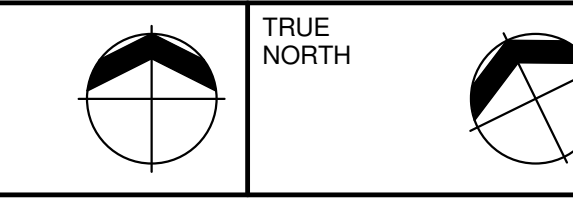
See Z-051 to Z-057.00

COMPLIES

KEY PLAN:



PROJECT NORTH



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No. DESCRIPTION: DATE:

1 D.O.B. SUBMISSION 05 DEC 14

2 D.O.B. SUBMISSION 18 FEB 15

D.O.B. SUBMISSION 27 APR 14

D.O.B. AMENDMENT 2 21 SEP 15

D.O.B. AMENDMENT 3 03 OCT 16

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

ZONING CALCULATIONS

SEAL & SIGNATURE:

DATE: 05 DEC 14

PROJECT No: 1216.00

DRAWN: Author REV: 2

SCALE: 1/84" = 1'-0"

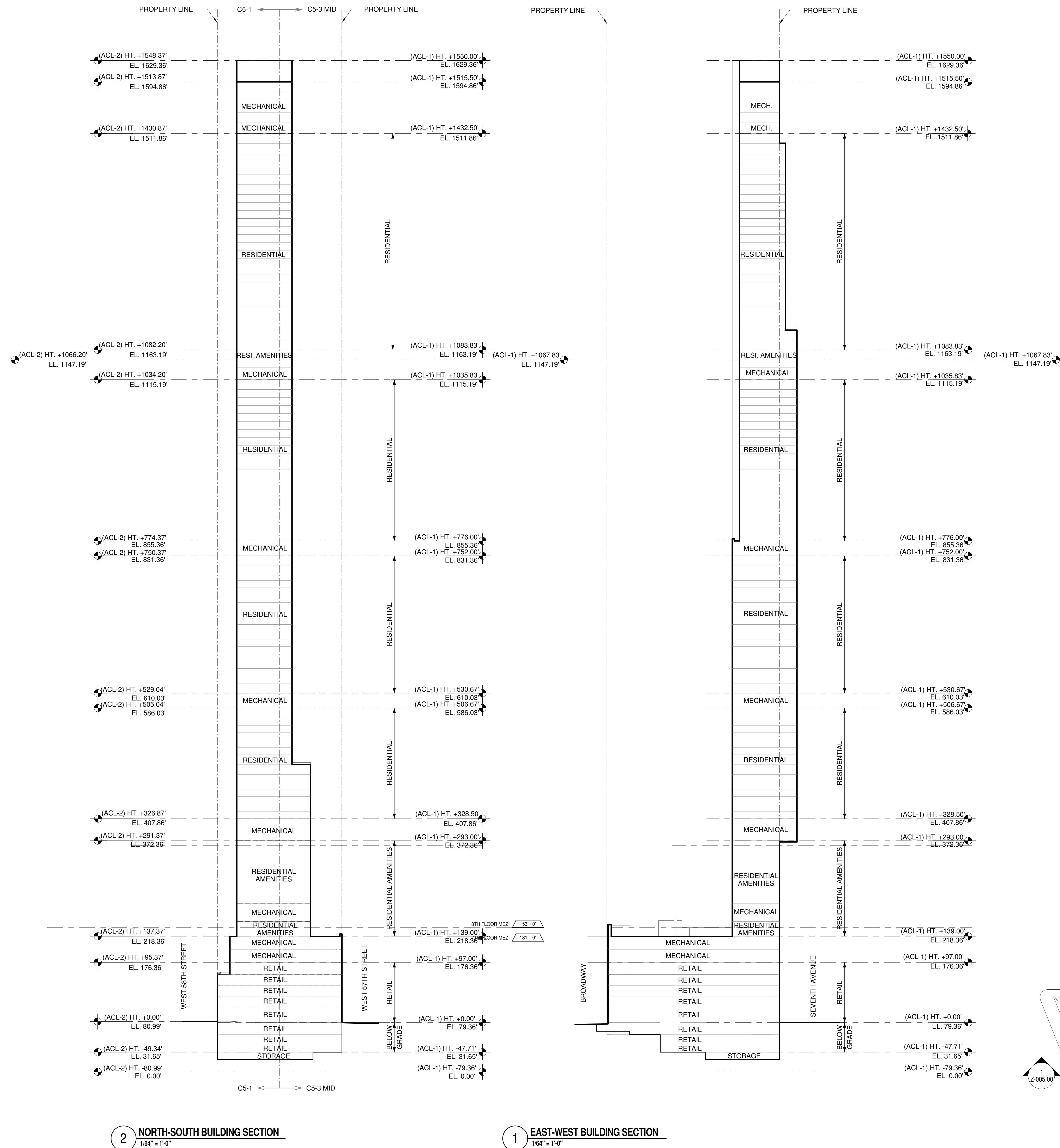
DWG No: Z-002.02

DOB PAGE No: 2 of 454

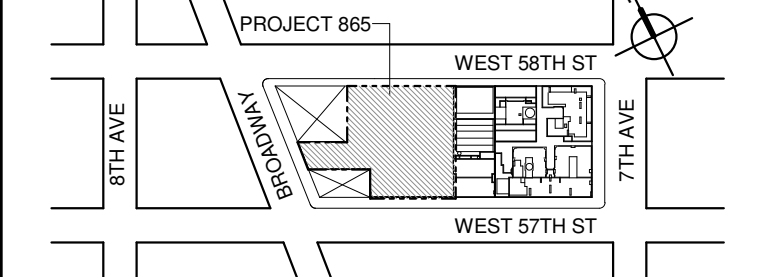
DOB EMPLOYEE STAMP: DOB B-SCAN:

NEW BUILDING FLOOR AREA: ABOVE GRADE

ABOVE GRADE	MARKETING FLOOR DESIGNATIONS		ZONE C5-1			ZONE C5-3 MID			TOTAL		
			GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA	GROSS	DEDUCTIONS	ZFA
GROUND FLOOR	GROUND FLOOR	RESIDENTIAL	3,960	106	3,854	4,234	168	4,076	8,204	274	7,930
GROUND FLOOR	GROUND FLOOR	RETAIL	15,622	2,985	12,636	16,866	532	16,334	32,488	3,517	28,971
TOTAL			19,581	3,091	16,490	21,110	700	20,410	40,692	3,791	36,900
2ND FLOOR	2ND FLOOR	RESIDENTIAL	919	106	813	251	197	53	1,170	304	866
2ND FLOOR	2ND FLOOR	RETAIL	16,279	393	15,886	20,591	715	19,876	36,870	1,108	35,762
TOTAL			17,198	499	16,699	20,842	913	19,929	38,040	1,412	36,628
3RD FLOOR	3RD FLOOR	RESIDENTIAL	933	120	813	443	390	53	1,377	510	867
3RD FLOOR	3RD FLOOR	RETAIL	16,297	448	15,849	20,901	537	20,364	37,198	985	36,213
TOTAL			17,230	569	16,661	21,344	927	20,417	38,575	1,495	37,079
4TH FLOOR	4TH FLOOR	RESIDENTIAL	936	123	813	443	390	53	1,379	513	866
4TH FLOOR	4TH FLOOR	RETAIL	16,294	451	15,843	20,399	528	19,871	36,663	979	35,714
TOTAL			17,230	574	16,656	20,842	917	19,925	38,072	1,492	36,581
5TH FLOOR	5TH FLOOR	RESIDENTIAL	936	123	813	451	397	53	1,386	520	867
5TH FLOOR	5TH FLOOR	RETAIL	13,071	448	12,623	20,894	510	20,384	33,965	958	33,007
TOTAL			14,007	571	13,436	21,344	907	20,438	35,351	1,478	33,873
6TH FLOOR MEP	6TH FLOOR	RESIDENTIAL	5,447	5,447	0	6,157	5,651	506	11,604	11,098	506
6TH FLOOR MEP	6TH FLOOR	RETAIL	8,626	8,626	0	14,507	14,507	0	23,133	23,133	0
TOTAL			14,073	14,073	0	20,664	20,158	506	34,737	34,231	506
7TH FLOOR MEP	7TH FLOOR	RESIDENTIAL	14,073	14,073	0	20,664	19,946	718	34,736	34,019	718
8TH FLOOR	14TH FLOOR	RESIDENTIAL	7,533	354	7,180	5,155	130	5,025	12,688	484	12,205
8TH FLOOR	14TH FLOOR	RETAIL	0	0	0	954	321	634	954	321	634
TOTAL			7,533	354	7,180	6,110	451	5,659	13,643	805	12,838
9TH FLOOR	15TH FLOOR	RESIDENTIAL	7,463	7,463	0	3,691	3,691	0	11,155	11,155	0
10TH FLOOR	16TH FLOOR	RESIDENTIAL	7,463	346	7,117	3,691	62	3,629	11,155	408	10,746
10TH FLOOR INTER 1	17TH FLOOR	RESIDENTIAL	7,463	7,463	0	3,691	3,691	0	11,155	11,155	0
10TH FLOOR INTER 2	18TH FLOOR	RESIDENTIAL	7,457	7,457	0	3,691	3,691	0	11,148	11,148	0
11TH FLOOR BMU	19TH FLOOR	RESIDENTIAL	7,463	7,463	0	3,691	3,691	0	11,155	11,155	0
12TH FLOOR MEP	20TH FLOOR	RESIDENTIAL	9,403	9,403	0	4,243	4,243	0	13,643	13,643	0
13TH FLOOR	32ND FLOOR	RESIDENTIAL	9,387	1,057	8,330	8,329	3,191	5,139	13,626	2,988	11,598
14TH FLOOR	33RD FLOOR	RESIDENTIAL	9,387	701	8,686	4,239	286	3,953	13,626	987	12,639
15TH FLOOR	34TH FLOOR	RESIDENTIAL	9,387	705	8,682	4,239	286	3,953	13,626	991	12,635
16TH FLOOR	35TH FLOOR	RESIDENTIAL	9,387	705	8,681	4,239	286	3,953	13,626	991	12,635
17TH FLOOR	36TH FLOOR	RESIDENTIAL	9,387	705	8,681	4,239	279	3,960	13,626	984	12,642
18TH FLOOR	37TH FLOOR	RESIDENTIAL	9,387	705	8,681	4,239	280	3,960	13,626	985	12,641
19TH FLOOR	38TH FLOOR	RESIDENTIAL	9,387	715	8,672	4,239	288	3,951	13,626	1,003	12,623
20TH FLOOR	39TH FLOOR	RESIDENTIAL	9,387	647	8,740	2,024	115	1,909	11,410	762	10,648
21ST FLOOR	40TH FLOOR	RESIDENTIAL	9,387	688	8,698	2,024	166	1,857	11,410	854	10,556
22ND FLOOR	41TH FLOOR	RESIDENTIAL	9,387	688	8,699	2,024	167	1,857	11,410	855	10,556
23RD FLOOR	42TH FLOOR	RESIDENTIAL	9,387	688	8,699	2,024	167	1,857	11,410	854	10,556
24TH FLOOR	43TH FLOOR	RESIDENTIAL	9,387	688	8,699	2,024	167	1,857	11,410	854	10,556
25TH FLOOR	44TH FLOOR	RESIDENTIAL	9,387	688	8,699	2,024	167	1,857	11,410	854	10,556
26TH FLOOR	45TH FLOOR	RESIDENTIAL	9,387	701	8,686	2,024	167	1,856	11,410	868	10,542
27TH FLOOR MEP	50TH FLOOR	RESIDENTIAL	9,202	9,202	0	1,973	1,973	0	11,175	11,175	0
28TH FLOOR	53RD FLOOR	RESIDENTIAL	7,061	502	6,559	2,024	116	1,908	9,084	617	8,467
29TH FLOOR	54TH FLOOR	RESIDENTIAL	7,061	475	6,586	2,024	142	1,882	9,084	616	8,468
30TH FLOOR	55TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
31ST FLOOR	56TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
32ND FLOOR	57TH FLOOR	RESIDENTIAL	7,061	475	6,586	2,024	142	1,882	9,084	616	8,468
33RD FLOOR	58TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
34TH FLOOR	59TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
35TH FLOOR	60TH FLOOR	RESIDENTIAL	7,061	475	6,586	2,024	142	1,882	9,084	616	8,468
36TH FLOOR	61ST FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
37TH FLOOR	62ND FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
38TH FLOOR	63RD FLOOR	RESIDENTIAL	7,061	475	6,586	2,024	142	1,882	9,084	616	8,468
39TH FLOOR	64TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
40TH FLOOR	65TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
41ST FLOOR	66TH FLOOR	RESIDENTIAL	7,061	475	6,586	2,024	142	1,882	9,084	616	8,468
42ND FLOOR	67TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
43RD FLOOR	68TH FLOOR	RESIDENTIAL	7,061	457	6,604	2,024	142	1,882	9,084	598	8,486
44TH FLOOR	69TH FLOOR	RESIDENTIAL	7,061	475	6,586	2,024	142	1,882	9,084	616	8,468
45TH FLOOR	70TH FLOOR	RESIDENTIAL	7,061	465	6,596	2,024	144	1,880	9,084	608	8,476
46TH FLOOR MEP	71ST FLOOR	RESIDENTIAL	6,929	6,929	0	1,960	1,960	0	8,889	8,889	0
47TH FLOOR	72TH FLOOR	RESIDENTIAL	6,764	422	6,342	2,024	103	1,921	8,788	525	8,263
48TH FLOOR	73TH FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
49TH FLOOR	74TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
50TH FLOOR	75TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
51ST FLOOR	81ST FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
52ND FLOOR	82ND FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
53RD FLOOR	83RD FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
54TH FLOOR	84TH FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
55TH FLOOR	85TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
56TH FLOOR	86TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
57TH FLOOR	87TH FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
58TH FLOOR	88TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
59TH FLOOR	89TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
60TH FLOOR	90TH FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
61ST FLOOR	91ST FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
62ND FLOOR	92ND FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
63RD FLOOR	93RD FLOOR	RESIDENTIAL	6,644	440	6,204	1,874	110	1,764	8,518	550	7,968
64TH FLOOR	94TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
65TH FLOOR	95TH FLOOR	RESIDENTIAL	6,644	422	6,222	1,874	110	1,764	8,518	532	7,986
66TH FLOOR	96TH FLOOR	RESIDENTIAL	6,644	432	6,212	1,874	112	1,762	8,518	544	7,974
67TH FLOOR MEP	97TH FLOOR	RESIDENTIAL	6,553	6,553	0	1,823	1,823	0	8,377	8,377	0
67TH FLOOR INTER	98TH FLOOR	RESIDENTIAL	6,595	6,595	0	1,766	1,766	0	8,361	8,361	0
68TH FLOOR	100TH FLOOR	RESIDENTIAL	6,646	278	6,368	1,875	178	1,697	8,522	456	8,066
69TH FLOOR	101TH FLOOR	RESIDENTIAL	6,285	319	5,966	1,873	127	1,746	8,158	445	7,712
70TH FLOOR	102TH FLOOR	RESIDENTIAL	6,284	2,032	4,252	1,874	728	1,145	8,158	2,760	5,397
71ST FLOOR	103TH FLOOR	RESIDENTIAL	6,329	360	5,968	1,507	133	1,374	7,835	493	7,342
72ND FLOOR	104TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
73RD FLOOR	111TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
74TH FLOOR	112TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
75TH FLOOR	113TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
76TH FLOOR	114TH FLOOR	RESIDENTIAL	6,329	361	5,967	1,507	132	1,374	7,835	493	7,342
77TH FLOOR	115TH FLOOR	RESIDENTIAL	6,329	361	5,967						

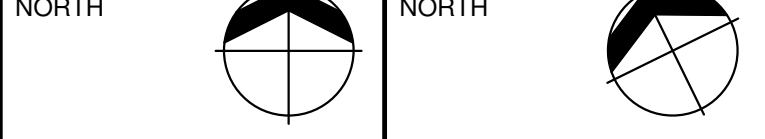


KEY PLAN:



PROJECT NORTH

TRUE NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
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AJLP Consulting
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TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14
	D.O.B. AMENDMENT 2	21 SEP 15
	D.O.B. AMENDMENT 3	03 OCT 16

0 16'-0" 32'-0" 64'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

BUILDING SECTIONS

SEAL & SIGNATURE: DATE: 05 DEC 14

PROJECT No: 1216.00

DRAWN: Author

CHK: Checker

SCALE: As indicated

DWG No: 2

Z-005.02

DOB PAGE No: 4 of 454

DOB EMPLOYEE STAMP: DOB B-SCAN:

GROUND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		3,900	106	3,854
RETAIL		15,622	2,985	12,636
TOTAL		19,581	3,091	16,490

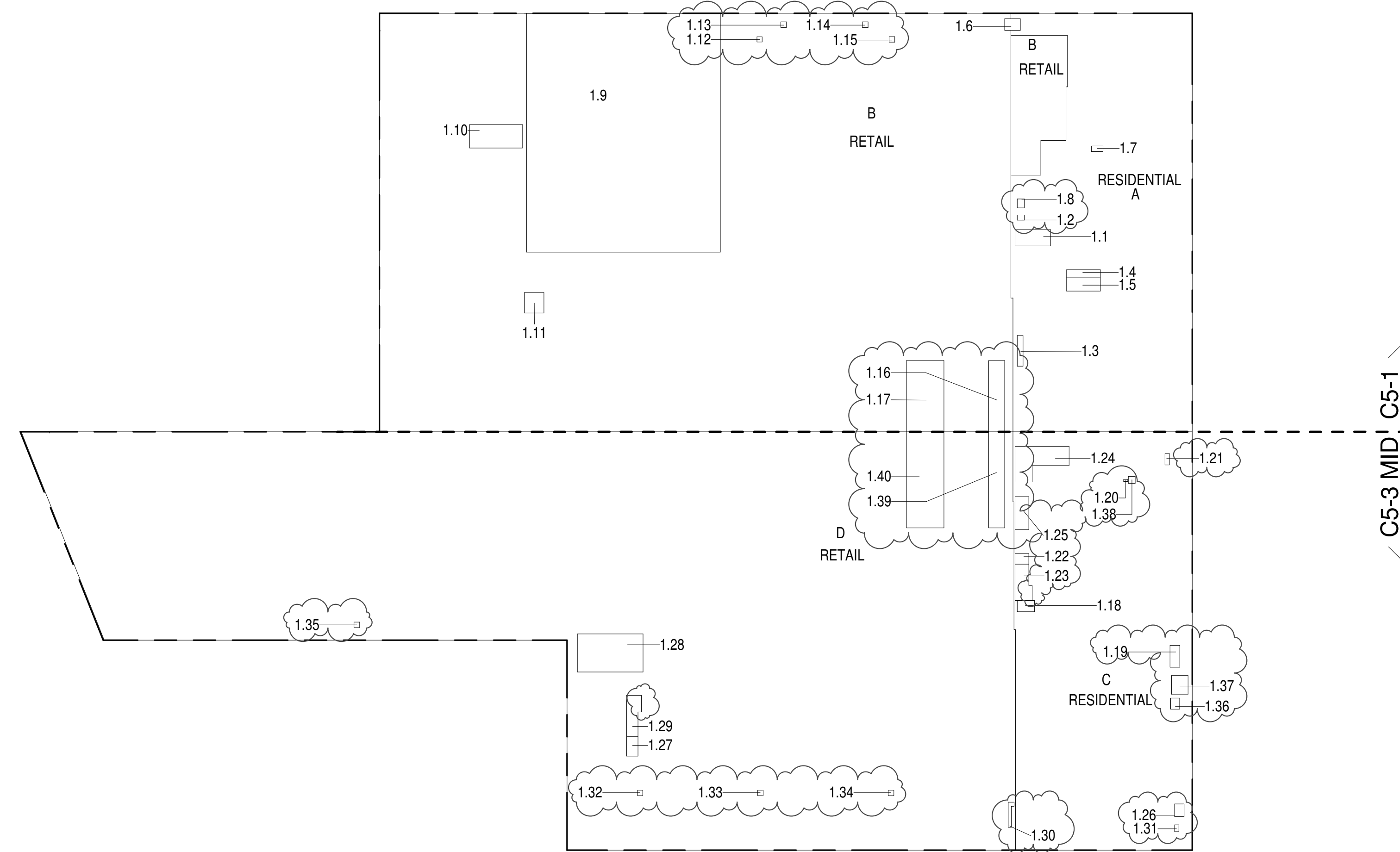
GROUND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		4,244	168	4,076
RETAIL		16,866	532	16,334
TOTAL		21,110	700	20,410

GROUND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		8,204	274	7,930
RETAIL		32,488	3,517	28,971
TOTAL		40,692	3,791	36,900

GROUND FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	1.1	3'-11"	8'-8"
RESIDENTIAL	P	1.2	1'-3"	1'-8"
RESIDENTIAL	P	1.3	1'-5"	7'-4"
RESIDENTIAL	P	1.4	1'-9"	8'-2"
RESIDENTIAL	M	1.5	3'-4"	8'-2"
RESIDENTIAL	P	1.6	2'-9"	3'-9"
RESIDENTIAL	P	1.7	1'-4"	2'-9"
RESIDENTIAL	P	1.8	1'-8"	2'-2"
SUBTOTAL				105.7
RETAIL	M	1.19	46'-5"	57'-4"
RETAIL	M	1.10	5'-8"	12'-8"
RETAIL	P	1.11	4'-8"	4'-11"
RETAIL	P	1.12	1'-3"	1'-3"
RETAIL	P	1.13	1'-4"	1'-4"
RETAIL	P	1.14	1'-4"	1'-4"
RETAIL	P	1.15	1'-4"	1'-4"
RETAIL	O	1.16	3'-10"	17'-1"
RETAIL	O	1.17	9'-0"	17'-1"
SUBTOTAL				2,985.3

* PERMITTED FLOOR AREA DEDUCTION FOR REQUIRED LOADING BERTHS: 200% OF 12 X 37 X 3 NOS. = 2,664 SF

GROUND FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	1.18	2'-8"	4'-2"
RESIDENTIAL	P	1.19	2'-4"	8'-3"
RESIDENTIAL	M	1.20	0'-6"	1'-0"
RESIDENTIAL	P	1.21	1'-0"	2'-9"
RESIDENTIAL	P	1.22	2'-7"	3'-3"
RESIDENTIAL	E	1.23	3'-4"	9'-6"
RESIDENTIAL	M	1.24	4'-5"	17'-1"
RESIDENTIAL	M	1.25	3'-3"	7'-11"
SUBTOTAL				168.3
RETAIL	M	1.26	2'-3"	3'-0"
RETAIL	M	1.27	2'-9"	4'-9"
RETAIL	M	1.28	9'-2"	15'-9"
RETAIL	E	1.29	2'-10"	10'-7"
RETAIL	P	1.30	0'-9"	6'-9"
RETAIL	M	1.31	1'-1"	1'-8"
RETAIL	P	1.32	1'-3"	1'-4"
RETAIL	P	1.33	1'-4"	1'-4"
RETAIL	P	1.34	1'-4"	1'-4"
RETAIL	P	1.35	1'-4"	1'-4"
RETAIL	M	1.36	2'-2"	2'-8"
RETAIL	P	1.37	4'-0"	4'-6"
RETAIL	P	1.38	1'-8"	1'-8"
RETAIL	O	1.39	3'-10"	23'-1"
RETAIL	O	1.40	9'-0"	23'-1"
SUBTOTAL				531.9



ZONING AND DEDUCT LEGEND

☐ DEDUCTIONS

M - MECHANICAL ROOM / RISER

E - ELECTRICAL SHAFT / RISER

P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)

G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

GROUND FLOOR (MFD: GROUND FLOOR) GROSS AREA PLAN AND DEDUCTIONS 364" = 1'-0" 1

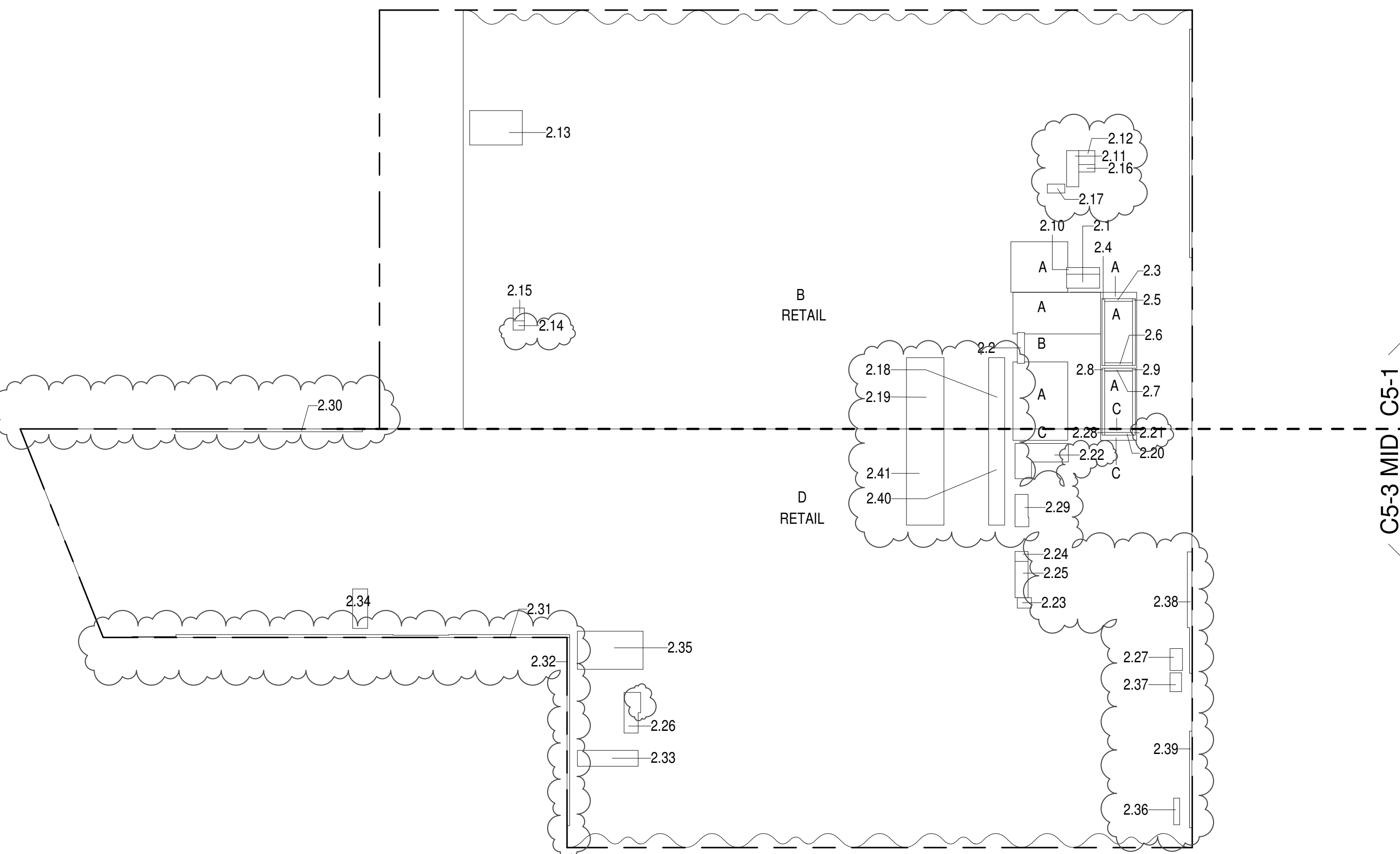
2ND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		919	106	813
RETAIL		16,279	393	15,886
TOTAL		17,198	499	16,699

2ND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		251	197	53
RETAIL		20,591	715	19,876
TOTAL		20,842	913	19,929

2ND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,170	304	866
RETAIL		36,870	1,108	35,762
TOTAL		38,040	1,412	36,628

2ND FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	2.1	3'-4"	7'-11"
RESIDENTIAL	P	2.2	1'-9"	7'-4"
RESIDENTIAL	ST	2.3	0'-8"	6'-8"
RESIDENTIAL	ST	2.4	0'-8"	16'-1"
RESIDENTIAL	ST	2.5	0'-8"	16'-1"
RESIDENTIAL	ST	2.6	0'-8"	6'-8"
RESIDENTIAL	ST	2.7	0'-8"	7'-0"
RESIDENTIAL	ST	2.8	0'-8"	14'-7"
RESIDENTIAL	ST	2.9	0'-8"	14'-2"
RESIDENTIAL	P	2.10	1'-7"	7'-11"
SUBTOTAL				106.3
RETAIL	M	2.11	2'-11"	8'-8"
RETAIL	M	2.12	3'-4"	3'-10"
RETAIL	M	2.13	8'-3"	12'-8"
RETAIL	P	2.14	2'-3"	2'-9"
RETAIL	M	2.15	2'-9"	3'-1"
RETAIL	P	2.16	1'-10"	3'-10"
RETAIL	P	2.17	2'-2"	4'-3"
RETAIL	O	2.18	3'-10"	17'-1"
RETAIL	O	2.19	9'-0"	17'-1"
SUBTOTAL				392.8

2ND FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	ST	2.20	0'-8"	6'-8"
RESIDENTIAL	ST	2.21	0'-8"	1'-6"
RESIDENTIAL	M	2.22	4'-3"	16'-11"
RESIDENTIAL	P	2.23	2'-6"	3'-5"
RESIDENTIAL	P	2.24	2'-2"	3'-1"
RESIDENTIAL	E	2.25	3'-1"	8'-8"
RESIDENTIAL	E	2.26	3'-6"	10'-3"
RESIDENTIAL	P	2.27	3'-0"	5'-3"
RESIDENTIAL	ST	2.28	0'-8"	1'-6"
RESIDENTIAL	M	2.29	3'-1"	8'-0"
SUBTOTAL				197.3
RETAIL	M	2.30	0'-8"	44'-9"
RETAIL	G	2.31	0'-7"	105'-3"
RETAIL	G	2.32	0'-8"	45'-2"
RETAIL	M	2.33	3'-10"	14'-7"
RETAIL	M	2.34	3'-7"	9'-5"
RETAIL	M	2.35	9'-2"	15'-9"
RETAIL	P	2.36	1'-5"	16'-9"
RETAIL	P	2.37	2'-9"	4'-6"
RETAIL	G	2.38	0'-11"	29'-4"
RETAIL	G	2.39	0'-7"	23'-2"
RETAIL	O	2.40	3'-10"	23'-1"
RETAIL	O	2.41	9'-0"	23'-1"
SUBTOTAL				715.4



2ND FLOOR (MFD: 2ND FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 2

3RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		933	120	813
RETAIL		16,297	448	15,849
TOTAL		17,230	569	16,662

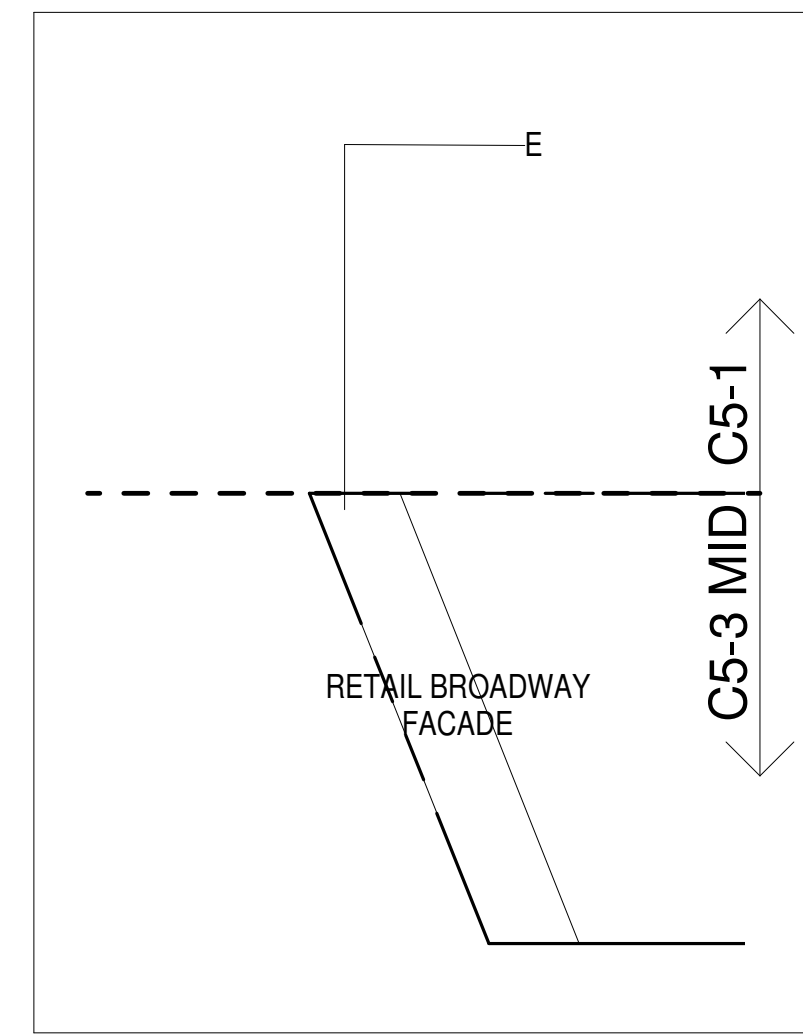
3RD FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		443	390	53
RETAIL		20,399	537	19,862
TOTAL		20,842	927	19,915

3RD FLOOR BROADWAY FACADE AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RETAIL	E	502	0	502
TOTAL		502	0	502

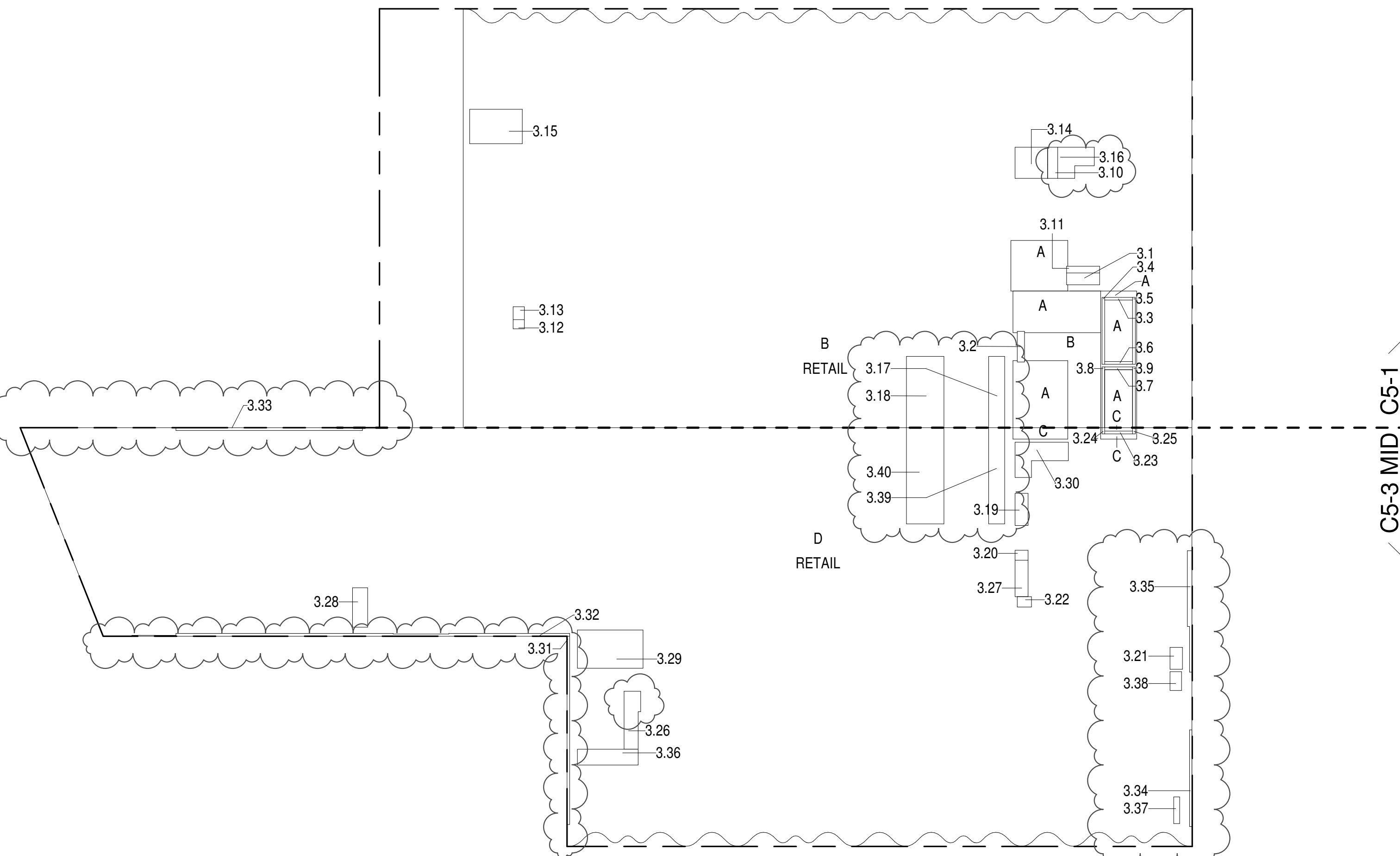
3RD FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,377	510	867
RETAIL		37,198	985	36,213
TOTAL		38,575	1,495	37,079

3RD FLOOR FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	3.1	2'-10"	7'-11"
RESIDENTIAL	P	3.2	1'-9"	7'-4"
RESIDENTIAL	ST	3.3	0'-8"	6'-8"
RESIDENTIAL	ST	3.4	0'-8"	16'-1"
RESIDENTIAL	ST	3.5	0'-8"	16'-1"
RESIDENTIAL	ST	3.6	0'-8"	6'-8"
RESIDENTIAL	ST	3.7	0'-8"	6'-8"
RESIDENTIAL	ST	3.8	0'-8"	14'-7"
RESIDENTIAL	ST	3.9	0'-8"	14'-2"
RESIDENTIAL	M	3.10	2'-5"	7'-6"
RESIDENTIAL	P	3.11	1'-7"	7'-11"
SUBTOTAL				120.3
RETAIL	P	3.12	2'-3"	2'-9"
RETAIL	M	3.13	2'-9"	3'-1"
RETAIL	M	3.14	7'-6"	7'-10"
RETAIL	M	3.15	6'-3"	12'-8"
RETAIL	M	3.16	4'-4"	11'-11"
RETAIL	O	3.17	3'-10"	17'-1"
RETAIL	O	3.18	9'-0"	17'-1"
SUBTOTAL				448.4

3RD FLOOR FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	3.19	3'-1"	7'-9"
RESIDENTIAL	P	3.20	2'-5"	3'-1"
RESIDENTIAL	P	3.21	3'-0"	9'-3"
RESIDENTIAL	P	3.22	2'-6"	3'-5"
RESIDENTIAL	ST	3.23	0'-8"	8'-8"
RESIDENTIAL	ST	3.24	0'-8"	1'-6"
RESIDENTIAL	ST	3.25	0'-8"	1'-6"
RESIDENTIAL	E	3.26	3'-5"	14'-5"
RESIDENTIAL	E	3.27	3'-1"	8'-8"
RESIDENTIAL	M	3.28	3'-8"	9'-5"
RESIDENTIAL	M	3.29	9'-2"	15'-9"
RESIDENTIAL	M	3.30	4'-3"	16'-11"
SUBTOTAL				390.7
RETAIL	G	3.31	0'-8"	45'-2"
RETAIL	G	3.32	0'-7"	105'-3"
RETAIL	G	3.33	0'-8"	44'-9"
RETAIL	G	3.34	0'-7"	23'-2"
RETAIL	G	3.35	0'-11"	29'-4"
RETAIL	M	3.36	3'-10"	14'-7"
RETAIL	P	3.37	1'-5"	6'-5"
RETAIL	P	3.38	2'-9"	4'-6"
RETAIL	O	3.39	3'-10"	23'-1"
RETAIL	O	3.40	9'-0"	23'-1"
SUBTOTAL				536.9



3RD FLOOR - BROADWAY FACADE 364" = 1'-0" 4



3RD FLOOR (MFD: 3RD FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 3

KEY PLAN:

PROJECT 005 - WEST 57TH ST

PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
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NEW YORK, NY 10022 USA
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DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
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MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza, 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 4

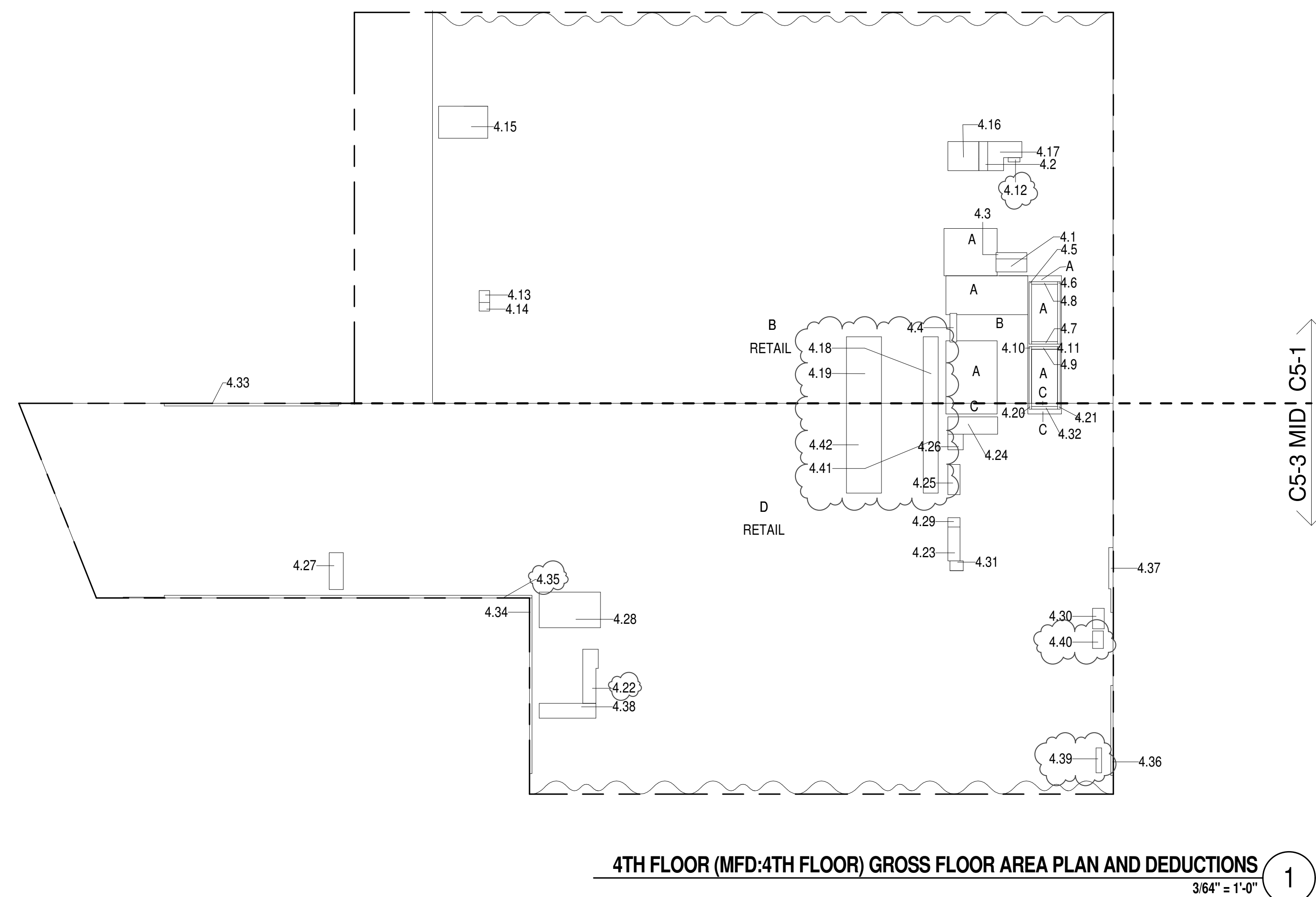
4TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	936	123		813
RETAIL		16,294	451	15,843
TOTAL		17,230	574	16,656

4TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	443	390		63
RETAIL		20,399	528	19,871
TOTAL		20,842	917	19,925

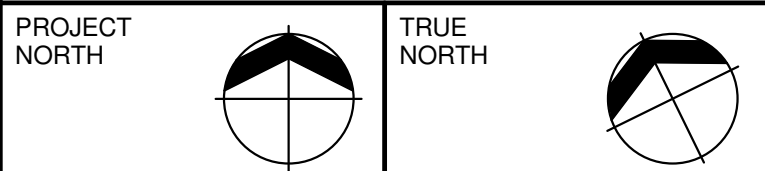
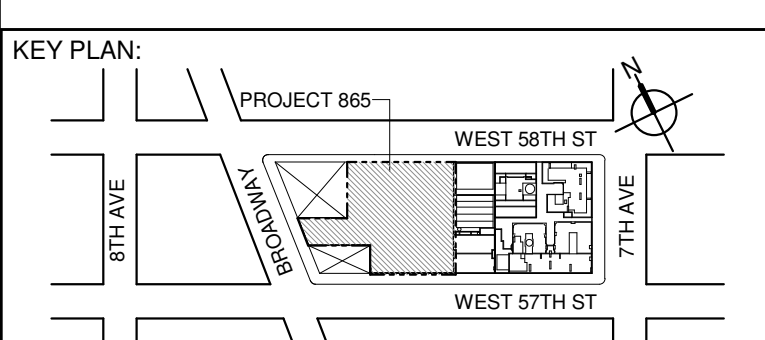
4TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	1,379	513		866
RETAIL		36,693	979	35,714
TOTAL		38,072	1,492	36,581

4TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	4.1	3'-4"	7'-11"	26.6
RESIDENTIAL	M	4.2	2'-3"	7'-6"	17.0
RESIDENTIAL	P	4.3	1'-7"	7'-11"	12.6
RESIDENTIAL	P	4.4	1'-9"	7'-4"	13.0
RESIDENTIAL	ST	4.5	0'-8"	16'-1"	10.7
RESIDENTIAL	ST	4.6	0'-8"	16'-1"	10.7
RESIDENTIAL	ST	4.7	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	4.8	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	4.9	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	4.10	0'-8"	14'-7"	9.7
RESIDENTIAL	ST	4.11	0'-8"	14'-7"	9.7
SUBTOTAL					123.4
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RETAIL	P	4.12	1'-1"	3'-0"	3.3
RETAIL	M	4.13	2'-8"	3'-1"	8.3
RETAIL	P	4.14	2'-3"	2'-9"	6.0
RETAIL	M	4.15	8'-3"	12'-8"	104.2
RETAIL	M	4.16	7'-6"	7'-11"	59.3
RETAIL	M	4.17	4'-2"	12'-2"	50.0
RETAIL	O	4.18	3'-10"	17'-1"	65.8
RETAIL	O	4.19	9'-0"	17'-1"	154.1
SUBTOTAL					451.1

4TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	4.20	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	4.21	0'-8"	1'-6"	1.0
RESIDENTIAL	E	4.22	3'-5"	14'-5"	49.5
RESIDENTIAL	E	4.23	3'-1"	8'-9"	27.1
RESIDENTIAL	M	4.24	4'-5"	12'-9"	56.7
RESIDENTIAL	M	4.25	3'-1"	7'-9"	24.0
RESIDENTIAL	M	4.26	3'-11"	4'-0"	15.8
RESIDENTIAL	M	4.27	3'-8"	9'-5"	34.3
RESIDENTIAL	M	4.28	9'-2"	15'-9"	144.3
RESIDENTIAL	P	4.29	2'-5"	3'-4"	8.4
RESIDENTIAL	P	4.30	3'-0"	5'-3"	15.6
RESIDENTIAL	P	4.31	2'-8"	3'-5"	9.5
RESIDENTIAL	ST	4.32	0'-8"	6'-8"	4.4
SUBTOTAL					389.6
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RETAIL	G	4.33	0'-8"	44'-9"	29.8
RETAIL	G	4.34	0'-8"	45'-2"	30.1
RETAIL	G	4.35	0'-7"	105'-11"	65.0
RETAIL	G	4.36	0'-7"	29'-2"	13.5
RETAIL	G	4.37	0'-11"	16'-10"	15.0
RETAIL	M	4.38	3'-10"	14'-7"	55.3
RETAIL	P	4.39	1'-5"	0'-5"	9.0
RETAIL	P	4.40	2'-9"	4'-6"	12.5
RETAIL	O	4.41	3'-10"	23'-1"	89.0
RETAIL	O	4.42	9'-0"	23'-1"	208.2
SUBTOTAL					527.5



- ZONING AND DEDUCT LEGEND**
- ☐ DEDUCTIONS
- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
- P - PLUMBING RISER
- BG - BELOW GRADE
- O - OPENING TO BELOW
- L - LOADING BAYS
- ST - 44\"/>



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No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14
	D.O.B. AMENDMENT 2	21 SEP 15
	D.O.B. AMENDMENT 3	03 OCT 16

5TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	936	123		813
RETAIL		13,071	448	12,623
TOTAL		14,007	571	13,436

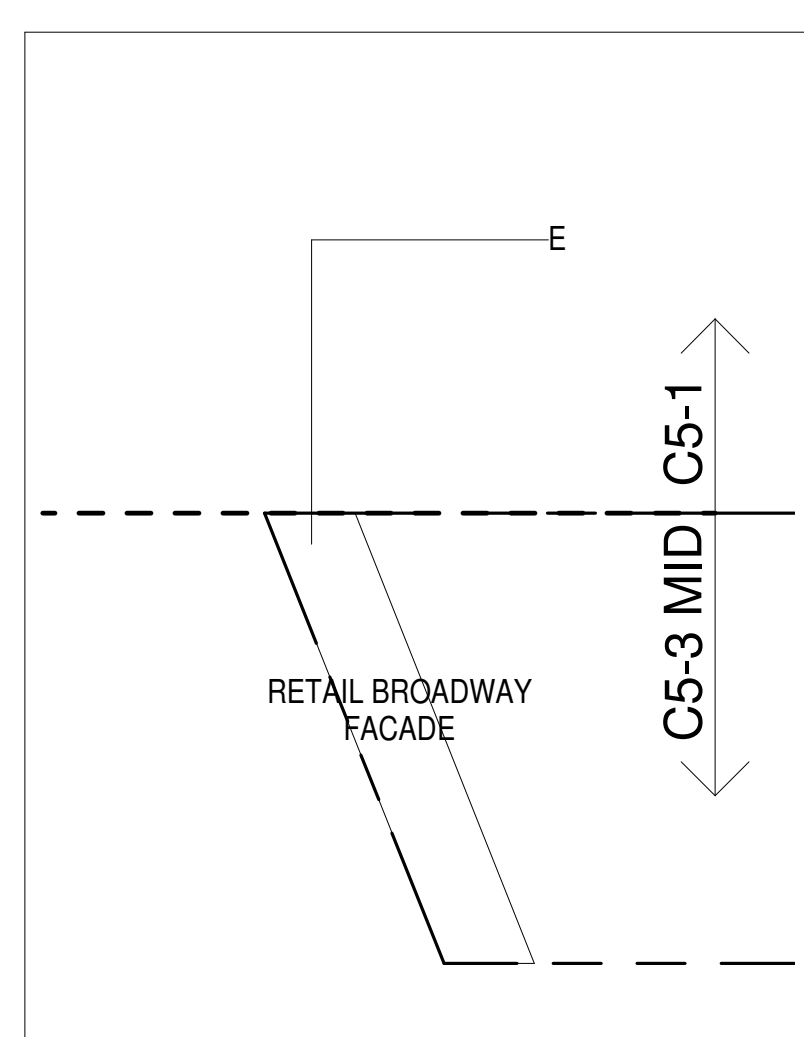
5TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	451	397		53
RETAIL		20,391	510	19,882
TOTAL		20,842	907	19,935

5TH FLOOR BROADWAY FACADE AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RETAIL	E	502	0	502
TOTAL		502	0	502

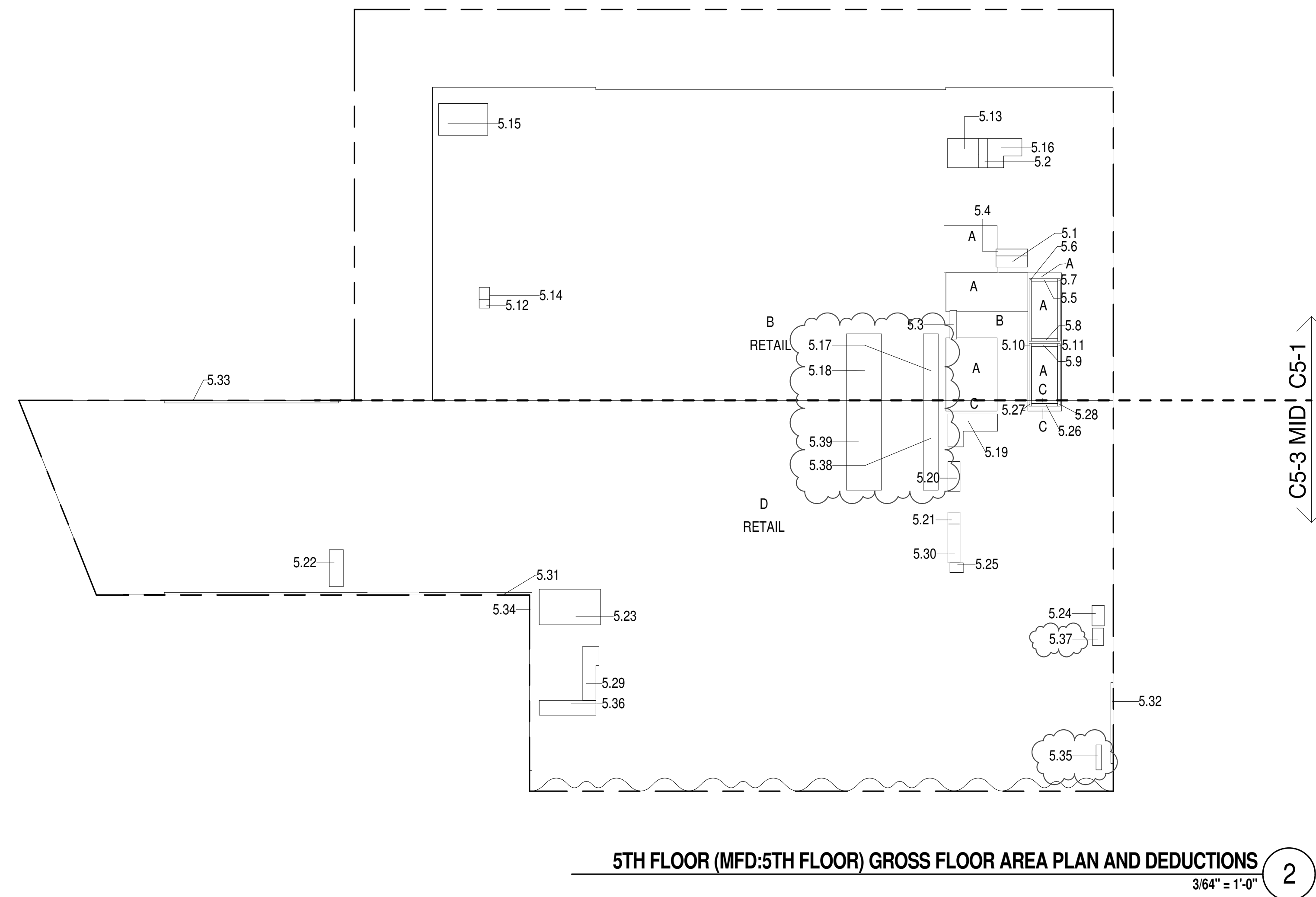
5TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	1,386	520		867
RETAIL		33,965	958	33,007
TOTAL		35,351	1,478	33,873

5TH FLOOR FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	5.1	2'-11"	8'-0"	23.2
RESIDENTIAL	M	5.2	2'-5"	7'-6"	17.9
RESIDENTIAL	P	5.3	1'-9"	7'-4"	13.0
RESIDENTIAL	P	5.4	1'-10"	8'-0"	14.5
RESIDENTIAL	ST	5.5	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	5.6	0'-8"	16'-1"	10.7
RESIDENTIAL	ST	5.7	0'-8"	16'-1"	10.7
RESIDENTIAL	ST	5.8	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	5.9	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	5.10	0'-8"	14'-7"	9.7
RESIDENTIAL	ST	5.11	0'-8"	14'-7"	9.7
SUBTOTAL					122.8
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	P	5.12	2'-3"	2'-9"	6.0
RETAIL	M	5.13	7'-6"	7'-11"	59.1
RETAIL	M	5.14	2'-9"	3'-1"	8.4
RETAIL	M	5.15	8'-2"	12'-8"	103.4
RETAIL	M	5.16	4'-4"	11'-11"	51.5
RETAIL	O	5.17	3'-10"	17'-1"	65.8
RETAIL	O	5.18	9'-0"	17'-1"	154.1
SUBTOTAL					448.3

5TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	5.19	4'-3"	16'-11"	72.4
RESIDENTIAL	M	5.20	3'-11"	7'-9"	24.0
RESIDENTIAL	P	5.21	3'-1"	3'-1"	3.4
RESIDENTIAL	M	5.22	3'-7"	9'-5"	34.1
RESIDENTIAL	M	5.23	9'-2"	15'-9"	144.4
RESIDENTIAL	P	5.24	3'-2"	5'-3"	16.5
RESIDENTIAL	P	5.25	2'-6"	3'-5"	8.5
RESIDENTIAL	ST	5.26	0'-8"	6'-8"	4.4
RESIDENTIAL	ST	5.27	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	5.28	0'-8"	1'-6"	1.0
RESIDENTIAL	E	5.29	3'-5"	14'-7"	50.3
RESIDENTIAL	E	5.30	3'-1"	19'-9"	31.0
SUBTOTAL					397.1
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	G	5.31	0'-7"	105'-3"	63.3
RETAIL	G	5.32	0'-7"	20'-11"	12.2
RETAIL	G	5.33	0'-8"	44'-9"	29.8
RETAIL	G	5.34	0'-8"	45'-2"	30.1
RETAIL	P	5.35	1'-5"	0'-5"	9.0
RETAIL	M	5.36	3'-10"	14'-7"	55.3
RETAIL	P	5.37	2'-9"	4'-6"	12.5
RETAIL	O	5.38	3'-10"	23'-1"	89.0
RETAIL	O	5.39	9'-0"	23'-1"	208.2
SUBTOTAL					509.5



5TH FLOOR - BROADWAY FACADE
3/64" = 1'-0"



5TH FLOOR (MFD:5TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0"

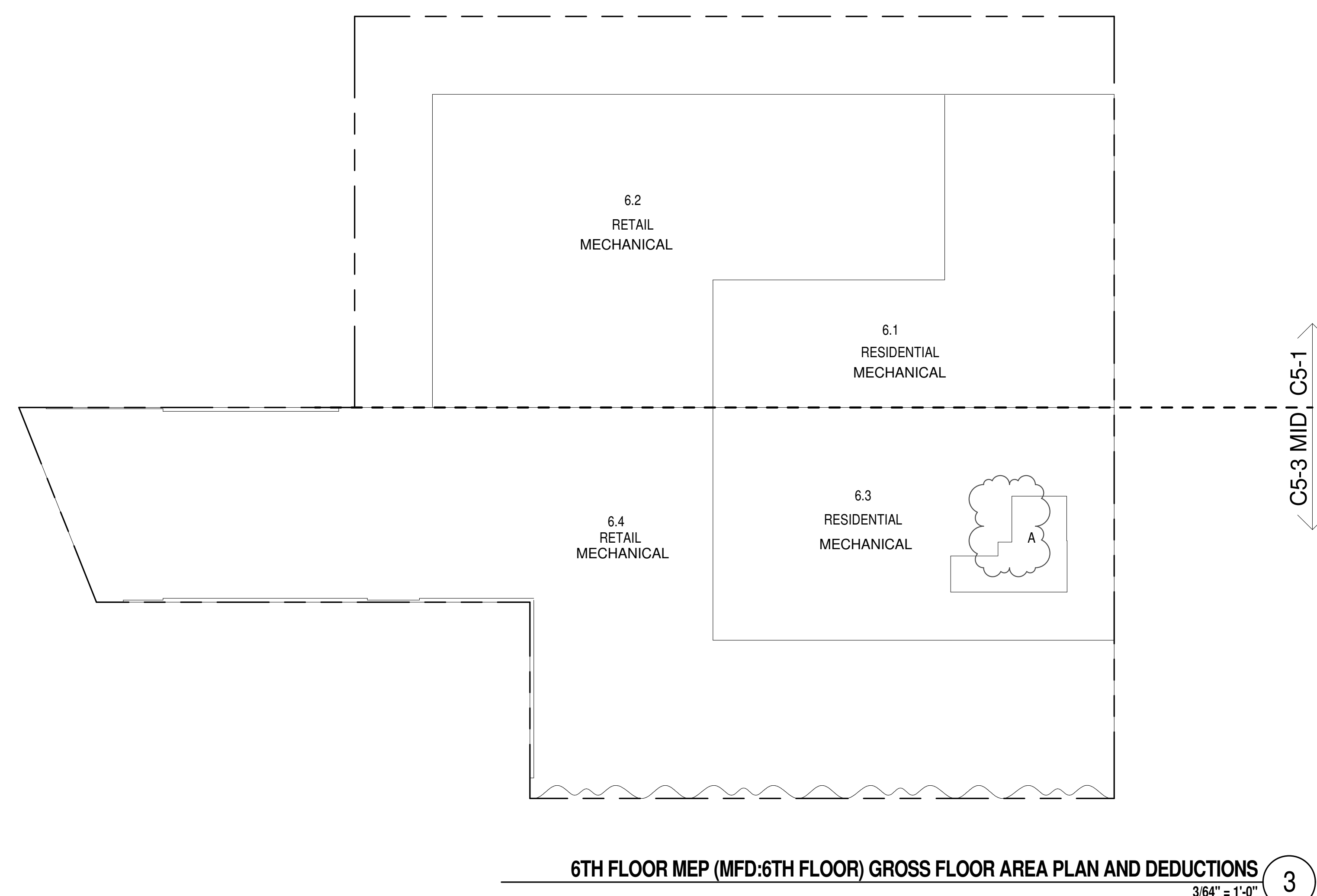
6TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	6.1	5,447	5,447	0
RETAIL	6.2	8,626	8,626	0
TOTAL		14,073	14,073	0

6TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	6.157	5,651		506
RETAIL	6.4	14,507	14,507	0
TOTAL		20,664	20,158	506

6TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	11,604	11,098		506
RETAIL		23,133	23,133	0
TOTAL		34,737	34,231	506

6TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	6.1	37' - 4"	146' - 0"	5,446.8
SUBTOTAL					5,446.8
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	M	6.2	55' - 0"	156' - 10"	8,626.2
SUBTOTAL					8,626.2

6TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	M	6.3	50'-3"	112'-6"	5,651.5
SUBTOTAL					5,651.5
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RETAIL	M	6.4	41'-10"	347'-0"	14,506.8
SUBTOTAL					14,506.8



7TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		14,073	14,073	0	
TOTAL		14,073	14,073	0	

7TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		20,664	19,946	718	
TOTAL		20,664	19,946	718	

7TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		34,738	34,019	718	
TOTAL		34,738	34,019	718	

7TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	7.1	64'-11"	147'-5"	9,566.7
RESIDENTIAL	M	7.2	43'-3"	80'-7"	3,481.8
RESIDENTIAL	M	7.3	30'-5"	33'-8"	1,024.5
SUBTOTAL					14,072.9

7TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	7.4	53'-10"	336'-5"	18,112.2
RESIDENTIAL	M	7.5	22'-6"	78'-11"	1,778.2
RESIDENTIAL	M	7.6	1'-8"	33'-8"	55.6
SUBTOTAL					19,946.0

ZONING AND DEDUCT LEGEND

☐ DEDUCTIONS

M - MECHANICAL ROOM / RISER

E - ELECTRICAL SHAFT / RISER

P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)

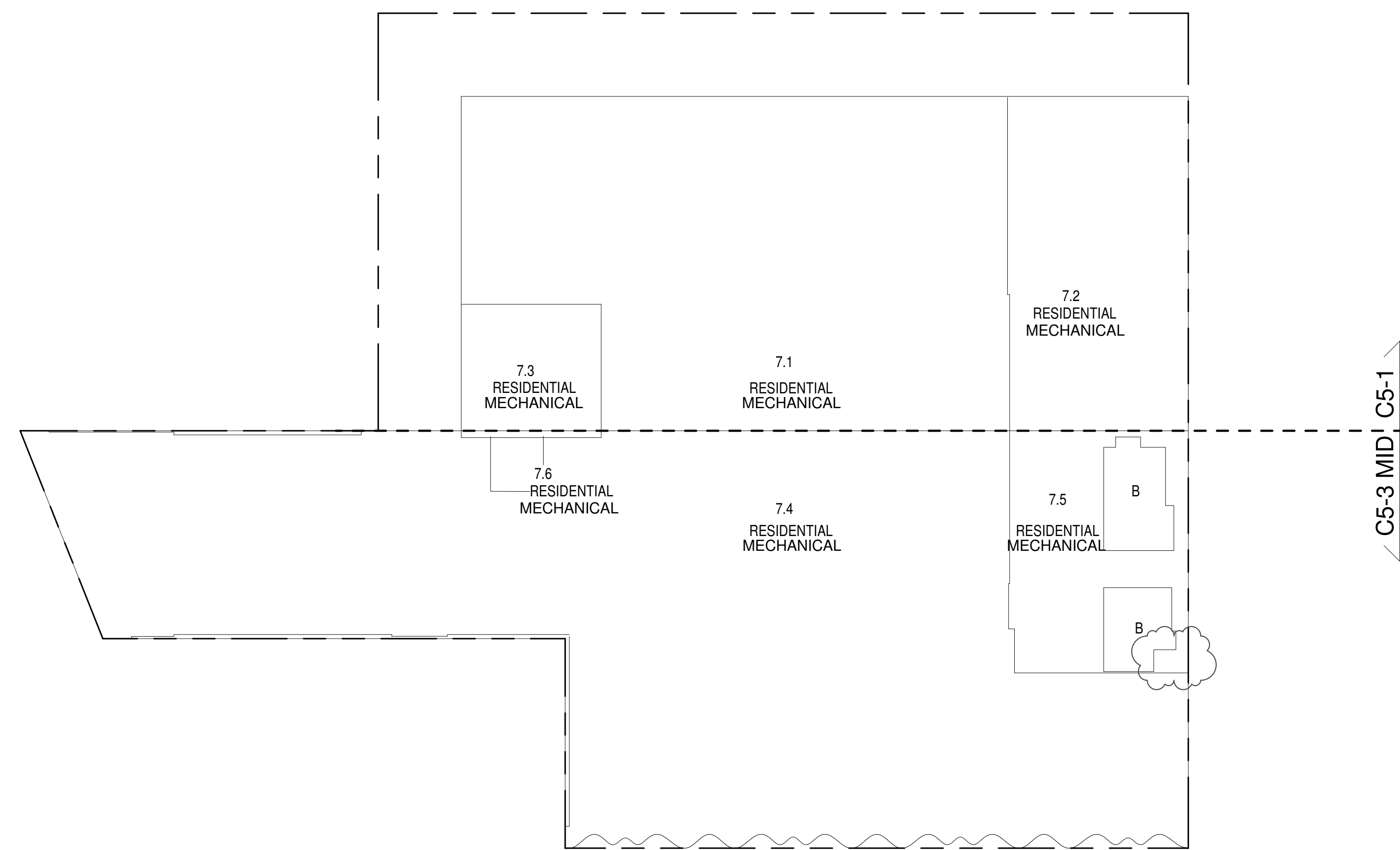
G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS



7TH FLOOR MEP (MFD:7TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 3/64" = 1'-0" 1

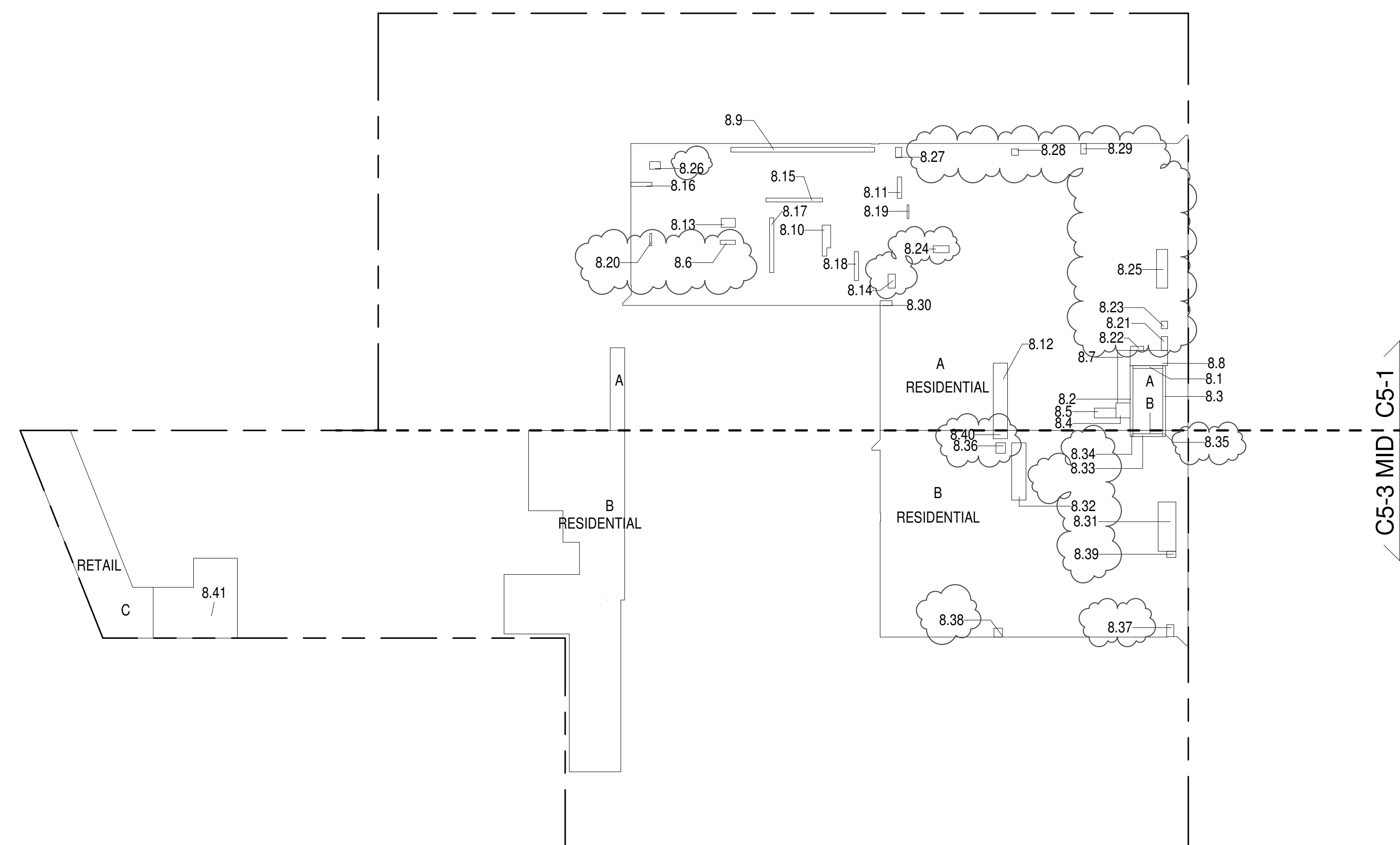
8TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,533	354	7,180	
TOTAL		7,533	354	7,180	

8TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		5,150	130	5,020	
RETAIL		954	321	634	
TOTAL		6,110	451	5,659	

8TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		12,683	484	12,200	
RETAIL		954	321	634	
TOTAL		13,637	805	12,834	

8TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	8.1	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	8.2	0'-8"	15'-7"	10.4
RESIDENTIAL	ST	8.3	0'-8"	15'-7"	10.4
RESIDENTIAL	M	8.4	3'-5"	3'-7"	12.4
RESIDENTIAL	P	8.5	2'-4"	9'-2"	12.3
RESIDENTIAL	P	8.6	1'-0"	3'-9"	3.6
RESIDENTIAL	E	8.7	3'-1"	12'-8"	38.5
RESIDENTIAL	P	8.8	3'-8"	9'-0"	33.2
RESIDENTIAL	P	8.9	1'-2"	34'-7"	39.1
RESIDENTIAL	P	8.10	1'-8"	7'-9"	13.3
RESIDENTIAL	P	8.11	1'-1"	5'-2"	5.5
RESIDENTIAL	M	8.12	3'-6"	16'-2"	58.0
RESIDENTIAL	P	8.13	2'-2"	3'-5"	7.4
RESIDENTIAL	P	8.14	1'-9"	3'-5"	5.9
RESIDENTIAL	P	8.15	0'-11"	13'-7"	12.7
RESIDENTIAL	P	8.16	1'-0"	5'-1"	5.1
RESIDENTIAL	P	8.17	1'-1"	13'-2"	13.8
RESIDENTIAL	P	8.18	1'-0"	7'-0"	7.0
RESIDENTIAL	P	8.19	0'-5"	3'-4"	1.4
RESIDENTIAL	P	8.20	0'-6"	2'-11"	1.4
RESIDENTIAL	E	8.21	1'-6"	3'-4"	5.0
RESIDENTIAL	P	8.22	1'-0"	3'-2"	3.2
RESIDENTIAL	P	8.23	1'-6"	1'-10"	2.7
RESIDENTIAL	P	8.24	1'-8"	3'-10"	6.3
RESIDENTIAL	P	8.25	2'-8"	9'-4"	24.9
RESIDENTIAL	M	8.26	1'-10"	2'-7"	4.6
RESIDENTIAL	M	8.27	1'-6"	2'-6"	3.7
RESIDENTIAL	M	8.28	1'-7"	1'-7"	2.5
RESIDENTIAL	M	8.29	1'-4"	2'-6"	3.2
RESIDENTIAL	M	8.30	1'-3"	2'-11"	3.5
SUBTOTAL					353.6

8TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	8.31	4'-3"	11'-11"	50.7
RESIDENTIAL	M	8.32	3'-5"	13'-9"	47.3
RESIDENTIAL	ST	8.33	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	8.34	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	8.35	0'-8"	1'-6"	1.0
RESIDENTIAL	M	8.36	2'-4"	2'-6"	5.8
RESIDENTIAL	M	8.37	1'-7"	3'-1"	5.0
RESIDENTIAL	M	8.38	2'-1"	2'-1"	4.4
RESIDENTIAL	M	8.39	1'-6"	2'-3"	3.3
RESIDENTIAL	M	8.40	2'-0"	3'-6"	6.9
SUBTOTAL					130.3
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RETAIL	ST	8.41	11'-6"	28'-0"	320.8
SUBTOTAL					320.8



8TH FLOOR (MFD:14TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 3/64" = 1'-0" 2

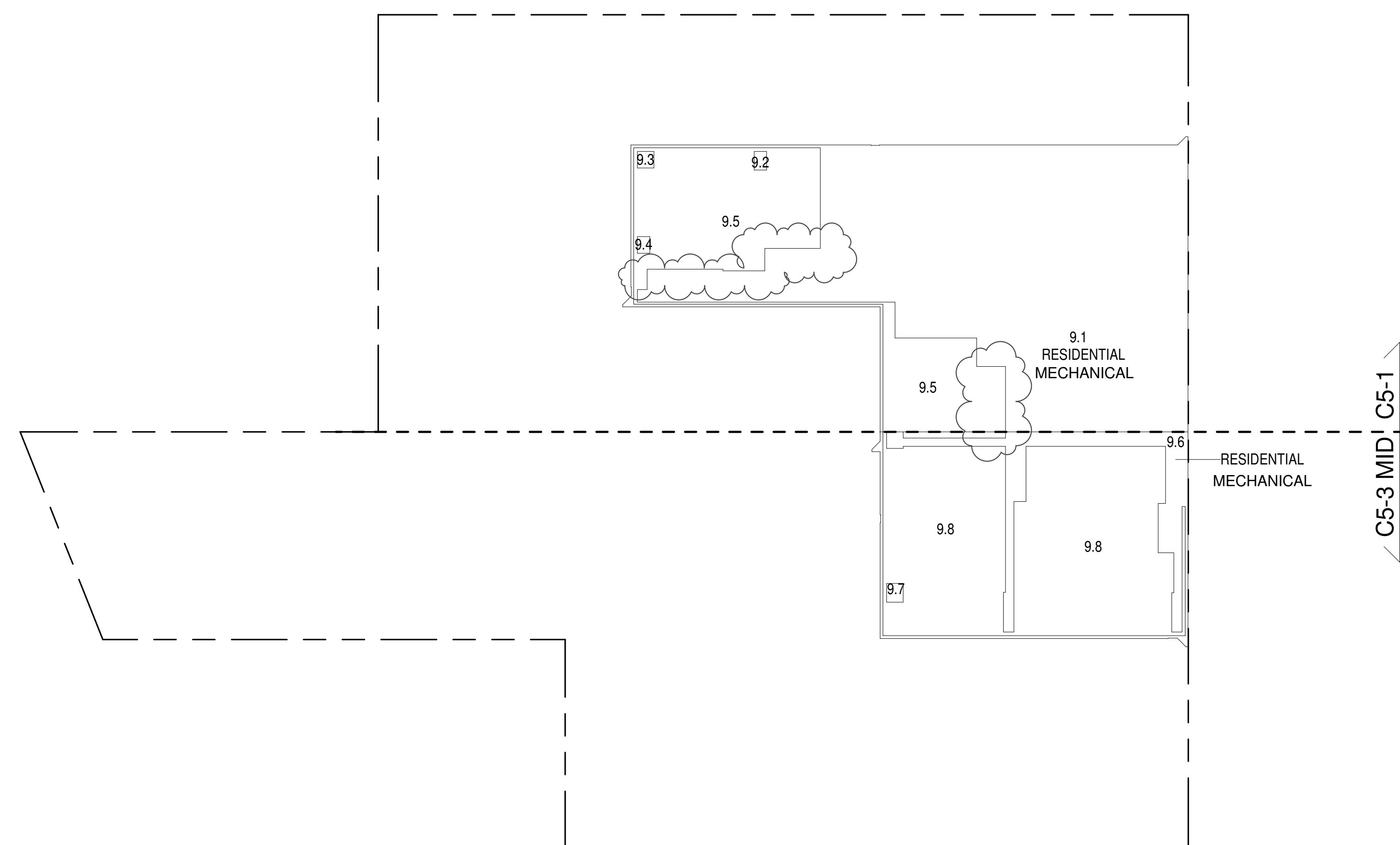
9TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,463	7,463	0	
TOTAL		7,463	7,463	0	

9TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		3,691	3,691	0	
TOTAL		3,691	3,691	0	

9TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		11,155	11,155	0	
TOTAL		11,155	11,155	0	

9TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	9.1	15'-2"	383'-10"	5,519.8
RESIDENTIAL	M	9.2	3'-0"	4'-6"	13.5
RESIDENTIAL	M	9.3	4'-0"	4'-0"	16.0
RESIDENTIAL	M	9.4	3'-0"	4'-0"	12.0
RESIDENTIAL	O	9.5	9'-11"	192'-6"	1,902.2
SUBTOTAL					7,463.5

9TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	9.6	2'-0"	325'-6"	647.4
RESIDENTIAL	M	9.7	4'-0"	4'-6"	18.0
RESIDENTIAL	O	9.8	16'-3"	183'-9"	2,988.8
RESIDENTIAL	O	9.9	1'-6"	24'-8"	36.9
SUBTOTAL					3,691.2



9TH FLOOR (MFD:15TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 3/64" = 1'-0" 3

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<p>MEP ENGINEERS:</p> <p>AKF GROUP 1501 Broadway New York, NY 10036 USA TEL: 212 354 5656 FAX: 212 354 5668</p>	
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<p>CODE CONSULTANTS:</p> <p>Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1816 FAX: 212 385 1911</p>	
<p>CURTAINWALL CONSULTANT:</p> <p>AJLP Consulting 40 Worth Street, Suite 808 New York, NY 10013 TEL: 212 757 5659 FAX: 646 219 8508</p>	
<p>LANDMARK/PRESERVATION CONSULTANT:</p> <p>Higgins Quasebarth & Partners LLC 11 Hanover Square, 16th Floor New York, NY 10005 TEL: 212 274 9468 FAX: 646 274 9380</p>	
<p>LANDMARK/PRESERVATION CONSULTANT:</p> <p>Jan Hird Pokorny Associates, Inc. 59 West 37th Street, 12A New York, NY 10018 TEL: 212 759 6462 FAX: 212 759 6540</p>	
<p>No. DESCRIPTION: DATE:</p> <p>1 D.O.B. SUBMISSION 05 DEC 14</p> <p>2 D.O.B. SUBMISSION 18 FEB 15</p> <p>D.O.B. SUBMISSION 27 APR 14</p> <p>D.O.B. AMENDMENT 2 21 SEP 15</p> <p>D.O.B. AMENDMENT 3 03 OCT 16</p>	<p>0 10' 8" 21' 4" 42' 8"</p> <p>D.O.B. SUBMISSION</p> <p>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.</p> <p>ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p> <p>CONSULTANT:</p> <p>AAI ARCHITECTS, P.C.</p> <p>PROJECT:</p> <p>217 WEST 57TH STREET NEW YORK, NY</p> <p>DRAWING TITLE:</p> <p>ZONING FLOOR AREA PLAN AND DEDUCTIONS 7TH, 8TH, 9TH FLOOR</p> <p>SEAL & SIGNATURE: DATE: 05 DEC 14</p> <p>PROJECT No: 1216-00</p> <p>DRAWN: Author REV: 2</p> <p>CHK: Checker</p> <p>SCALE: 3/64" = 1'-0"</p> <p>DWG No: Z-011.02</p> <p>DOB PAGE No: 8 of 454</p> <p>DOB EMPLOYEE STAMP: DOB B-SCAN:</p>

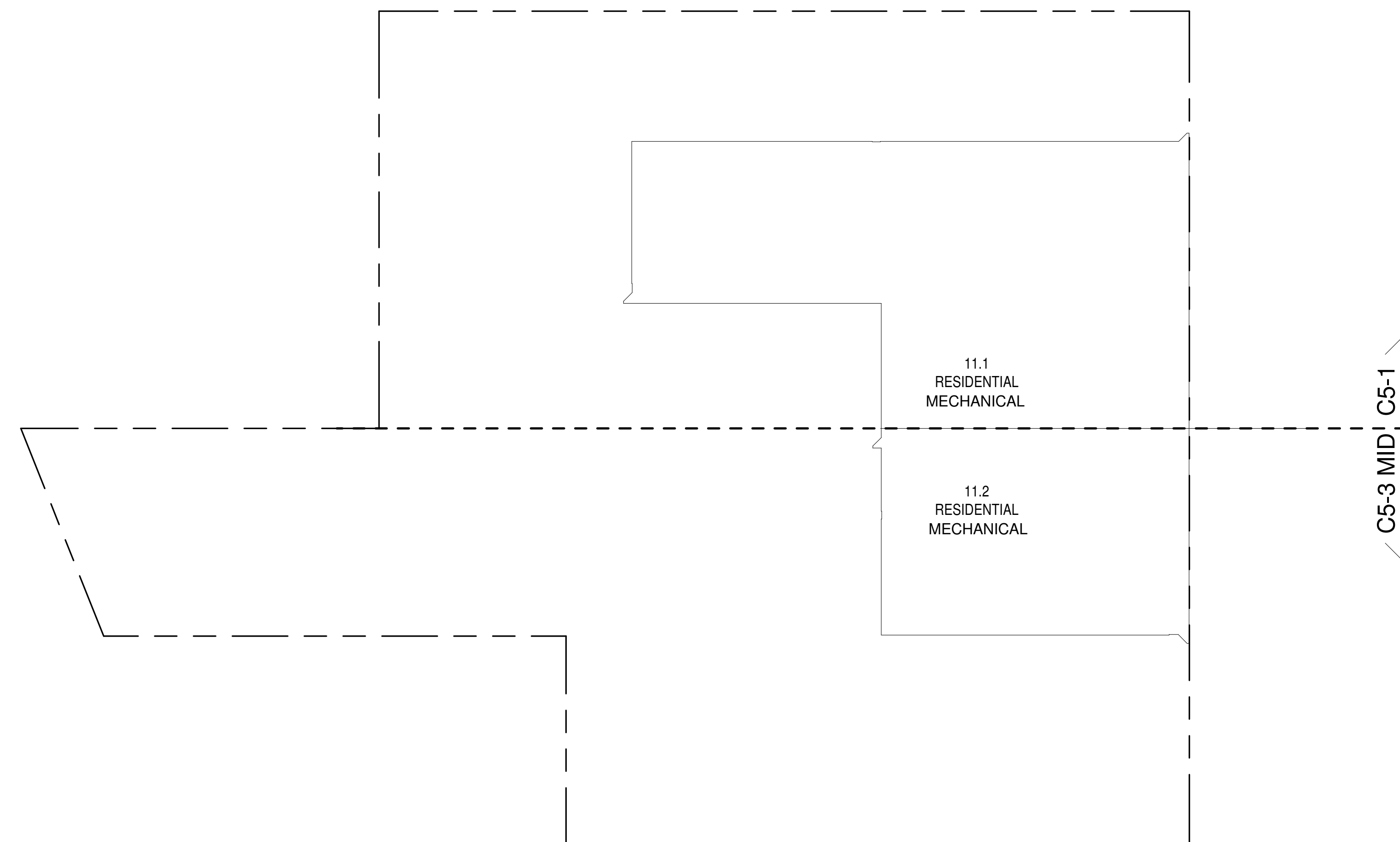
11TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	11.1	7,463	7,463	0
TOTAL		7,463	7,463	0

11TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	11.2	3,691	3,691	0
TOTAL		3,691	3,691	0

11TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		11,155	11,155	0
TOTAL		11,155	11,155	0

11TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	11.1	46'-10"	159'-4"	7,463.
SUBTOTAL					7,463.

11TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	11.2	45'-3"	81'-8"	3,691.
SUBTOTAL					3,691.



11TH FLOOR (MFD:19TH) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' x 1'-0"

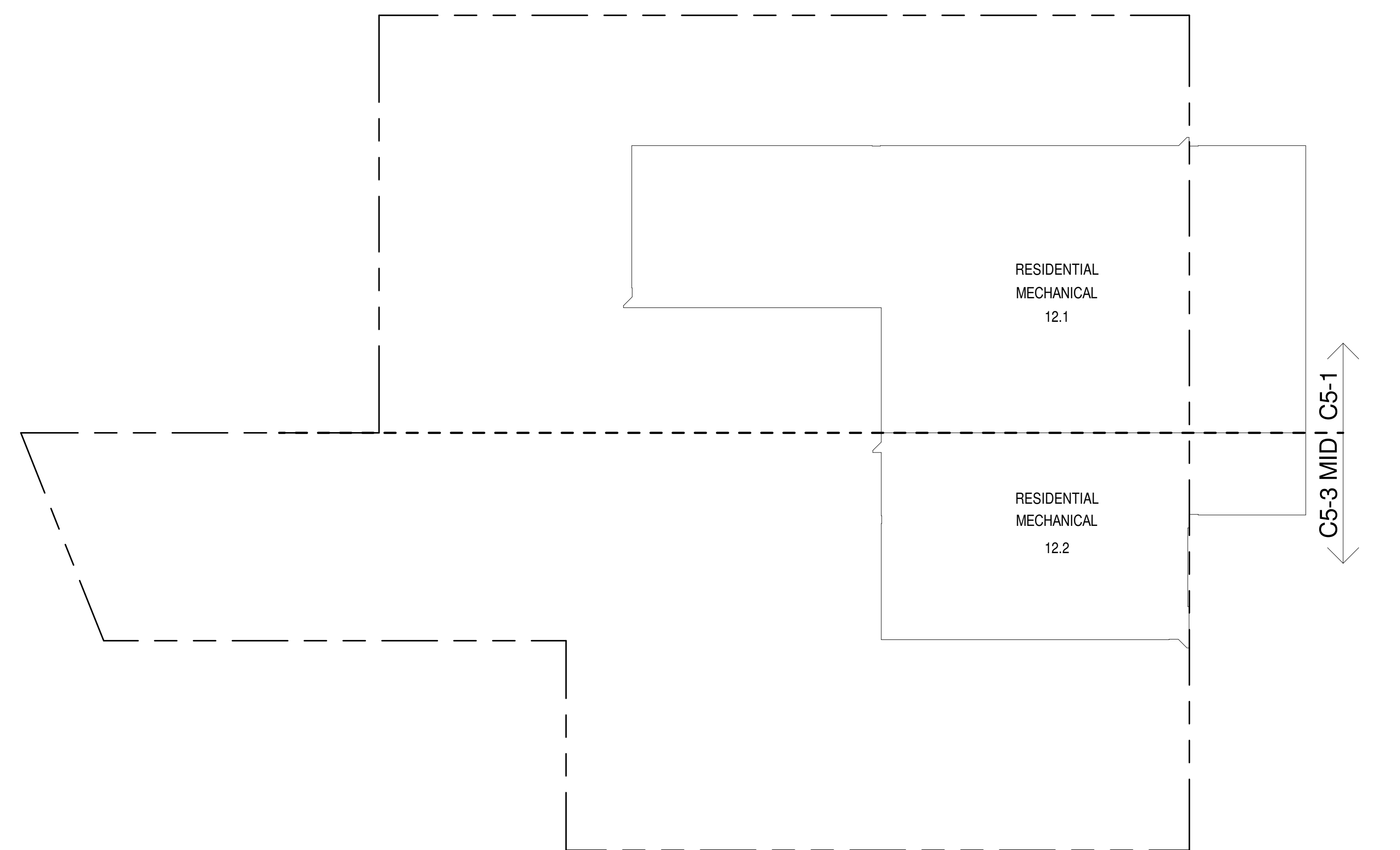
12TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	12.1	9,403	9,403	0
TOTAL		9,403	9,403	0

12TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	12.2	4,239	4,239	0
TOTAL		4,239	4,239	0

12TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		13,643	13,643	0
TOTAL		13,643	13,643	0

12TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	12.1	51' - 5"	183' - 0"	9,403.3
SUBTOTAL					9,403.3

12TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	12.2	35'- 4"	120'- 1"	4,239.3
SUBTOTAL					4,239.3



12TH FLOOR (MFD:20TH) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' x 1'-0"

10TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		7,463	346	7,117
TOTAL		7,463	346	7,117

10TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		11,155	408	10,746
TOTAL		11,155	408	10,746

10TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		3,691	62	3,629
TOTAL		3,691	62	3,629

10TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	10.1	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	10.2	0'-8"	15'-7"	10.4
RESIDENTIAL	ST	10.3	0'-8"	15'-7"	10.4
RESIDENTIAL	M	10.4	3'-5"	3'-8"	12.5
RESIDENTIAL	P	10.5	2'-4"	5'-2"	12.2
RESIDENTIAL	E	10.6	2'-8"	12'-8"	33.7
RESIDENTIAL	P	10.7	3'-11"	8'-5"	33.2
RESIDENTIAL	ST	10.8	0'-8"	6'-9"	4.5
RESIDENTIAL	ST	10.9	0'-8"	19'-0"	12.7
RESIDENTIAL	ST	10.10	0'-8"	19'-0"	12.7
RESIDENTIAL	ST	10.11	0'-8"	6'-9"	4.5
RESIDENTIAL	P	10.12	1'-9"	15'-1"	26.4
RESIDENTIAL	M	10.13	0'-10"	1'-0"	0.8
RESIDENTIAL	P	10.14	1'-1"	3'-9"	4.1
RESIDENTIAL	P	10.15	0'-11"	7'-2"	6.6
RESIDENTIAL	P	10.16	1'-3"	3'-4"	4.2
RESIDENTIAL	P	10.17	1'-0"	4'-1"	4.1
RESIDENTIAL	M	10.18	3'-6"	8'-0"	29.9
RESIDENTIAL	M	10.19	1'-3"	2'-7"	3.2
RESIDENTIAL	M	10.20	1'-5"	1'-5"	2.0
RESIDENTIAL	M	10.21	5'-2"	9'-0"	46.4
RESIDENTIAL	M	10.22	2'-5"	4'-1"	10.0
RESIDENTIAL	M	10.23	2'-3"	3'-8"	8.0
RESIDENTIAL	P	10.24	1'-0"	2'-6"	2.5
RESIDENTIAL	P	10.25	2'-7"	7'-8"	20.0
RESIDENTIAL	P	10.26	1'-8"	2'-1"	3.4
RESIDENTIAL	E	10.27	1'-10"	12'-6"	23.1
SUBTOTAL					346.3

10TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	10.28	4'- 1"	11'- 10"	48
RESIDENTIAL	ST	10.29	0'- 8"	10'- 2"	6
RESIDENTIAL	P	10.30	1'- 10"	2'- 11"	5
RESIDENTIAL	P	10.31	1'- 0"	1'- 6"	1
SUBTOTAL					61

10TH INTERMEDIATE 1 FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		7,463	7,463	0
TOTAL		7,463	7,463	0

10TH INTERMEDIATE 1 FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		11,155	11,155	0
TOTAL		11,155	11,155	0

10TH INTERMEDIATE 1 FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		3,691	3,691	0
TOTAL		3,691	3,691	0

10TH INTERMEDIATE 1 FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	M	10.1	4'-8"	494'-6"	2,292.
RESIDENTIAL	O	10.2	15'-8"	306'-8"	4,815.
RESIDENTIAL	O	10.3	9'-0"	30'-4"	274.
RESIDENTIAL	M	10.4	3'-0"	4'-0"	12.
RESIDENTIAL	M	10.5	4'-0"	4'-0"	16.
RESIDENTIAL	M	10.6	3'-0"	4'-6"	13.
RESIDENTIAL	M	10.7	4'-6"	5'-0"	22.
RESIDENTIAL	M	10.8	4'-2"	4'-2"	17.
SUBTOTAL					7,463.

10TH INTERMEDIATE 1 FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	10.9	1'-9"	323'-2"	557.1
RESIDENTIAL	O	10.10	1'-6"	24'-8"	36.9
RESIDENTIAL	O	10.11	17'-0"	180'-5"	3,061.8
RESIDENTIAL	M	10.12	4'-0"	4'-6"	18.0
RESIDENTIAL	M	10.13	4'-2"	4'-2"	17.4
SUBTOTAL					3,691.2

10TH INTERMEDIATE 2 FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		7,457	7,457	0
TOTAL		7,457	7,457	0

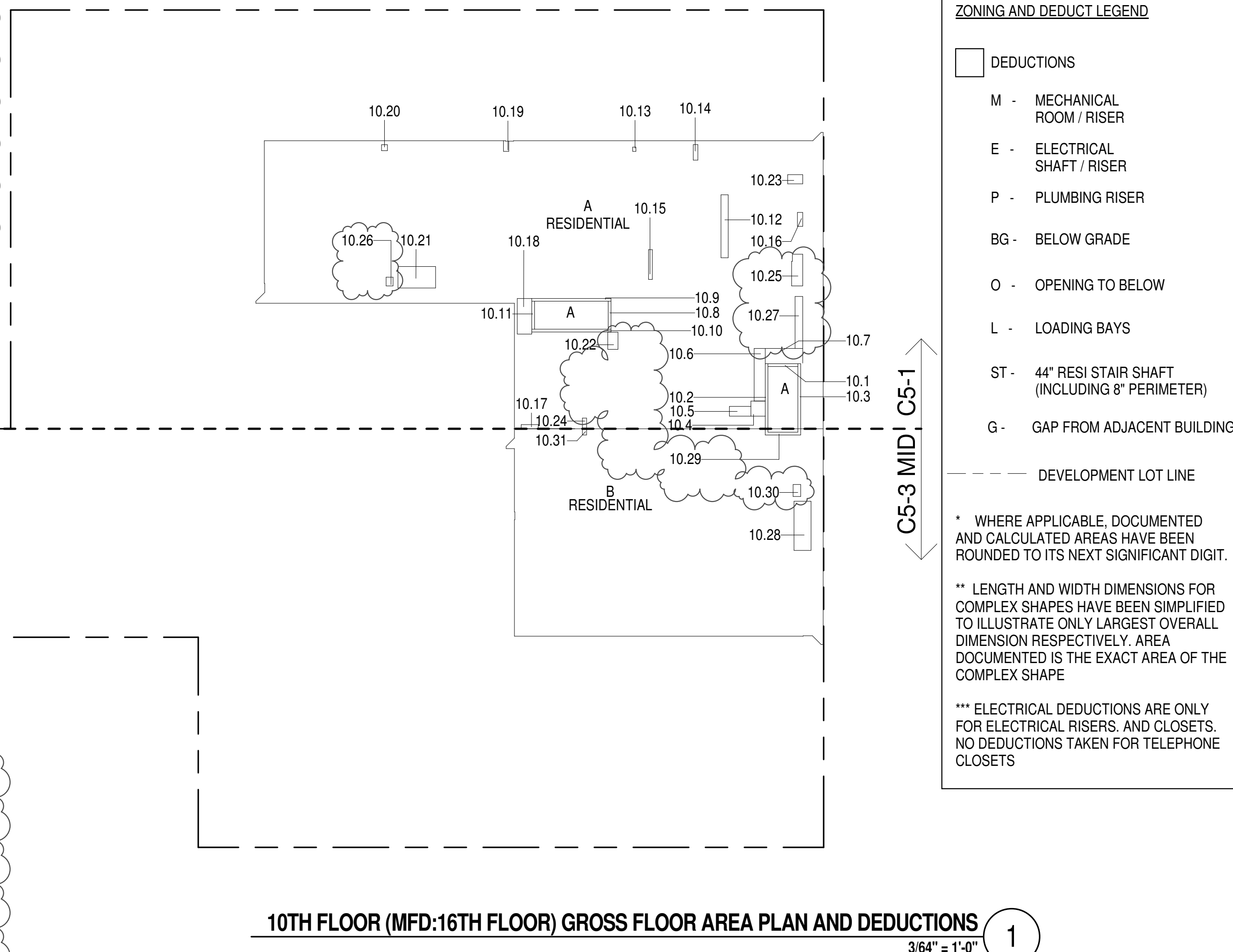
10TH INTERMEDIATE 2 FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		11,148	11,148	0
TOTAL		11,148	11,148	0

10TH INTERMEDIATE 2 FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		3,691	3,691	0
TOTAL		3,691	3,691	0

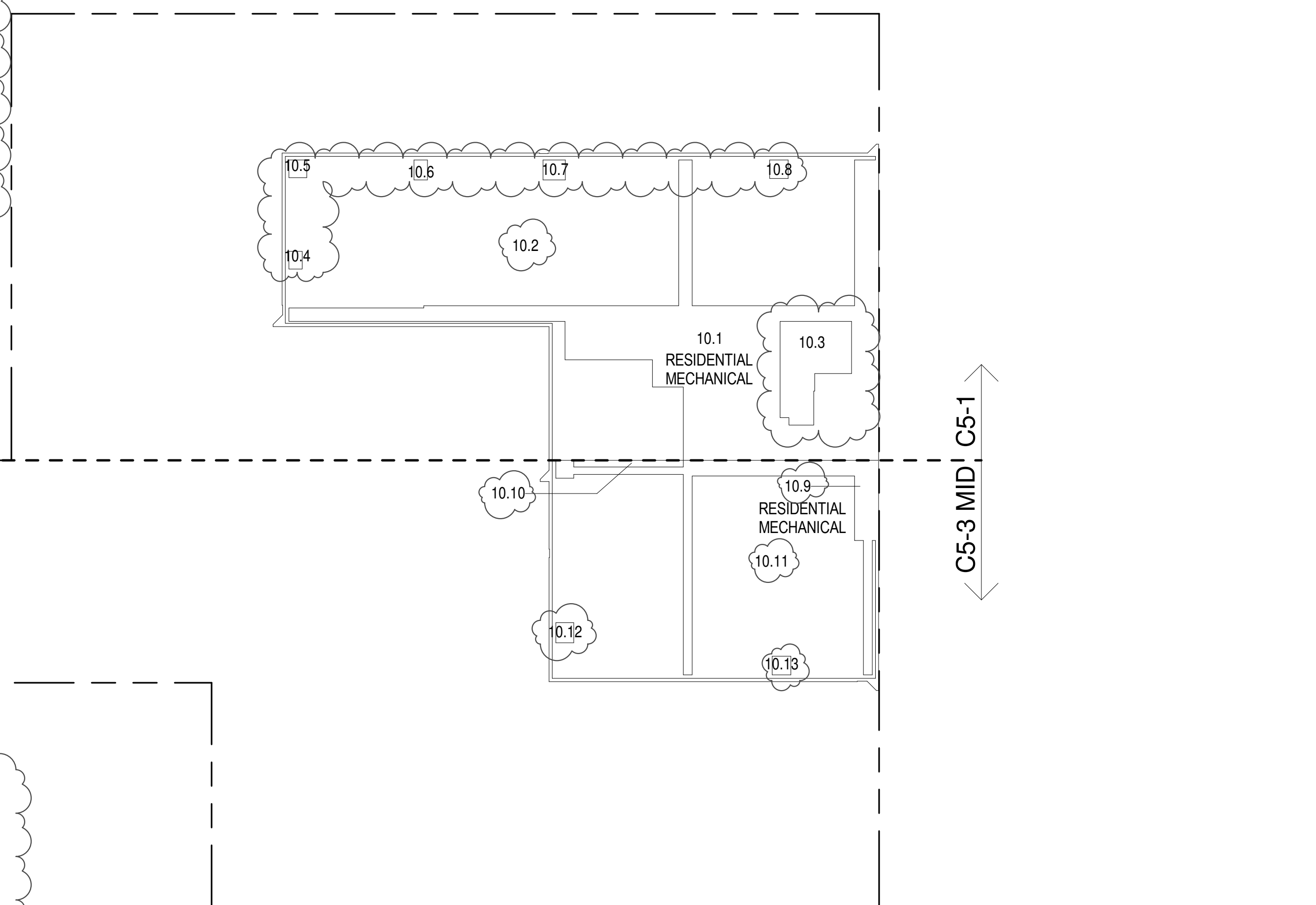
10TH INTERMEDIATE 2 FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	10.1	4'-7"	517'-2"	2,356.7
RESIDENTIAL	O	10.2	17'-7"	31'-1"	548.1
RESIDENTIAL	O	10.3	8'-1"	34'-3"	277.1
RESIDENTIAL	M	10.4	3'-0"	4'-0"	12.0
RESIDENTIAL	M	10.5	4'-0"	4'-0"	16.1
RESIDENTIAL	M	10.6	3'-0"	4'-6"	13.5
RESIDENTIAL	M	10.7	4'-6"	5'-0"	22.5
RESIDENTIAL	M	10.8	4'-2"	4'-2"	17.4
RESIDENTIAL	O	10.9	15'-1"	278'-9"	4,193.2
SUBTOTAL					7,455.5

10TH INTERMEDIATE 2 FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	M	10.1	4'-7"	517'-2"	2,356.7
RESIDENTIAL	O	10.2	17'-7"	31'-1"	548.1
RESIDENTIAL	O	10.3	8'-1"	34'-3"	277.1
RESIDENTIAL	M	10.4	3'-0"	4'-0"	12.0
RESIDENTIAL	M	10.5	4'-0"	4'-0"	16.1
RESIDENTIAL	M	10.6	3'-0"	4'-6"	13.5
RESIDENTIAL	M	10.7	4'-6"	5'-0"	22.5
RESIDENTIAL	M	10.8	4'-2"	4'-2"	17.4
RESIDENTIAL	O	10.9	15'-1"	278'-9"	4,193.2
SUBTOTAL					7,455.5

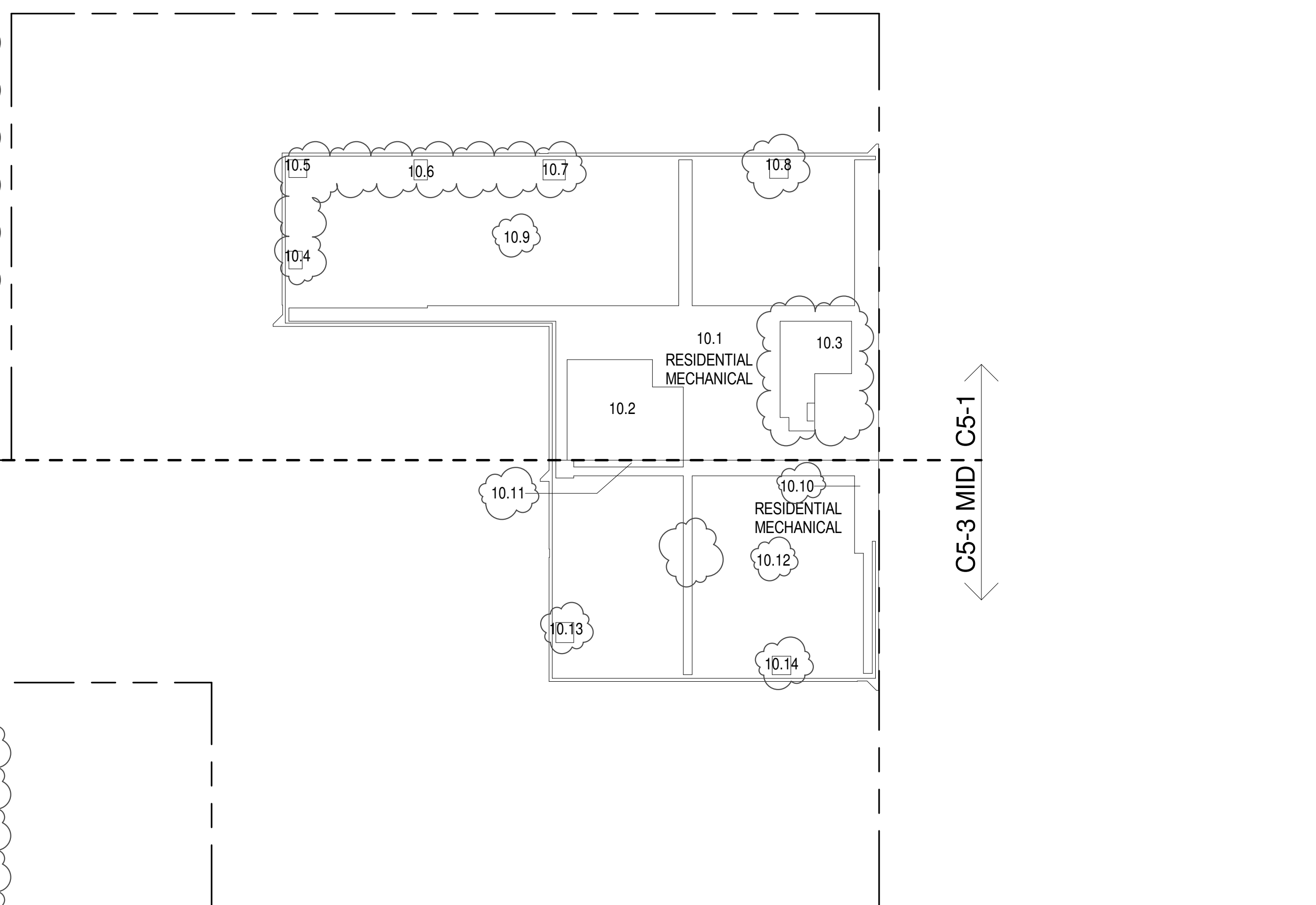
10TH INTERMEDIATE 2 FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	10.10	1'-9"	322'-3"	570.7
RESIDENTIAL	O	10.11	1'-6"	24'-8"	36.9
RESIDENTIAL	O	10.12	17'-0"	179'-7"	3,048.2
RESIDENTIAL	M	10.13	4'-0"	4'-6"	18.0
RESIDENTIAL	M	10.14	4'-2"	4'-2"	17.4
SUBTOTAL					3,691.2



10TH FLOOR (MFD:16TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' x 1'-0"



10TH FLOOR INTER 1 (MFD:17TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' x 1'-0"



10TH FLOOR INTER 2 (MFD:18TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' x 1'-0"

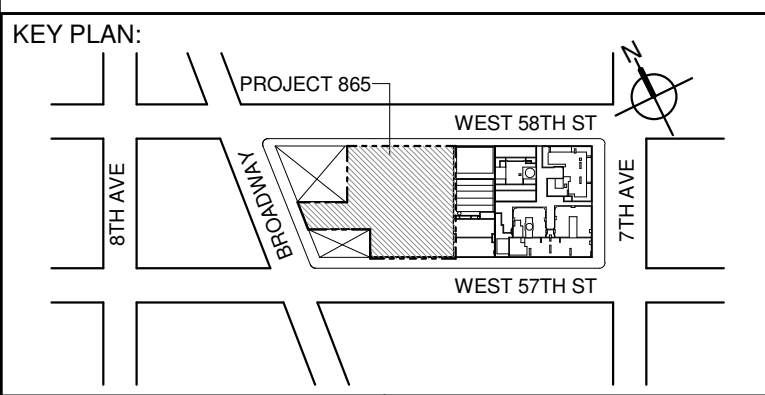
ZONING AND DEDUCT LEGEND

- ☐ DEDUCTIONS
- M - MECHANICAL ROOM / RISER
 - E - ELECTRICAL SHAFT / RISER
 - P - PLUMBING RISER
 - BG - BELOW GRADE
 - O - OPENING TO BELOW
 - L - LOADING BAYS
 - ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)
 - G - GAP FROM ADJACENT BUILDING
- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS



13TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		9,387	1,057	8,329
TOTAL		9,387	1,057	8,329

13TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	13.1	2'-6"	4'-7"
RESIDENTIAL	ST	13.2	0'-8"	12'-1"
RESIDENTIAL	M	13.3	3'-2"	6'-11"
RESIDENTIAL	M	13.4	2'-7"	7'-11"
RESIDENTIAL	M	13.5	3'-5"	3'-8"
RESIDENTIAL	ST	13.6	0'-8"	7'-2"
RESIDENTIAL	ST	13.7	0'-8"	12'-1"
RESIDENTIAL	M	13.8	4'-3"	8'-10"
RESIDENTIAL	M	13.9	3'-3"	5'-0"
RESIDENTIAL	M	13.10	0'-7"	1'-2"
RESIDENTIAL	M	13.11	4'-5"	4'-8"
RESIDENTIAL	M	13.12	2'-6"	3'-11"
RESIDENTIAL	E	13.13	5'-0"	6'-11"
RESIDENTIAL	M	13.14	1'-3"	3'-10"
RESIDENTIAL	M	13.15	4'-2"	4'-10"
RESIDENTIAL	M	13.16	2'-9"	3'-1"
RESIDENTIAL	M	13.17	4'-6"	5'-2"
RESIDENTIAL	M	13.18	1'-10"	3'-0"
RESIDENTIAL	M	13.19	1'-3"	3'-11"
RESIDENTIAL	M	13.20	2'-5"	3'-11"
RESIDENTIAL	M	13.21	4'-8"	5'-1"
RESIDENTIAL	M	13.22	4'-8"	4'-11"
RESIDENTIAL	M	13.23	3'-1"	4'-7"
RESIDENTIAL	M	13.24	1'-1"	3'-10"
RESIDENTIAL	M	13.25	2'-3"	3'-1"
RESIDENTIAL	M	13.26	2'-3"	4'-7"
RESIDENTIAL	M	13.27	1'-7"	1'-10"
RESIDENTIAL	M	13.28	1'-9"	3'-2"
RESIDENTIAL	ST	13.29	0'-9"	8'-1"
RESIDENTIAL	ST	13.30	0'-8"	6'-9"
RESIDENTIAL	ST	13.31	0'-8"	16'-5"
RESIDENTIAL	ST	13.32	0'-8"	16'-5"
RESIDENTIAL	M	13.33	0'-7"	0'-6"
RESIDENTIAL	M	13.34	2'-2"	2'-3"
RESIDENTIAL	M	13.35	4'-8"	7'-6"
SUBTOTAL				35.7

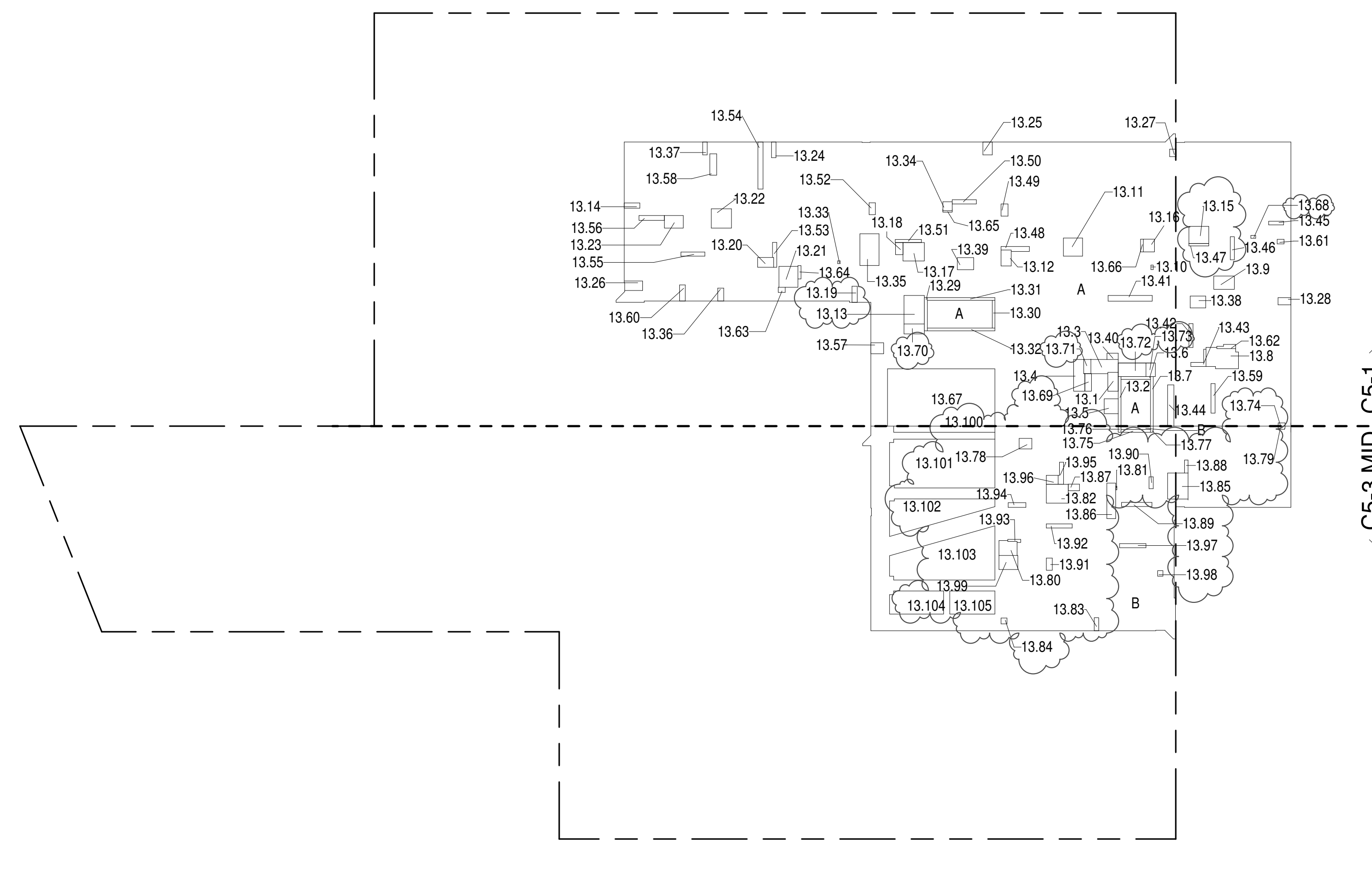
13TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	13.36	1'-5"	3'-1"
RESIDENTIAL	M	13.37	1'-1"	3'-2"
RESIDENTIAL	M	13.38	2'-11"	3'-9"
RESIDENTIAL	M	13.39	3'-0"	4'-0"
RESIDENTIAL	M	13.40	1'-7"	2'-9"
RESIDENTIAL	P	13.41	1'-5"	10'-9"
RESIDENTIAL	P	13.42	1'-0"	5'-10"
RESIDENTIAL	P	13.43	0'-9"	7'-2"
RESIDENTIAL	P	13.44	1'-6"	10'-0"
RESIDENTIAL	P	13.45	0'-11"	3'-7"
RESIDENTIAL	P	13.46	1'-0"	5'-7"
RESIDENTIAL	P	13.47	0'-7"	4'-10"
RESIDENTIAL	P	13.48	1'-1"	7'-2"
RESIDENTIAL	P	13.49	1'-8"	5'-2"
RESIDENTIAL	P	13.50	1'-0"	3'-11"
RESIDENTIAL	P	13.51	0'-9"	6'-4"
RESIDENTIAL	P	13.52	1'-6"	2'-11"
RESIDENTIAL	P	13.53	0'-11"	6'-2"
RESIDENTIAL	P	13.54	1'-3"	11'-5"
RESIDENTIAL	P	13.55	1'-0"	9'-10"
RESIDENTIAL	P	13.56	1'-2"	6'-2"
RESIDENTIAL	M	13.57	2'-8"	3'-1"
RESIDENTIAL	P	13.58	1'-8"	5'-2"
RESIDENTIAL	P	13.59	1'-0"	7'-2"
RESIDENTIAL	P	13.60	1'-5"	3'-11"
RESIDENTIAL	M	13.61	1'-1"	1'-8"
RESIDENTIAL	P	13.62	0'-10"	4'-9"
RESIDENTIAL	M	13.63	1'-3"	1'-9"
RESIDENTIAL	P	13.64	0'-9"	3'-3"
RESIDENTIAL	P	13.65	0'-4"	2'-3"
RESIDENTIAL	P	13.66	0'-8"	3'-1"
RESIDENTIAL	P	13.67	13'-11"	26'-7"
RESIDENTIAL	M	13.68	0'-9"	1'-2"
RESIDENTIAL	E	13.69	1'-7"	4'-3"
RESIDENTIAL	M	13.70	2'-5"	5'-0"
RESIDENTIAL	P	13.71	1'-9"	3'-5"
RESIDENTIAL	P	13.72	3'-3"	6'-9"
RESIDENTIAL	M	13.73	2'-3"	3'-3"
RESIDENTIAL	M	13.74	0'-9"	1'-8"
SUBTOTAL				1,057.2

13TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		4,239	1,041	3,199
TOTAL		4,239	1,041	3,199

13TH FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	ST	13.75	0'-8"	7'-2"
RESIDENTIAL	ST	13.76	0'-8"	1'-6"
RESIDENTIAL	ST	13.77	0'-8"	1'-6"
RESIDENTIAL	M	13.78	2'-2"	3'-5"
RESIDENTIAL	M	13.79	0'-9"	1'-9"
RESIDENTIAL	M	13.80	3'-2"	4'-10"
RESIDENTIAL	M	13.81	0'-3"	0'-10"
RESIDENTIAL	M	13.82	4'-7"	5'-4"
RESIDENTIAL	M	13.83	1'-1"	3'-2"
RESIDENTIAL	M	13.84	1'-5"	1'-5"
RESIDENTIAL	M	13.85	5'-0"	6'-4"
RESIDENTIAL	M	13.86	2'-2"	6'-8"
RESIDENTIAL	M	13.87	1'-7"	5'-9"
RESIDENTIAL	P	13.88	0'-10"	3'-2"
RESIDENTIAL	P	13.89	1'-0"	7'-5"
RESIDENTIAL	P	13.90	1'-0"	2'-11"
RESIDENTIAL	P	13.91	1'-6"	2'-11"
RESIDENTIAL	P	13.92	1'-0"	6'-3"
RESIDENTIAL	P	13.93	0'-7"	3'-4"
RESIDENTIAL	P	13.94	1'-2"	4'-4"
RESIDENTIAL	P	13.95	1'-1"	6'-7"
RESIDENTIAL	M	13.96	2'-2"	2'-11"
RESIDENTIAL	P	13.97	1'-0"	6'-5"
RESIDENTIAL	M	13.98	1'-4"	1'-4"
RESIDENTIAL	M	13.99	3'-5"	4'-7"
RESIDENTIAL	O	13.100	1'-6"	24'-8"
RESIDENTIAL	O	13.101	11'-9"	25'-0"
RESIDENTIAL	O	13.102	5'-4"	26'-3"
RESIDENTIAL	O	13.103	9'-2"	26'-6"
RESIDENTIAL	O	13.104	5'-6"	15'-3"
RESIDENTIAL	O	13.105	5'-7"	11'-0"
SUBTOTAL				1,040.8

13TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		13,626	2,098	11,528
TOTAL		13,626	2,098	11,528

13TH FLOOR DEDUCTIONS				
ZONE C5-1 AND C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	14.106	1'-10"	2'-1"
RESIDENTIAL	M	14.107	3'-5"	4'-7"
RESIDENTIAL	P	14.110	1'-4"	3'-9"
SUBTOTAL				285.5



13TH FLOOR (MFD:32ND FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" x 1'-0" 1

14TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		9,387	701	8,686
TOTAL		9,387	701	8,686

14TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	E	14.1	2'-7"	4'-7"
RESIDENTIAL	ST	14.2	0'-8"	12'-1"
RESIDENTIAL	M	14.3	3'-2"	6'-11"
RESIDENTIAL	M	14.4	2'-7"	7'-11"
RESIDENTIAL	M	14.5	3'-5"	3'-8"
RESIDENTIAL	ST	14.6	0'-8"	7'-2"
RESIDENTIAL	ST	14.7	0'-8"	12'-1"
RESIDENTIAL	M	14.8	4'-2"	7'-10"
RESIDENTIAL	M	14.9	3'-3"	5'-2"
RESIDENTIAL	M	14.10	0'-7"	1'-2"
RESIDENTIAL	M	14.11	4'-5"	4'-8"
RESIDENTIAL	M	14.12	2'-6"	3'-11"
RESIDENTIAL	E	14.13	5'-0"	6'-11"
RESIDENTIAL	M	14.14	1'-3"	3'-10"
RESIDENTIAL	M	14.15	4'-2"	4'-10"
RESIDENTIAL	M	14.16	2'-9"	3'-1"
RESIDENTIAL	M	14.17	4'-6"	5'-2"
RESIDENTIAL	M	14.18	1'-10"	2'-8"
RESIDENTIAL	M	14.19	1'-3"	3'-11"
RESIDENTIAL	M	14.20	2'-5"	3'-8"
RESIDENTIAL	M	14.21	4'-8"	5'-1"
RESIDENTIAL	M	14.22	4'-8"	4'-11"
RESIDENTIAL	M	14.23	3'-1"	4'-7"
RESIDENTIAL	M	14.24	1'-1"	3'-10"
RESIDENTIAL	M	14.25	2'-5"	3'-1"
RESIDENTIAL	M	14.26	1'-1"	4'-2"
RESIDENTIAL	M	14.27	1'-7"	1'-10"
RESIDENTIAL	M	14.28	1'-9"	3'-2"
RESIDENTIAL	ST	14.29	0'-9"	8'-1"
RESIDENTIAL	ST	14.30	0'-8"	6'-9"
RESIDENTIAL	ST	14.31	0'-8"	16'-5"
RESIDENTIAL	ST	14.32	0'-8"	16'-5"
RESIDENTIAL	M	14.33	0'-7"	1'-2"
RESIDENTIAL	M	14.34	2'-2"	2'-3"
SUBTOTAL				701.1

14TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	14.35	4'-8"	7'-8"
RESIDENTIAL	M	14.36	1'-7"	3'-1"
RESIDENTIAL	M	14.37	1'-1"	3'-2"
RESIDENTIAL	M	14.38	2'-11"	3'-9"
RESIDENTIAL	M	14.39	3'-0"	4'-0"
RESIDENTIAL	M	14.40	1'-7"	2'-9"
RESIDENTIAL	P	14.41	1'-5"	10'-9"
RESIDENTIAL	P	14.42	1'-0"	6'-3"
RESIDENTIAL	P	14.43	0'-9"	7'-2"
RESIDENTIAL	P	14.44	1'-6"	10'-0"
RESIDENTIAL	P	14.45	0'-11"	5'-5"
RESIDENTIAL	P	14.46	1'-0"	5'-7"
RESIDENTIAL	P	14.47	0'-7"	4'-10"
RESIDENTIAL	P	14.48	1'-1"	7'-2"
RESIDENTIAL	P	14.49	1'-8"	5'-2"
RESIDENTIAL	P	14.50	1'-0"	3'-11"
RESIDENTIAL	P	14.51	0'-9"	6'-4"
RESIDENTIAL	P	14.52	1'-6"	2'-11"
RESIDENTIAL	P	14.53	1'-0"	6'-1"
RESIDENTIAL	P	14.54	1'-3"	11'-5"
RESIDENTIAL	P	14.55	1'-0"	9'-10"
RESIDENTIAL	P	14.56	1'-1"	6'-2"
RESIDENTIAL	M	14.57	2'-8"	3'-1"
RESIDENTIAL	M	14.58	4'-8"	4'-11"
RESIDENTIAL	P	14.59	1'-1"	5'-2"
RESIDENTIAL	P	14.60	1'-0"	7'-2"
RESIDENTIAL	P	14.61	1'-5"	3'-11"
RESIDENTIAL	M	14.62	0'-11"	3'-4"
RESIDENTIAL	P	14.63	0'-10"	4'-8"
RESIDENTIAL	M	14.64	1'-3"	1'-9"
RESIDENTIAL	P	14.65	0'-9"	3'-3"
RESIDENTIAL	P	14.66	0'-4"	2'-3"
RESIDENTIAL	P	14.67	0'-8"	3'-1"
RESIDENTIAL	M	14.68	0'-9"	1'-2"
RESIDENTIAL	E	14.69	1'-5"	4'-3"
RESIDENTIAL	M	14.70	2'-2"	4'-10"
RESIDENTIAL	P	14.71	1'-9"	3'-5"
RESIDENTIAL	P	14.72	3'-3"	6'-9"
RESIDENTIAL	M	14.73	2'-3"	3'-3"
SUBTOTAL				701.1

14TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		4,239	286	3,953
TOTAL		4,239	286	3,953

14TH FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	ST	14.74	0'-8"	7'-2"
RESIDENTIAL	ST	14.75	0'-8"	1'-6"
RESIDENTIAL	ST	14.76	0'-8"	1'-6"
RESIDENTIAL	M	14.77	2'-2"	3'-4"
RESIDENTIAL	M	14.78	1'-4"	3'-1"
RESIDENTIAL	M	14.79	3'-3"	4'-8"
RESIDENTIAL	M	14.80	0'-3"	1'-2"
RESIDENTIAL	M	14.81	4'-7"	5'-4"
RESIDENTIAL	M	14.82	1'-1"	3'-2"
RESIDENTIAL	M	14.83	1'-0"	3'-5"
RESIDENTIAL	M	14.84	5'-0"	6'-2"
RESIDENTIAL	M	14.85	2'-2"	6'-6"
RESIDENTIAL	M	14.86	1'-7"	2'-9"
RESIDENTIAL	P	14.87	0'-10"	3'-2"
RESIDENTIAL	P	14.88	1'-0"	7'-5"
RESIDENTIAL	P	14.89	1'-6"	2'-11"
RESIDENTIAL	P	14.90	1'-5"	2'-11"
RESIDENTIAL	P	14.91	1'-0"	6'-3"
RESIDENTIAL	P	14.92	0'-7"	3'-4"
RESIDENTIAL	P	14.93	1'-2"	4'-4"

16TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	GFA	DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	9,387	705	8,681	
TOTAL	9,387	705	8,681	

16TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	E	16.1	2'-7"	4'-7"
RESIDENTIAL	ST	16.2	0'-8"	12'-1"
RESIDENTIAL	M	16.3	3'-2"	6'-11"
RESIDENTIAL	M	16.4	2'-7"	7'-11"
RESIDENTIAL	M	16.5	3'-5"	3'-8"
RESIDENTIAL	ST	16.6	0'-8"	7'-2"
RESIDENTIAL	ST	16.7	0'-8"	12'-1"
RESIDENTIAL	M	16.8	4'-3"	8'-3"
RESIDENTIAL	M	16.9	3'-2"	4'-9"
RESIDENTIAL	M	16.10	0'-8"	11'-0"
RESIDENTIAL	M	16.11	4'-5"	4'-8"
RESIDENTIAL	M	16.12	2'-6"	3'-11"
RESIDENTIAL	E	16.13	4'-10"	6'-11"
RESIDENTIAL	M	16.14	1'-3"	3'-10"
RESIDENTIAL	M	16.15	4'-2"	4'-10"
RESIDENTIAL	M	16.16	2'-9"	3'-1"
RESIDENTIAL	M	16.17	4'-6"	5'-2"
RESIDENTIAL	M	16.18	1'-10"	2'-8"
RESIDENTIAL	M	16.19	1'-3"	3'-11"
RESIDENTIAL	M	16.20	2'-5"	3'-8"
RESIDENTIAL	M	16.21	4'-8"	5'-11"
RESIDENTIAL	M	16.22	4'-8"	4'-11"
RESIDENTIAL	M	16.23	3'-1"	4'-7"
RESIDENTIAL	M	16.24	1'-1"	3'-10"
RESIDENTIAL	M	16.25	2'-5"	3'-1"
RESIDENTIAL	M	16.26	1'-1"	4'-2"
RESIDENTIAL	M	16.27	1'-10"	1'-10"
RESIDENTIAL	M	16.28	1'-7"	2'-5"
RESIDENTIAL	ST	16.29	0'-9"	8'-1"
RESIDENTIAL	ST	16.30	0'-8"	6'-9"
RESIDENTIAL	M	16.31	0'-8"	16'-5"
RESIDENTIAL	ST	16.32	0'-8"	16'-5"
RESIDENTIAL	M	16.33	0'-7"	1'-2"
RESIDENTIAL	M	16.34	2'-2"	2'-3"
RESIDENTIAL	M	16.35	4'-8"	7'-8"
SUBTOTAL				

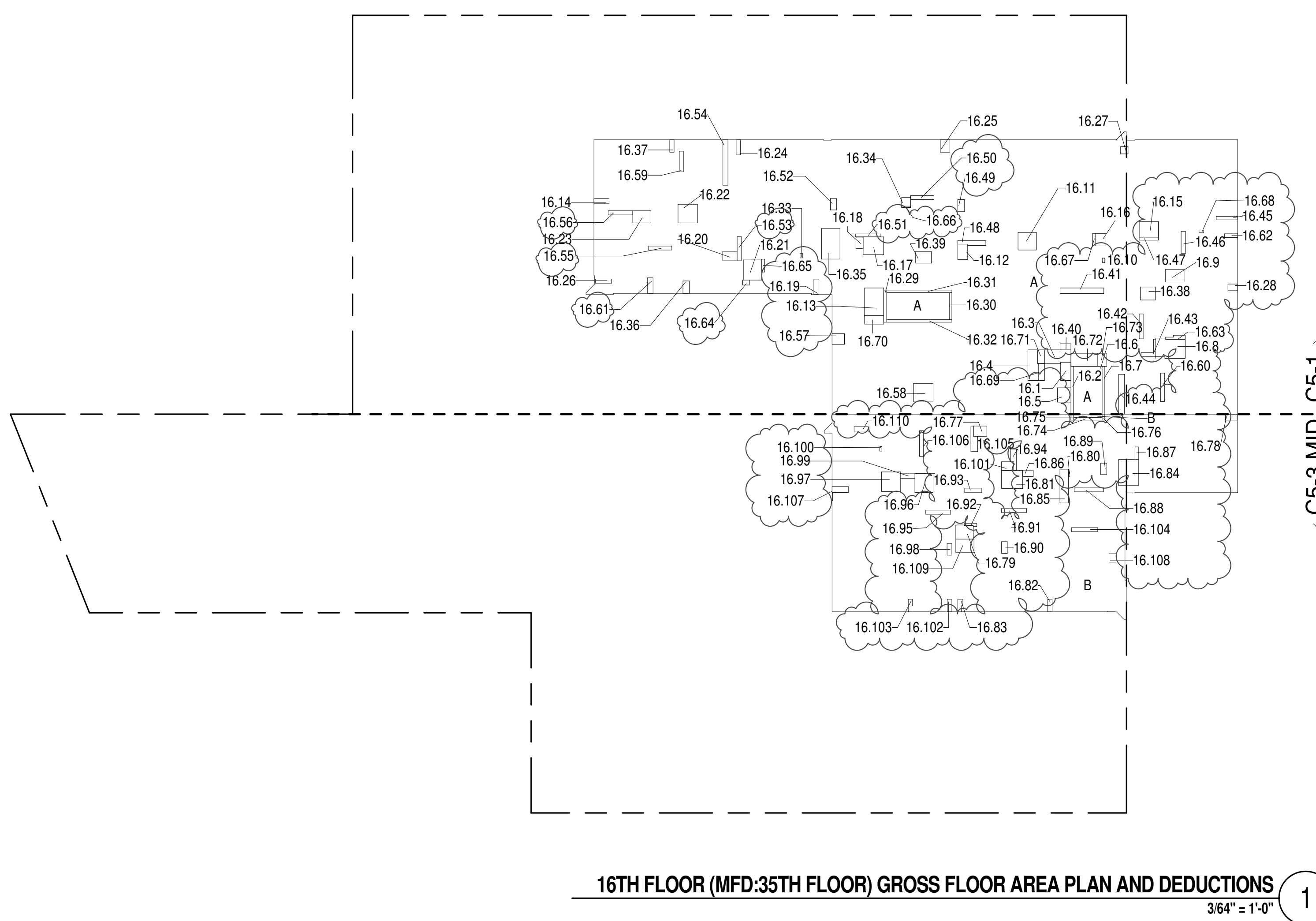
16TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	16.36	1'-7"	3'-1"
RESIDENTIAL	M	16.37	1'-1"	3'-2"
RESIDENTIAL	M	16.38	3'-3"	3'-10"
RESIDENTIAL	M	16.39	3'-0"	4'-0"
RESIDENTIAL	M	16.40	1'-7"	2'-9"
RESIDENTIAL	P	16.41	1'-0"	11'-0"
RESIDENTIAL	P	16.42	1'-0"	6'-3"
RESIDENTIAL	P	16.43	0'-9"	7'-3"
RESIDENTIAL	P	16.44	1'-6"	10'-0"
RESIDENTIAL	P	16.45	0'-11"	5'-5"
RESIDENTIAL	P	16.46	1'-1"	5'-7"
RESIDENTIAL	P	16.47	0'-7"	4'-10"
RESIDENTIAL	P	16.48	1'-1"	7'-2"
RESIDENTIAL	P	16.49	1'-8"	2'-11"
RESIDENTIAL	P	16.50	1'-0"	5'-11"
RESIDENTIAL	P	16.51	0'-9"	6'-4"
RESIDENTIAL	P	16.52	1'-6"	2'-11"
RESIDENTIAL	P	16.53	1'-0"	6'-1"
RESIDENTIAL	P	16.54	1'-3"	11'-5"
RESIDENTIAL	P	16.55	1'-0"	5'-10"
RESIDENTIAL	P	16.56	1'-1"	6'-2"
RESIDENTIAL	M	16.57	2'-8"	3'-1"
RESIDENTIAL	M	16.58	4'-8"	4'-11"
RESIDENTIAL	P	16.59	1'-1"	5'-2"
RESIDENTIAL	P	16.60	1'-0"	7'-2"
RESIDENTIAL	P	16.61	1'-5"	3'-11"
RESIDENTIAL	M	16.62	0'-11"	3'-4"
RESIDENTIAL	P	16.63	0'-10"	5'-2"
RESIDENTIAL	M	16.64	1'-3"	1'-9"
RESIDENTIAL	P	16.65	0'-9"	3'-3"
RESIDENTIAL	P	16.66	0'-4"	2'-3"
RESIDENTIAL	P	16.67	0'-8"	3'-1"
RESIDENTIAL	M	16.68	0'-9"	1'-2"
RESIDENTIAL	E	16.69	1'-5"	4'-3"
RESIDENTIAL	M	16.70	2'-2"	4'-10"
RESIDENTIAL	M	16.71	1'-9"	3'-5"
RESIDENTIAL	P	16.72	3'-3"	6'-9"
RESIDENTIAL	M	16.73	2'-3"	3'-3"
SUBTOTAL				705.4

16TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	GFA	DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	4,239	286	3,953	
TOTAL	4,239	286	3,953	

16TH FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	ST	16.74	0'-8"	7'-2"
RESIDENTIAL	ST	16.75	0'-8"	1'-6"
RESIDENTIAL	ST	16.76	0'-8"	1'-6"
RESIDENTIAL	M	16.77	2'-7"	3'-4"
RESIDENTIAL	M	16.78	1'-4"	3'-1"
RESIDENTIAL	M	16.79	3'-3"	4'-8"
RESIDENTIAL	M	16.80	0'-3"	1'-2"
RESIDENTIAL	M	16.81	4'-7"	5'-4"
RESIDENTIAL	M	16.82	1'-1"	3'-2"
RESIDENTIAL	M	16.83	1'-0"	3'-5"
RESIDENTIAL	M	16.84	5'-0"	6'-2"
RESIDENTIAL	M	16.85	2'-2"	6'-6"
RESIDENTIAL	M	16.86	1'-7"	2'-9"
RESIDENTIAL	P	16.87	0'-10"	3'-2"
RESIDENTIAL	P	16.88	1'-0"	7'-5"
RESIDENTIAL	P	16.89	1'-6"	2'-11"
RESIDENTIAL	P	16.90	1'-5"	2'-11"
RESIDENTIAL	P	16.91	1'-0"	6'-3"
RESIDENTIAL	P	16.92	0'-7"	3'-4"
RESIDENTIAL	P	16.93	1'-2"	4'-4"
RESIDENTIAL	P	16.94	1'-1"	5'-9"
RESIDENTIAL	P	16.95	1'-1"	6'-4"
RESIDENTIAL	M	16.96	4'-7"	4'-10"
RESIDENTIAL	M	16.97	4'-10"	4'-11"
RESIDENTIAL	P	16.98	1'-3"	2'-11"
RESIDENTIAL	P	16.99	1'-2"	3'-7"
RESIDENTIAL	M	16.100	0'-6"	1'-2"
RESIDENTIAL	M	16.101	2'-2"	3'-1"
RESIDENTIAL	M	16.102	1'-2"	3'-2"
RESIDENTIAL	M	16.103	1'-0"	3'-3"
RESIDENTIAL	P	16.104	1'-0"	6'-7"
RESIDENTIAL	P	16.105	1'-2"	6'-11"
SUBTOTAL				

16TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	GFA	DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	13,626	991	12,635	
TOTAL	13,626	991	12,635	

16TH FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	P	16.106	1'-0"	6'-6"
RESIDENTIAL	M	16.107	1'-7"	4'-1"
RESIDENTIAL	M	16.108	1'-10"	2'-1"
RESIDENTIAL	M	16.109	3'-5"	4'-2"
RESIDENTIAL	P	16.110	1'-4"	3'-9"
SUBTOTAL				285.8



16TH FLOOR (MFD:35TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' = 1'-0"

17TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	GFA	DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	9,387	705	8,681	
TOTAL	9,387	705	8,681	

17TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	E	17.1	2'-7"	4'-7"
RESIDENTIAL	ST	17.2	0'-8"	12'-1"
RESIDENTIAL	M	17.3	3'-2"	6'-11"
RESIDENTIAL	M	17.4	2'-7"	7'-11"
RESIDENTIAL	M	17.5	3'-5"	3'-8"
RESIDENTIAL	ST	17.6	0'-8"	7'-2"
RESIDENTIAL	ST	17.7	0'-8"	12'-1"
RESIDENTIAL	M	17.8	4'-3"	8'-3"
RESIDENTIAL	M	17.9	3'-2"	4'-9"
RESIDENTIAL	M	17.10	0'-7"	1'-2"
RESIDENTIAL	M	17.11	4'-5"	4'-8"
RESIDENTIAL	M	17.12	2'-6"	3'-11"
RESIDENTIAL	E	17.13	4'-10"	6'-11"
RESIDENTIAL	M	17.14	1'-3"	3'-10"
RESIDENTIAL	M	17.15	4'-2"	4'-10"
RESIDENTIAL	M	17.16	2'-9"	3'-1"
RESIDENTIAL	M	17.17	4'-6"	5'-2"
RESIDENTIAL	M	17.18	1'-10"	2'-8"
RESIDENTIAL	M	17.19	1'-3"	3'-11"
RESIDENTIAL	M	17.20	2'-5"	3'-8"
RESIDENTIAL	M	17.21	4'-8"	5'-11"
RESIDENTIAL	M	17.22	4'-8"	4'-11"
RESIDENTIAL	M	17.23	3'-1"	4'-7"
RESIDENTIAL	M	17.24	1'-1"	3'-10"
RESIDENTIAL	M	17.25	2'-5"	3'-1"
RESIDENTIAL	M	17.26	1'-1"	4'-2"
RESIDENTIAL	M	17.27	1'-10"	1'-10"
RESIDENTIAL	M	17.28	1'-7"	2'-5"
RESIDENTIAL	ST	17.29	0'-9"	8'-1"
RESIDENTIAL	ST	17.30	0'-8"	6'-9"
RESIDENTIAL	ST	17.31	0'-8"	16'-5"
RESIDENTIAL	ST	17.32	0'-8"	16'-5"
RESIDENTIAL	M	17.33	0'-7"	1'-2"
RESIDENTIAL	M	17.34	2'-2"	2'-3"
RESIDENTIAL	M	17.35	4'-8"	7'-8"
SUBTOTAL				

17TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	17.36	1'-7"	3'-1"
RESIDENTIAL	M	17.37	1'-1"	3'-2"
RESIDENTIAL	M	17.38	3'-3"	3'-10"
RESIDENTIAL	M	17.39	3'-0"	4'-0"
RESIDENTIAL	P	17.40	1'-7"	2'-9"
RESIDENTIAL	P	17.41	1'-5"	11'-0"
RESIDENTIAL	P	17.42	1'-0"	6'-3"
RESIDENTIAL	P	17.43	0'-9"	7'-3"
RESIDENTIAL	P	17.44	1'-6"	10'-0"
RESIDENTIAL	P	17.45	0'-11"	5'-5"
RESIDENTIAL	P	17.46	1'-1"	5'-7"
RESIDENTIAL	P	17.47	0'-7"	4'-10"
RESIDENTIAL	P	17.48	1'-1"	7'-2"
RESIDENTIAL	P	17.49	1'-8"	2'-11"
RESIDENTIAL	P	17.50	1'-0"	5'-11"
RESIDENTIAL	P	17.51	0'-9"	6'-4"
RESIDENTIAL	P	17.52	1'-6"	2'-11"
RESIDENTIAL	P	17.53	1'-0"	6'-1"
RESIDENTIAL	P	17.54	1'-3"	11'-5"
RESIDENTIAL	P	17.55	1'-0"	5'-10"
RESIDENTIAL	P	17.56	1'-1"	6'-2"
RESIDENTIAL	M	17.57	2'-8"	3'-1"
RESIDENTIAL	M	17.58	4'-8"	4'-11"
RESIDENTIAL	P	17.59	1'-1"	5'-2"
RESIDENTIAL	P	17.60	1'-0"	7'-2"
RESIDENTIAL	P	17.61	1'-5"	3'-11"
RESIDENTIAL	M	17.62	0'-11"	3'-4"
RESIDENTIAL	P	17.63	0'-10"	5'-2"
RESIDENTIAL	M	17.64	1'-3"	1'-9"
RESIDENTIAL	P	17.65	0'-9"	3'-3"
RESIDENTIAL	P	17.66	0'-4"	2'-3"
RESIDENTIAL	P	17.67	0'-8"	3'-1"
RESIDENTIAL	M	17.68	0'-9"	1'-2"
RESIDENTIAL	E	17.69	1'-5"	4'-3"
RESIDENTIAL	M	17.70	2'-2"	4'-10"
RESIDENTIAL	M	17.71	1'-9"	3'-5"
RESIDENTIAL	P	17.72	3'-3"	6'-9"
RESIDENTIAL	M	17.73	2'-3"	3'-3"
SUBTOTAL				705.4

17TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	GFA	DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	4,239	279	3,960	
TOTAL	4,239	279	3,960	

17TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	17.74	2'-6"	3'-3"	8.2
RESIDENTIAL	M	17.75	3'-2"	3'-5"	10.7
RESIDENTIAL	M	17.76	0'-3"	1'-2"	0.3
RESIDENTIAL	M	17.77	4'-5"	5'-1"	22.5
RESIDENTIAL	M	17.78	1'-1"	3'-2"	3.4
RESIDENTIAL	M	17.79	1'-2"	1'-7"	1.8
RESIDENTIAL	M	17.80	1'-9"	2'-5"	4.8
RESIDENTIAL	M	17.81	2'-2"	8'-8"	18.2
RESIDENTIAL	M	17.82	1'-7"	2'-2"	3.5
RESIDENTIAL	P	17.83	0'-10"	3'-2"	2.9
RESIDENTIAL	P	17.84	1'-0"	7'-5"	7.2
RESIDENTIAL	P	17.85	1'-0"	2'-11"	2.9
RESIDENTIAL	P	17.86	1'-3"	2'-11"	3.8
RESIDENTIAL	P	17.87	1'-1"	5'-6"	5.8
RESIDENTIAL	P	17.88	0'-11"	3'-10"	3.4
RESIDENTIAL	P	17.89	1'-2"	4'-8"	5.3
RESIDENTIAL	P	17.90	1'-0"	4'-11"	4.9
RESIDENTIAL	M	17.91	2'-4"	3'-0"	6.9
RESIDENTIAL	P	17.92	1'-0"	7'-0"	7.0
RESIDENTIAL	P	17.93	4'-4"	6'-5"	28.6
RESIDENTIAL	M	17.94	1'-5"	1'-10"	1.6
RESIDENTIAL	M	17.95	3'-10"	5'-1"	19.4
RESIDENTIAL	M	17.96	4'-2"	5'-0"	20.8
RESIDENTIAL	M	17.97	2'-5"	3'-3"	7.7
RESIDENTIAL	ST	17.98	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	17.99	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	17.100	0'-8"	1'-6"	1.0
RESIDENTIAL	M	17.101	1'-4"	3'-1"	4.1
RESIDENTIAL	P	17.102	1'-1"	6'-4"	6.7
RESIDENTIAL	M	17.103	4'-7"	4'-10"	22.1
RESIDENTIAL	M	17.104	4'-10"	5'-0"	24.5
RESIDENTIAL	P	17.105	1'-3"	2'-11"	3.6
RESIDENTIAL	P	17.106	0'-2"	3'-7"	4.1
RESIDENTIAL	P	17.107	0'-6"	1'-2"	0.6
SUBTOTAL					

21ST FLOOR (MFD:43RD FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 3

22ND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	AREA	DEDUCTIONS	NET AREA
RESIDENTIAL	9,387	688	8,699	
TOTAL	9,387	688	8,699	

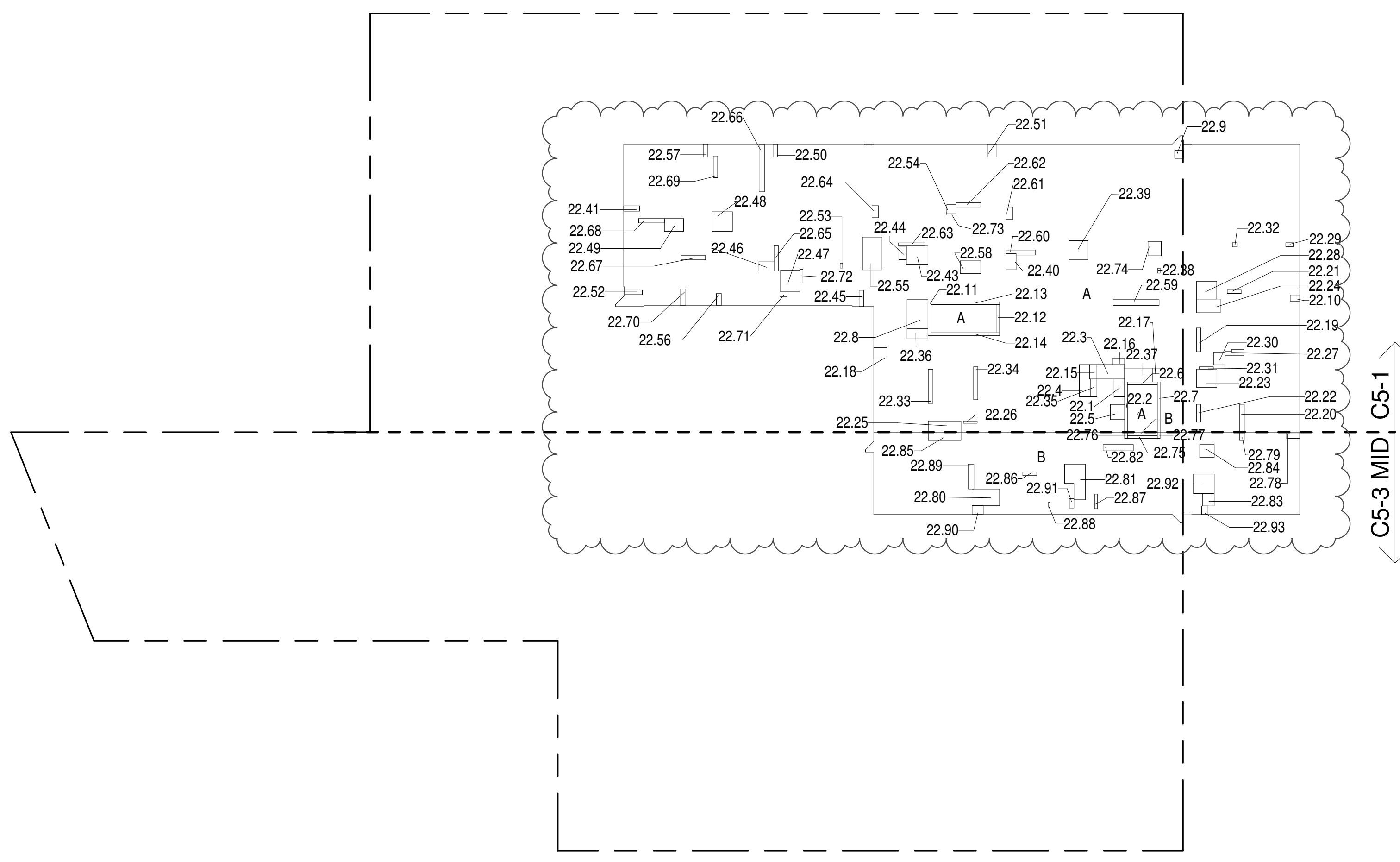
22ND FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	NO.	LENGTH	WIDTH
RESIDENTIAL	E	22.1	2'-7"	4'-3"
RESIDENTIAL	ST	22.2	0'-8"	12'-1"
RESIDENTIAL	M	22.3	3'-5"	6'-8"
RESIDENTIAL	M	22.4	2'-7"	7'-11"
RESIDENTIAL	M	22.5	3'-5"	3'-8"
RESIDENTIAL	ST	22.6	0'-8"	7'-2"
RESIDENTIAL	ST	22.7	0'-8"	12'-1"
RESIDENTIAL	E	22.8	5'-1"	6'-10"
RESIDENTIAL	M	22.9	1'-11"	2'-1"
RESIDENTIAL	M	22.10	1'-6"	2'-3"
RESIDENTIAL	ST	22.11	0'-9"	8'-1"
RESIDENTIAL	ST	22.12	0'-8"	6'-9"
RESIDENTIAL	ST	22.13	0'-8"	16'-5"
RESIDENTIAL	ST	22.14	0'-8"	16'-5"
RESIDENTIAL	P	22.15	1'-9"	3'-5"
RESIDENTIAL	M	22.16	1'-6"	2'-11"
RESIDENTIAL	M	22.17	2'-3"	3'-4"
RESIDENTIAL	M	22.18	2'-8"	3'-1"
RESIDENTIAL	P	22.19	1'-0"	5'-8"
RESIDENTIAL	P	22.20	1'-11"	6'-5"
RESIDENTIAL	P	22.21	0'-10"	3'-4"
RESIDENTIAL	P	22.22	1'-0"	4'-4"
RESIDENTIAL	M	22.23	4'-5"	4'-10"
RESIDENTIAL	M	22.24	3'-3"	5'-8"
RESIDENTIAL	M	22.25	2'-8"	7'-10"
RESIDENTIAL	P	22.26	0'-6"	3'-4"
RESIDENTIAL	P	22.27	1'-3"	4'-9"
RESIDENTIAL	M	22.28	4'-3"	4'-10"
RESIDENTIAL	M	22.29	0'-11"	8'-1"
RESIDENTIAL	M	22.30	2'-9"	2'-11"
RESIDENTIAL	P	22.31	0'-7"	3'-4"
RESIDENTIAL	M	22.32	1'-0"	1'-2"
RESIDENTIAL	P	22.33	1'-1"	8'-2"
RESIDENTIAL	P	22.34	1'-0"	7'-11"
RESIDENTIAL	E	22.35	1'-5"	4'-3"
SUBTOTAL				687.7

22ND FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	22.36	2'-6"	5'-0"
RESIDENTIAL	P	22.37	3'-4"	6'-9"
RESIDENTIAL	M	22.38	0'-7"	1'-2"
RESIDENTIAL	M	22.39	4'-7"	4'-7"
RESIDENTIAL	M	22.40	2'-6"	3'-11"
RESIDENTIAL	M	22.41	1'-3"	3'-10"
RESIDENTIAL	M	22.42	2'-9"	3'-6"
RESIDENTIAL	M	22.43	4'-6"	5'-2"
RESIDENTIAL	M	22.44	1'-10"	3'-0"
RESIDENTIAL	M	22.45	1'-2"	3'-11"
RESIDENTIAL	M	22.46	2'-5"	3'-8"
RESIDENTIAL	M	22.47	4'-8"	5'-1"
RESIDENTIAL	M	22.48	4'-8"	4'-11"
RESIDENTIAL	M	22.49	3'-1"	4'-7"
RESIDENTIAL	M	22.50	1'-1"	3'-2"
RESIDENTIAL	M	22.51	2'-3"	3'-1"
RESIDENTIAL	M	22.52	1'-1"	4'-2"
RESIDENTIAL	M	22.53	0'-7"	1'-2"
RESIDENTIAL	M	22.54	2'-2"	2'-2"
RESIDENTIAL	M	22.55	4'-8"	7'-10"
RESIDENTIAL	M	22.56	1'-2"	2'-10"
RESIDENTIAL	M	22.57	1'-1"	3'-2"
RESIDENTIAL	M	22.58	3'-1"	4'-11"
RESIDENTIAL	P	22.59	1'-5"	11'-0"
RESIDENTIAL	P	22.60	1'-1"	7'-2"
RESIDENTIAL	P	22.61	1'-8"	2'-11"
RESIDENTIAL	P	22.62	1'-0"	6'-0"
RESIDENTIAL	P	22.63	0'-9"	6'-4"
RESIDENTIAL	P	22.64	1'-6"	2'-11"
RESIDENTIAL	P	22.65	1'-0"	6'-1"
RESIDENTIAL	P	22.66	1'-3"	11'-5"
RESIDENTIAL	P	22.67	1'-0"	5'-10"
RESIDENTIAL	P	22.68	1'-1"	6'-2"
RESIDENTIAL	P	22.69	1'-1"	5'-2"
RESIDENTIAL	P	22.70	1'-5"	3'-11"
RESIDENTIAL	M	22.71	1'-3"	1'-9"
RESIDENTIAL	P	22.72	0'-9"	3'-3"
RESIDENTIAL	P	22.73	0'-4"	2'-2"
RESIDENTIAL	P	22.74	0'-6"	3'-6"
SUBTOTAL				687.7

22ND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	AREA	DEDUCTIONS	NET AREA
RESIDENTIAL	2,024	167	1,857	
TOTAL	2,024	167	1,857	

22ND FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	ST	22.75	0'-8"	7'-2"
RESIDENTIAL	ST	22.76	0'-8"	1'-6"
RESIDENTIAL	ST	22.77	0'-8"	1'-6"
RESIDENTIAL	P	22.78	1'-4"	3'-2"
RESIDENTIAL	P	22.79	1'-1"	2'-0"
RESIDENTIAL	M	22.80	4'-0"	6'-7"
RESIDENTIAL	M	22.81	3'-4"	10'-3"
RESIDENTIAL	P	22.82	1'-6"	7'-3"
RESIDENTIAL	M	22.83	2'-9"	3'-0"
RESIDENTIAL	M	22.84	3'-1"	3'-6"
RESIDENTIAL	M	22.85	2'-0"	7'-10"
RESIDENTIAL	P	22.86	0'-10"	3'-4"
RESIDENTIAL	P	22.87	0'-7"	3'-6"
RESIDENTIAL	M	22.88	0'-5"	1'-2"
RESIDENTIAL	P	22.89	1'-4"	6'-0"
RESIDENTIAL	M	22.90	2'-1"	2'-8"
RESIDENTIAL	M	22.91	1'-1"	2'-3"
RESIDENTIAL	M	22.92	4'-8"	5'-0"
RESIDENTIAL	M	22.93	1'-6"	2'-1"
SUBTOTAL				166.8

22ND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	AREA	DEDUCTIONS	NET AREA
RESIDENTIAL	11,410	855	10,556	
TOTAL	11,410	855	10,556	



22ND FLOOR (MFD:45TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364' = 1'-0" 1

ZONING AND DEDUCT LEGEND

☐ DEDUCTIONS

M - MECHANICAL ROOM / RISER

E - ELECTRICAL SHAFT / RISER

P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)

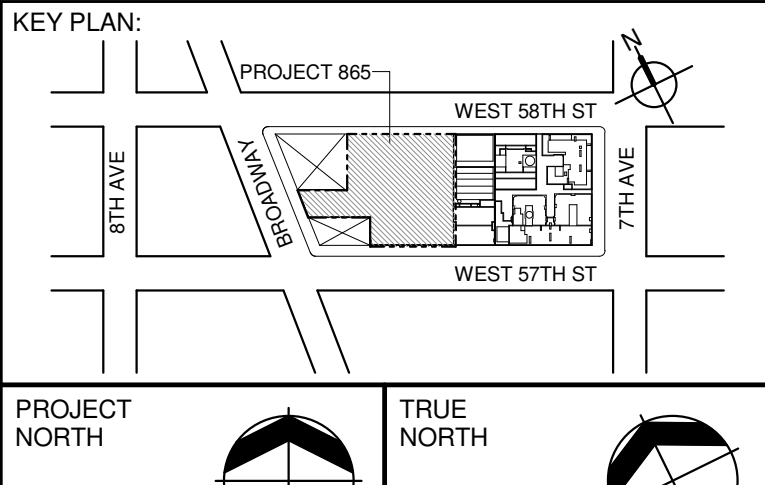
G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS



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EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 17TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

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 111 WEST MONROE STREET SUITE 2300
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CURTAINWALL CONSULTANT:
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 40 Worth Street, Suite 808
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 11 Hanover Square, 16th Floor
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Jan Hird Pokorny Associates, Inc.
 59 West 37th Street, 12A
 New York, NY 10018
 TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14
	D.O.B. AMENDMENT 2	21 SEP 15
	D.O.B. AMENDMENT 3	03 OCT 16

0 10' - 8" 21' - 4" 42' - 8"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Corrections must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AAI ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

ZONING FLOOR AREA PLAN AND DEDUCTIONS
22ND 23RD, 24TH FLOOR

SEAL & SIGNATURE: DATE: 05 DEC 14
 PROJECT No: 1216-00
 DRAWN: Author
 CHECK: Checker
 SCALE: 3/64" = 1'-0"
 DWG No: **Z-016.02**
 DOB PAGE No: 13 of 454
 DOB EMPLOYEE STAMP: DOB B-SCAN:

23RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	AREA	DEDUCTIONS	NET AREA
RESIDENTIAL	9,387	688	8,699	
TOTAL	9,387	688	8,699	

23RD FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	E	23.1	2'-7"	4'-3"
RESIDENTIAL	ST	23.2	0'-8"	12'-1"
RESIDENTIAL	M	23.3	3'-5"	6'-8"
RESIDENTIAL	M	23.4	2'-7"	7'-11"
RESIDENTIAL	M	23.5	3'-5"	3'-8"
RESIDENTIAL	ST	23.6	0'-8"	7'-2"
RESIDENTIAL	ST	23.7	0'-8"	12'-1"
RESIDENTIAL	E	23.8	5'-1"	6'-10"
RESIDENTIAL	M	23.9	1'-11"	2'-1"
RESIDENTIAL	M	23.10	1'-6"	2'-3"
RESIDENTIAL	ST	23.11	0'-9"	8'-1"
RESIDENTIAL	ST	23.12	0'-8"	6'-9"
RESIDENTIAL	ST	23.13	0'-8"	16'-5"
RESIDENTIAL	ST	23.14	0'-8"	16'-5"
RESIDENTIAL	P	23.15	1'-9"	3'-5"
RESIDENTIAL	M	23.16	1'-6"	2'-11"
RESIDENTIAL	M	23.17	2'-3"	3'-4"
RESIDENTIAL	M	23.18	2'-8"	3'-1"
RESIDENTIAL	P	23.19	1'-0"	5'-8"
RESIDENTIAL	P	23.20	1'-1"	6'-8"
RESIDENTIAL	P	23.21	0'-10"	3'-4"
RESIDENTIAL	P	23.22	1'-0"	4'-4"
RESIDENTIAL	M	23.23	4'-5"	4'-10"
RESIDENTIAL	M	23.24	3'-3"	5'-8"
RESIDENTIAL	M	23.25	2'-8"	7'-10"
RESIDENTIAL	P	23.26	0'-6"	3'-4"
RESIDENTIAL	P	23.27	1'-3"	4'-9"
RESIDENTIAL	M	23.28	4'-3"	4'-10"
RESIDENTIAL	M	23.29	0'-11"	1'-9"
RESIDENTIAL	M	23.30	2'-9"	2'-11"
RESIDENTIAL	P	23.31	0'-7"	3'-4"
RESIDENTIAL	M	23.32	1'-0"	1'-2"
RESIDENTIAL	P	23.33	1'-1"	8'-2"
RESIDENTIAL	P	23.34	1'-0"	7'-11"
RESIDENTIAL	E	23.35	1'-5"	4'-3"
SUBTOTAL				687.5

23RD FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	23.36	2'-6"	5'-0"
RESIDENTIAL	P	23.37	3'-4"	6'-9"
RESIDENTIAL	M	23.38	0'-7"	1'-2"
RESIDENTIAL	M	23.39	4'-7"	4'-7"
RESIDENTIAL	M	23.40	2'-6"	3'-11"
RESIDENTIAL	M	23.41	1'-3"	3'-10"
RESIDENTIAL	M	23.42	2'-9"	3'-6"
RESIDENTIAL	M	23.43	4'-6"	5'-2"
RESIDENTIAL	M	23.44	1'-10"	3'-0"
RESIDENTIAL	M	23.45	1'-2"	3'-11"
RESIDENTIAL	M	23.46	2'-5"	3'-8"
RESIDENTIAL	M	23.47	4'-8"	5'-1"
RESIDENTIAL	M	23.48	4'-8"	4'-11"
RESIDENTIAL	M	23.49	3'-1"	4'-7"
RESIDENTIAL	M	23.50	1'-1"	3'-2"
RESIDENTIAL	M	23.51	2'-3"	3'-1"
RESIDENTIAL	M	23.52	1'-1"	4'-2"
RESIDENTIAL	M	23.53	0'-7"	1'-2"
RESIDENTIAL	M	23.54	2'-2"	2'-2"
RESIDENTIAL	M	23.55	4'-8"	7'-10"
RESIDENTIAL	M	23.56	1'-2"	2'-10"
RESIDENTIAL	M	23.57	1'-1"	3'-2"
RESIDENTIAL	M	23.58	3'-1"	4'-11"
RESIDENTIAL	P	23.59	1'-5"	11'-0"
RESIDENTIAL	P	23.60	1'-1"	7'-2"
RESIDENTIAL	P	23.61	1'-8"	2'-11"
RESIDENTIAL	P	23.62	1'-0"	6'-0"
RESIDENTIAL	P	23.63	0'-9"	6'-4"
RESIDENTIAL	P	23.64	1'-6"	2'-11"
RESIDENTIAL	P	23.65	1'-0"	6'-1"
RESIDENTIAL	P	23.66	1'-3"	11'-5"
RESIDENTIAL	P	23.67	1'-0"	5'-10"
RESIDENTIAL	P	23.68	1'-1"	6'-2"
RESIDENTIAL	P	23.69	1'-1"	5'-2"
RESIDENTIAL	P	23.70	1'-5"	3'-11"
RESIDENTIAL	M	23.71	1'-3"	1'-9"
RESIDENTIAL	P	23.72	0'-9"	3'-3"
RESIDENTIAL	P	23.73	0'-4"	2'-2"
RESIDENTIAL	P	23.74	0'-6"	3'-6"
SUBTOTAL				687.5

23RD FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA/SF
RESIDENTIAL		2,024	167	1,857
TOTAL		2,024	167	1,857

28TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	7,061	502		6,559
TOTAL	7,061	502		6,559

28TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	28.1	4'-11"	7'-2"	34.9
RESIDENTIAL	M	28.2	2'-10"	3'-1"	8.6
RESIDENTIAL	ST	28.3	0'-8"	25'-5"	16.9
RESIDENTIAL	M	28.4	3'-4"	7'-5"	24.4
RESIDENTIAL	M	28.5	3'-4"	3'-11"	12.8
RESIDENTIAL	M	28.6	2'-11"	3'-1"	9.1
RESIDENTIAL	M	28.7	1'-7"	3'-3"	5.1
RESIDENTIAL	M	28.8	1'-3"	6'-4"	7.9
RESIDENTIAL	M	28.9	1'-7"	3'-3"	5.3
RESIDENTIAL	M	28.10	4'-9"	6'-3"	29.6
RESIDENTIAL	M	28.11	1'-5"	5'-10"	8.2
RESIDENTIAL	M	28.12	3'-5"	3'-5"	12.5
RESIDENTIAL	ST	28.13	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	28.14	0'-8"	25'-5"	16.9
RESIDENTIAL	M	28.15	2'-10"	4'-5"	12.7
RESIDENTIAL	M	28.16	5'-1"	5'-9"	29.4
RESIDENTIAL	M	28.17	3'-2"	4'-6"	14.4
RESIDENTIAL	M	28.18	4'-9"	10'-4"	49.5
RESIDENTIAL	M	28.19	1'-8"	1'-8"	2.8
RESIDENTIAL	P	28.20	1'-2"	3'-10"	4.3
RESIDENTIAL	P	28.21	10'-10"	3'-7"	3.0
RESIDENTIAL	P	28.22	1'-0"	5'-11"	6.0
RESIDENTIAL	M	28.23	0'-10"	1'-2"	1.0
RESIDENTIAL	M	28.24	4'-7"	5'-3"	23.9
RESIDENTIAL	P	28.25	1'-3"	7'-5"	9.0
RESIDENTIAL	P	28.26	2'-1"	3'-7"	7.5
RESIDENTIAL	M	28.27	4'-1"	7'-6"	31.0
RESIDENTIAL	M	28.28	1'-5"	3'-6"	4.9
RESIDENTIAL	P	28.29	1'-1"	6'-7"	7.0
SUBTOTAL					115.7

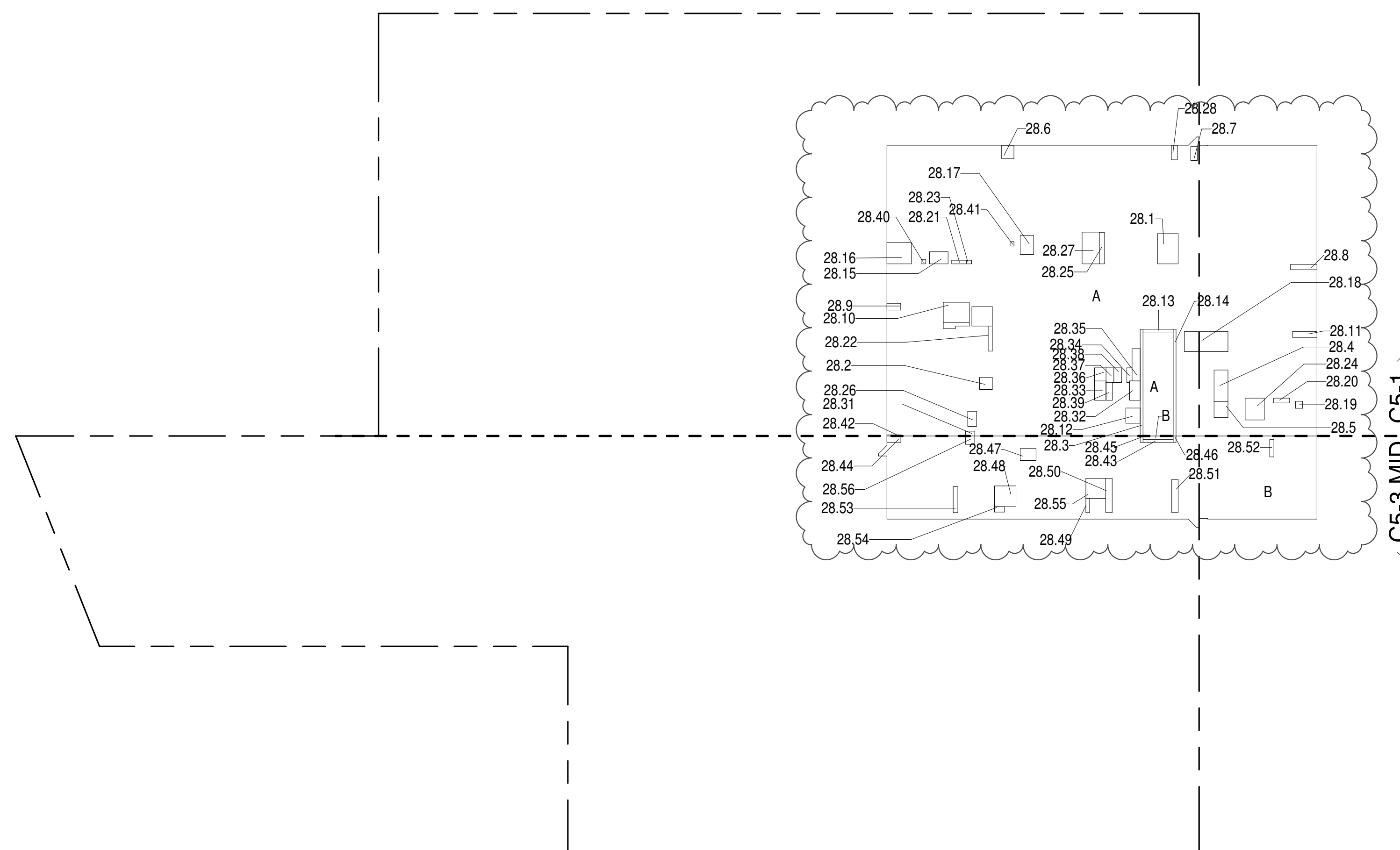
28TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (S.F.)
RESIDENTIAL	M	28.30	4'-7"	4'-10"	22.4
RESIDENTIAL	M	28.31	1'-2"	2'-3"	2.5
RESIDENTIAL	E	28.32	2'-7"	4'-7"	11.6
RESIDENTIAL	P	28.33	2'-9"	4'-7"	12.6
RESIDENTIAL	M	28.34	1'-2"	3'-6"	4.1
RESIDENTIAL	P	28.35	1'-11"	7'-8"	14.7
RESIDENTIAL	M	28.36	2'-9"	3'-1"	8.5
RESIDENTIAL	P	28.37	1'-10"	3'-5"	6.3
RESIDENTIAL	M	28.38	1'-10"	3'-5"	6.2
RESIDENTIAL	E	28.39	1'-6"	4'-3"	6.5
RESIDENTIAL	P	28.40	1'-0"	1'-1"	1.0
RESIDENTIAL	M	28.41	0'-9"	1'-1"	0.8
RESIDENTIAL	M	28.42	0'-3"	3'-3"	0.8
SUBTOTAL					501.5

28TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	2,024	116		1,908
TOTAL	2,024	116		1,908

28TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	28.43	0'-8"	7'-2"	4.8
RESIDENTIAL	M	28.44	1'-6"	3'-3"	4.9
RESIDENTIAL	ST	28.45	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	28.46	0'-8"	1'-6"	1.0
RESIDENTIAL	M	28.47	2'-10"	3'-9"	10.6
RESIDENTIAL	M	28.48	4'-11"	5'-1"	25.4
RESIDENTIAL	M	28.49	0'-11"	3'-4"	3.1
RESIDENTIAL	P	28.50	1'-6"	8'-2"	12.3
RESIDENTIAL	P	28.51	1'-6"	7'-11"	11.9
RESIDENTIAL	P	28.52	1'-0"	4'-1"	4.1
RESIDENTIAL	P	28.53	1'-1"	6'-2"	6.8
RESIDENTIAL	M	28.54	1'-3"	2'-4"	2.8
RESIDENTIAL	M	28.55	4'-9"	4'-9"	22.6
RESIDENTIAL	M	28.56	2'-0"	2'-3"	4.4
SUBTOTAL					115.7

28TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	9,084	617		8,467
TOTAL	9,084	617		8,467

28TH FLOOR DEDUCTIONS					
ZONE C5-1 AND C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	28.43	0'-8"	7'-2"	4.8
RESIDENTIAL	M	28.44	1'-6"	3'-3"	4.9
RESIDENTIAL	ST	28.45	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	28.46	0'-8"	1'-6"	1.0
RESIDENTIAL	M	28.47	2'-10"	3'-9"	10.6
RESIDENTIAL	M	28.48	4'-11"	5'-1"	25.4
RESIDENTIAL	M	28.49	0'-11"	3'-4"	3.1
RESIDENTIAL	P	28.50	1'-6"	8'-2"	12.3
RESIDENTIAL	P	28.51	1'-6"	7'-11"	11.9
RESIDENTIAL	P	28.52	1'-0"	4'-1"	4.1
RESIDENTIAL	P	28.53	1'-1"	6'-2"	6.8
RESIDENTIAL	M	28.54	1'-3"	2'-4"	2.8
RESIDENTIAL	M	28.55	4'-9"	4'-9"	22.6
RESIDENTIAL	M	28.56	2'-0"	2'-3"	4.4
SUBTOTAL					115.7



- ZONING AND DEDUCT LEGEND**
- DEDUCTIONS
 - M - MECHANICAL ROOM / RISER
 - E - ELECTRICAL SHAFT / RISER
 - P - PLUMBING RISER
 - BG - BELOW GRADE
 - O - OPENING TO BELOW
 - L - LOADING BAYS
 - ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)
 - G - GAP FROM ADJACENT BUILDING
 - DEVELOPMENT LOT LINE
- * WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.
- ** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE
- *** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

28TH FLOOR (MFD:53RD FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 1

29TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	7,061	475		6,586
TOTAL	7,061	475		6,586

29TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	29.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	29.2	2'-1"	3'-7"	7.6
RESIDENTIAL	M	29.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	29.4	2'-9"	2'-9"	7.5
RESIDENTIAL	ST	29.5	0'-8"	25'-5"	16.9
RESIDENTIAL	M	29.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	29.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	29.8	2'-7"	3'-2"	8.1
RESIDENTIAL	M	29.9	1'-8"	3'-7"	6.0
RESIDENTIAL	M	29.10	1'-6"	1'-6"	2.2
RESIDENTIAL	M	29.11	1'-10"	3'-2"	5.8
RESIDENTIAL	M	29.12	3'-8"	4'-5"	16.1
RESIDENTIAL	M	29.13	1'-3"	4'-1"	5.1
RESIDENTIAL	M	29.14	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	29.15	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	29.16	0'-8"	25'-5"	16.9
RESIDENTIAL	M	29.17	4'-5"	4'-11"	21.8
RESIDENTIAL	M	29.18	1'-1"	5'-2"	5.6
RESIDENTIAL	M	29.19	2'-0"	3'-0"	5.8
RESIDENTIAL	M	29.20	4'-0"	7'-6"	30.1
RESIDENTIAL	M	29.21	2'-10"	3'-0"	8.4
RESIDENTIAL	M	29.22	2'-2"	2'-8"	5.7
RESIDENTIAL	M	29.23	3'-3"	4'-4"	14.1
RESIDENTIAL	M	29.24	2'-9"	4'-10"	13.1
RESIDENTIAL	M	29.25	2'-10"	4'-9"	13.5
RESIDENTIAL	P	29.26	1'-3"	6'-2"	7.9
RESIDENTIAL	P	29.27	0'-11"	2'-11"	2.7
RESIDENTIAL	P	29.28	1'-10"	11'-5"	21.0
RESIDENTIAL	P	29.29	1'-2"	4'-0"	4.7
RESIDENTIAL	P	29.30	1'-0"	3'-4"	3.3
RESIDENTIAL	P	29.31	1'-1"	3'-8"	3.9
RESIDENTIAL	P	29.32	1'-7"	6'-5"	10.0
RESIDENTIAL	P	29.33	0'-9"	2'-4"	1.7
RESIDENTIAL	P	29.34	0'-5"	2'-8"	1.1
RESIDENTIAL	P	29.35	0'-11"	6'-1"	5.4
SUBTOTAL					

29TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	29.36	1'-1"	2'-9"	3.0
RESIDENTIAL	M	29.37	1'-1"	1'-4"	1.5
RESIDENTIAL	M	29.38	1'-11"	3'-1"	5.8
RESIDENTIAL	M	29.39	1'-9"	3'-2"	5.6
RESIDENTIAL	P	29.40	1'-1"	2'-6"	2.6
RESIDENTIAL	E	29.41	2'-7"	4'-7"	11.6
RESIDENTIAL	P	29.42	2'-9"	4'-7"	12.6
RESIDENTIAL	M	29.43	1'-2"	3'-6"	4.1
RESIDENTIAL	P	29.44	1'-11"	7'-8"	14.7
RESIDENTIAL	M	29.45	2'-9"	3'-1"	8.5
RESIDENTIAL	P	29.46	1'-10"	3'-5"	6.3
RESIDENTIAL	M	29.47	1'-10"	3'-5"	6.2
RESIDENTIAL	E	29.48	1'-5"	4'-3"	6.1
RESIDENTIAL	P	29.49	0'-9"	2'-10"	2.1
RESIDENTIAL	P	29.50	0'-9"	3'-1"	2.4
RESIDENTIAL	M	29.51	0'-3"	3'-2"	0.8
RESIDENTIAL	P	29.52	1'-5"	2'-7"	3.7
RESIDENTIAL	E	29.71	3'-5"	5'-4"	18.0
SUBTOTAL					474.6

29TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	2,024	142		1,882
TOTAL	2,024	142		1,882

29TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	29.53	0'-8"	7'-2"	4.8
RESIDENTIAL	M	29.54	1'-1"	4'-1"	4.4
RESIDENTIAL	M	29.55	1'-6"	3'-2"	4.8
RESIDENTIAL	ST	29.56	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	29.57	0'-8"	1'-6"	1.0
RESIDENTIAL	M	29.58	2'-9"	3'-4"	9.0
RESIDENTIAL	M	29.59	4'-2"	4'-7"	19.1
RESIDENTIAL	M	29.60	1'-7"	4'-2"	6.6
RESIDENTIAL	M	29.61	1'-8"	4'-2"	6.8
RESIDENTIAL	M	29.62	4'-10"	4'-10"	23.4
RESIDENTIAL	M	29.63	2'-8"	3'-6"	9.2
RESIDENTIAL	M	29.64	2'-0"	4'-9"	9.5
RESIDENTIAL	P	29.65	1'-1"	3'-6"	3.9
RESIDENTIAL	P	29.66	1'-1"	11'-0"	11.9
RESIDENTIAL	P	29.67	1'-5"	6'-2"	8.4
RESIDENTIAL	M	29.68	1'-4"	2'-0"	2.7
RESIDENTIAL	P	29.69	1'-0"	3'-6"	3.4
RESIDENTIAL	P	29.70	1'-1"	11'-1"	12.0
SUBTOTAL					141.9

29TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	9,084	616		8,468
TOTAL	9,084	616		8,468

29TH FLOOR DEDUCTIONS					
ZONE C5-1 AND C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	29.53	0'-8"	7'-2"	4.8
RESIDENTIAL	M	29.54	1'-1"	4'-1"	4.4
RESIDENTIAL	M	29.55	1'-6"	3'-2"	4.8
RESIDENTIAL	ST	29.56	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	29.57	0'-8"	1'-6"	1.0
RESIDENTIAL	M	29.58	2'-9"	3'-4"	9.0
RESIDENTIAL	M	29.59	4'-2"	4'-7"	19.1
RESIDENTIAL	M	29.60	1'-7"	4'-2"	6.6
RESIDENTIAL	M	29.61	1'-8"	4'-2"	6.8

31ST FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	457	6,604
TOTAL		7,061	457	6,604

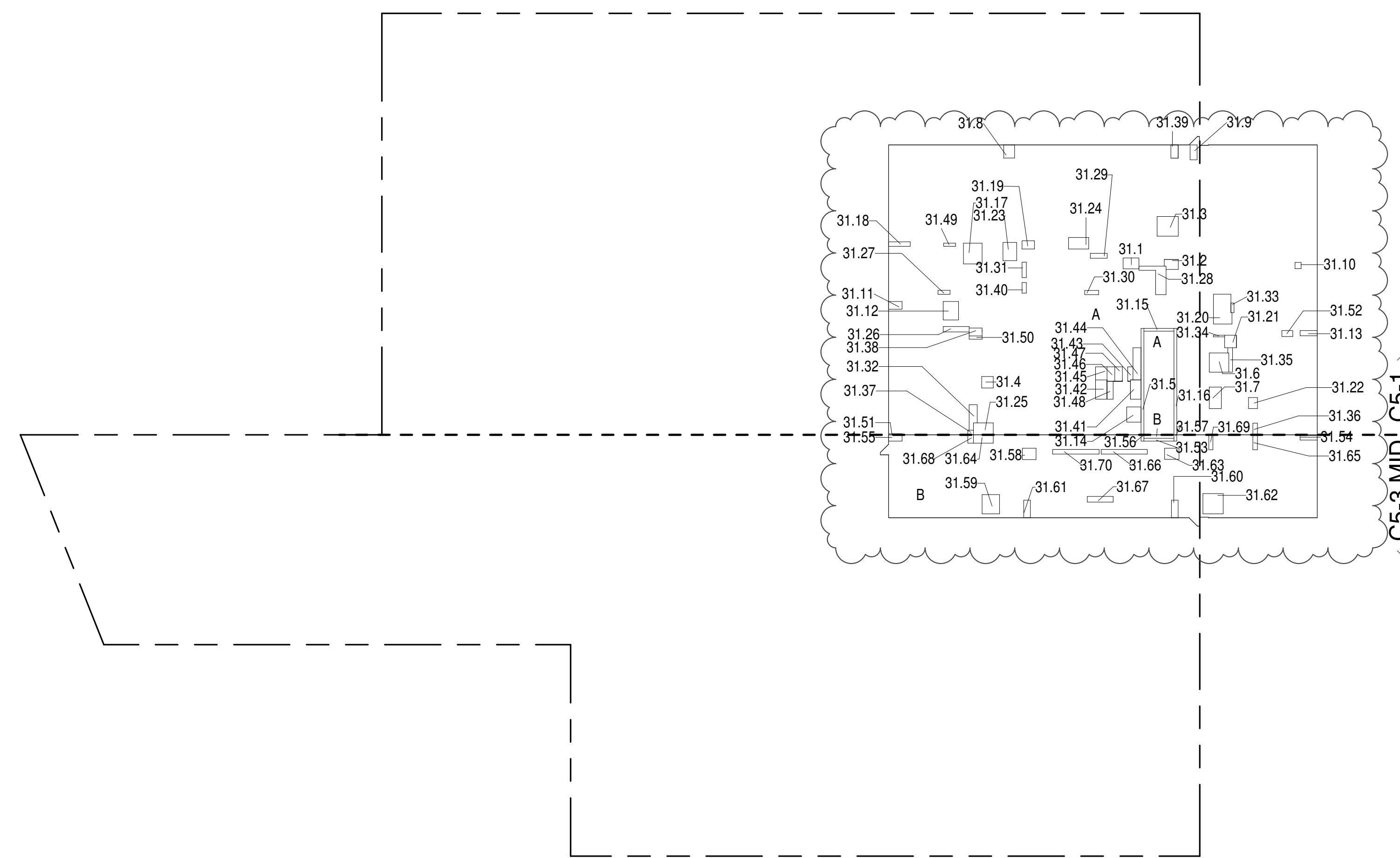
31ST FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	31.1	2'-7"	3'-9"
RESIDENTIAL	M	31.2	2'-1"	3'-7"
RESIDENTIAL	M	31.3	4'-8"	5'-1"
RESIDENTIAL	M	31.4	2'-9"	2'-9"
RESIDENTIAL	ST	31.5	0'-8"	25'-5"
RESIDENTIAL	M	31.6	4'-7"	4'-8"
RESIDENTIAL	M	31.7	2'-11"	5'-1"
RESIDENTIAL	M	31.8	2'-7"	3'-2"
RESIDENTIAL	M	31.9	1'-8"	3'-7"
RESIDENTIAL	M	31.10	1'-6"	1'-6"
RESIDENTIAL	M	31.11	1'-10"	3'-2"
RESIDENTIAL	M	31.12	3'-8"	4'-5"
RESIDENTIAL	M	31.13	1'-3"	4'-11"
RESIDENTIAL	M	31.14	3'-5"	3'-8"
RESIDENTIAL	ST	31.15	0'-8"	7'-2"
RESIDENTIAL	ST	31.16	0'-8"	25'-5"
RESIDENTIAL	M	31.17	4'-5"	4'-11"
RESIDENTIAL	M	31.18	1'-1"	5'-2"
RESIDENTIAL	M	31.19	2'-0"	3'-0"
RESIDENTIAL	M	31.20	4'-0"	7'-6"
RESIDENTIAL	M	31.21	2'-10"	3'-0"
RESIDENTIAL	M	31.22	2'-2"	2'-8"
RESIDENTIAL	M	31.23	3'-5"	4'-4"
RESIDENTIAL	M	31.24	2'-9"	4'-10"
RESIDENTIAL	M	31.25	2'-10"	4'-9"
RESIDENTIAL	P	31.26	1'-5"	6'-2"
RESIDENTIAL	P	31.27	0'-11"	2'-11"
RESIDENTIAL	P	31.28	1'-10"	11'-5"
RESIDENTIAL	P	31.29	1'-2"	4'-0"
RESIDENTIAL	P	31.30	1'-5"	3'-4"
RESIDENTIAL	P	31.31	1'-1"	3'-5"
RESIDENTIAL	P	31.32	1'-7"	6'-5"
RESIDENTIAL	P	31.33	0'-9"	2'-4"
RESIDENTIAL	P	31.34	0'-5"	2'-8"
RESIDENTIAL	P	31.35	0'-11"	6'-1"
SUBTOTAL				

31ST FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	31.36	1'-1"	2'-9"
RESIDENTIAL	M	31.37	1'-1"	1'-4"
RESIDENTIAL	M	31.38	1'-11"	3'-11"
RESIDENTIAL	M	31.39	1'-9"	3'-2"
RESIDENTIAL	P	31.40	1'-1"	2'-6"
RESIDENTIAL	E	31.41	2'-7"	4'-7"
RESIDENTIAL	P	31.42	2'-9"	4'-7"
RESIDENTIAL	M	31.43	1'-2"	3'-6"
RESIDENTIAL	P	31.44	1'-11"	7'-8"
RESIDENTIAL	M	31.45	2'-9"	3'-1"
RESIDENTIAL	P	31.46	1'-10"	3'-5"
RESIDENTIAL	E	31.47	1'-5"	4'-3"
RESIDENTIAL	P	31.48	0'-9"	2'-10"
RESIDENTIAL	P	31.49	0'-9"	3'-1"
RESIDENTIAL	M	31.50	0'-3"	3'-2"
RESIDENTIAL	P	31.51	1'-5"	2'-7"
SUBTOTAL				456.6

31ST FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		2,024	142	1,882
TOTAL		2,024	142	1,882

31ST FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	ST	31.53	0'-8"	7'-2"
RESIDENTIAL	M	31.54	1'-1"	4'-1"
RESIDENTIAL	M	31.55	1'-6"	3'-2"
RESIDENTIAL	ST	31.56	0'-8"	1'-6"
RESIDENTIAL	ST	31.57	0'-8"	1'-6"
RESIDENTIAL	M	31.58	2'-9"	3'-4"
RESIDENTIAL	M	31.59	4'-2"	4'-7"
RESIDENTIAL	M	31.60	1'-7"	4'-2"
RESIDENTIAL	M	31.61	1'-8"	4'-2"
RESIDENTIAL	M	31.62	4'-10"	4'-10"
RESIDENTIAL	M	31.63	2'-8"	3'-6"
RESIDENTIAL	M	31.64	2'-0"	4'-9"
RESIDENTIAL	P	31.65	1'-1"	3'-6"
RESIDENTIAL	P	31.66	1'-1"	11'-0"
RESIDENTIAL	P	31.67	1'-5"	6'-2"
RESIDENTIAL	M	31.68	1'-4"	2'-0"
RESIDENTIAL	P	31.69	1'-0"	3'-6"
RESIDENTIAL	P	31.70	1'-1"	11'-1"
SUBTOTAL				141.9

31ST FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		9,084	598	8,486
TOTAL		9,084	598	8,486



ZONING AND DEDUCT LEGEND

DEDUCTIONS

- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
- P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)

G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREAS DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

31ST FLOOR (MFD:56TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364' = 1'-0"

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32ND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	475	6,586
TOTAL		7,061	475	6,586

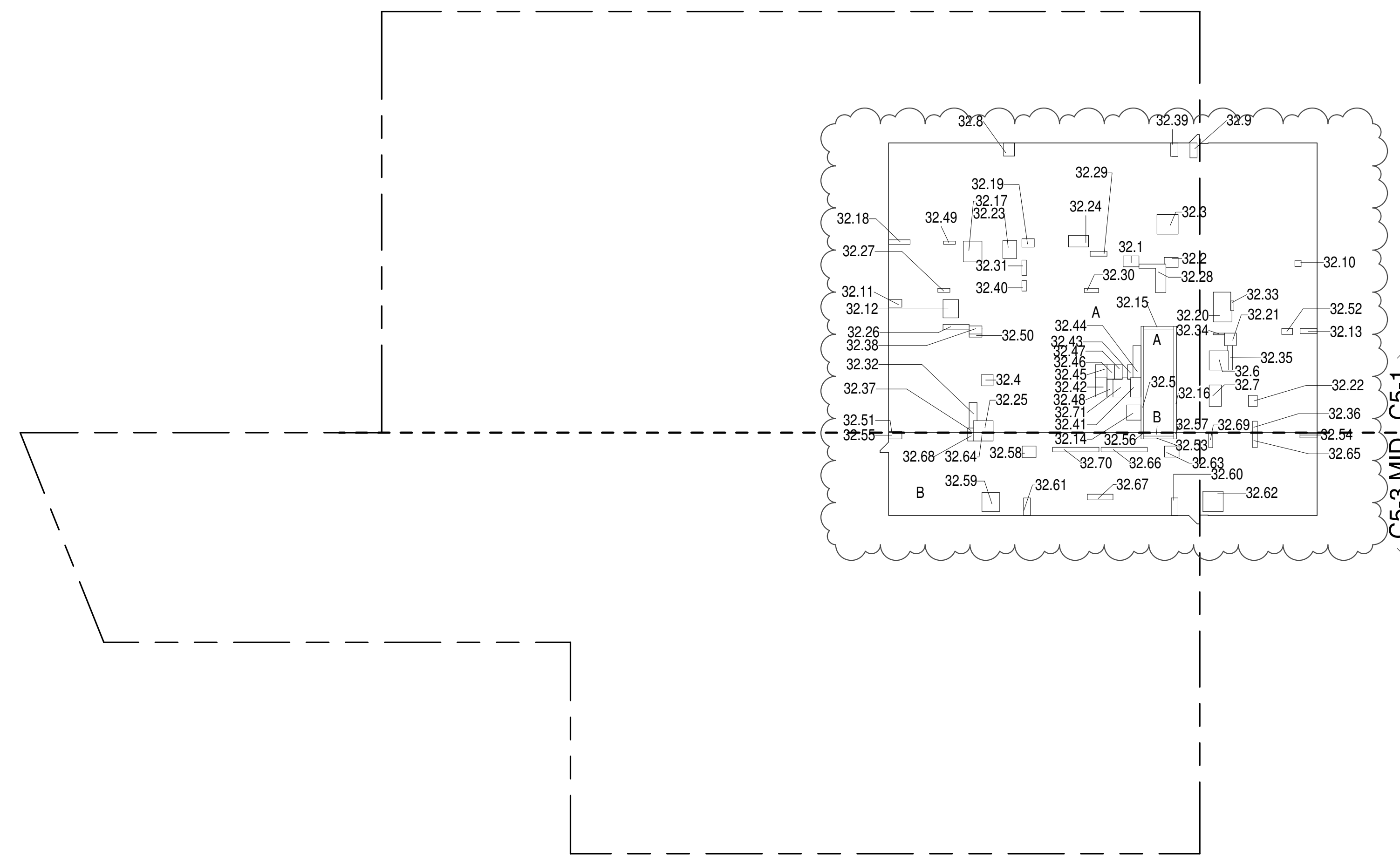
32ND FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	32.1	2'-7"	3'-9"
RESIDENTIAL	M	32.2	2'-1"	3'-7"
RESIDENTIAL	M	32.3	4'-8"	5'-1"
RESIDENTIAL	M	32.4	2'-9"	2'-9"
RESIDENTIAL	ST	32.5	0'-8"	25'-5"
RESIDENTIAL	M	32.6	4'-7"	4'-8"
RESIDENTIAL	M	32.7	2'-11"	5'-1"
RESIDENTIAL	M	32.8	2'-7"	3'-2"
RESIDENTIAL	M	32.9	1'-8"	3'-7"
RESIDENTIAL	M	32.10	1'-6"	1'-6"
RESIDENTIAL	M	32.11	1'-10"	3'-2"
RESIDENTIAL	M	32.12	3'-8"	4'-5"
RESIDENTIAL	M	32.13	1'-3"	4'-11"
RESIDENTIAL	M	32.14	3'-5"	3'-8"
RESIDENTIAL	ST	32.15	0'-8"	7'-2"
RESIDENTIAL	ST	32.16	0'-8"	25'-5"
RESIDENTIAL	M	32.17	4'-5"	4'-11"
RESIDENTIAL	M	32.18	1'-1"	5'-2"
RESIDENTIAL	M	32.19	2'-0"	3'-0"
RESIDENTIAL	M	32.20	4'-0"	7'-6"
RESIDENTIAL	M	32.21	2'-10"	3'-0"
RESIDENTIAL	M	32.22	2'-2"	2'-8"
RESIDENTIAL	M	32.23	3'-5"	4'-4"
RESIDENTIAL	M	32.24	2'-9"	4'-10"
RESIDENTIAL	M	32.25	2'-10"	4'-9"
RESIDENTIAL	P	32.26	1'-5"	6'-2"
RESIDENTIAL	P	32.27	0'-11"	2'-11"
RESIDENTIAL	P	32.28	1'-10"	11'-5"
RESIDENTIAL	P	32.29	1'-2"	4'-0"
RESIDENTIAL	P	32.30	1'-5"	3'-4"
RESIDENTIAL	P	32.31	1'-1"	3'-5"
RESIDENTIAL	P	32.32	1'-7"	6'-5"
RESIDENTIAL	P	32.33	0'-9"	2'-4"
RESIDENTIAL	P	32.34	0'-5"	2'-8"
RESIDENTIAL	P	32.35	0'-11"	6'-1"
SUBTOTAL				

32ND FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	P	32.36	1'-1"	2'-9"
RESIDENTIAL	M	32.37	1'-1"	1'-4"
RESIDENTIAL	M	32.38	1'-11"	3'-11"
RESIDENTIAL	M	32.39	1'-9"	3'-2"
RESIDENTIAL	P	32.40	1'-1"	2'-6"
RESIDENTIAL	E	32.41	2'-7"	4'-7"
RESIDENTIAL	P	32.42	2'-9"	4'-7"
RESIDENTIAL	M	32.43	1'-2"	3'-6"
RESIDENTIAL	P	32.44	1'-11"	7'-8"
RESIDENTIAL	M	32.45	2'-9"	3'-1"
RESIDENTIAL	P	32.46	1'-10"	3'-5"
RESIDENTIAL	M	32.47	1'-5"	4'-3"
RESIDENTIAL	E	32.48	1'-5"	4'-3"
RESIDENTIAL	P	32.49	0'-9"	2'-10"
RESIDENTIAL	P	32.50	0'-9"	3'-1"
RESIDENTIAL	M	32.51	0'-3"	3'-2"
RESIDENTIAL	P	32.52	1'-5"	2'-7"
RESIDENTIAL	E	32.53	3'-5"	5'-4"
SUBTOTAL				474.6

32ND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		2,024	142	1,882
TOTAL		2,024	142	1,882

32ND FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	ST	32.53	0'-8"	7'-2"
RESIDENTIAL	M	32.54	1'-1"	4'-1"
RESIDENTIAL	M	32.55	1'-6"	3'-2"
RESIDENTIAL	ST	32.56	0'-8"	1'-6"
RESIDENTIAL	ST	32.57	0'-8"	1'-6"
RESIDENTIAL	M	32.58	2'-9"	3'-4"
RESIDENTIAL	M	32.59	4'-2"	4'-7"
RESIDENTIAL	M	32.60	1'-7"	4'-2"
RESIDENTIAL	M	32.61	1'-8"	4'-2"
RESIDENTIAL	M	32.62	4'-10"	4'-10"
RESIDENTIAL	M	32.63	2'-8"	3'-6"
RESIDENTIAL	M	32.64	2'-0"	4'-9"
RESIDENTIAL	P	32.65	1'-1"	3'-6"
RESIDENTIAL	P	32.66	1'-1"	11'-0"
RESIDENTIAL	P	32.67	1'-5"	6'-2"
RESIDENTIAL	M	32.68	1'-4"	2'-0"
RESIDENTIAL	P	32.69	1'-0"	3'-6"
RESIDENTIAL	P	32.70	1'-1"	11'-1"
SUBTOTAL				141.9

32ND FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		9,084	616	8,468
TOTAL		9,084	616	8,468



32ND FLOOR (MFD:57TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364' = 1'-0"

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33RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	457	6,604
TOTAL		7,061	457	6,604

33RD FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	33.1	2'-7"	3'-9"
RESIDENTIAL	M	33.2	2'-1"	3'-7"
RESIDENTIAL	M	33.3	4'-8"	5'-1"
RESIDENTIAL	M	33.4	2'-9"	2'-9"
RESIDENTIAL	ST	33.5	0'-8"	25'-5"
RESIDENTIAL	M	33.6	4'-7"	4'-8"
RESIDENTIAL	M	33.7	2'-11"	5'-1"
RESIDENTIAL	M	33.8	2'-7"	3'-2"
RESIDENTIAL	M	33.9	1'-8"	3'-7"
RESIDENTIAL	M	33.10	1'-6"	1'-6"
RESIDENTIAL	M	33.11	1'-10"	3'-2"
RESIDENTIAL	M	33.12	3'-8"	4'-5"
RESIDENTIAL	M	33.13	1'-3"	4'-11"
RESIDENTIAL	M	33.14	3'-5"	3'-8"
RESIDENTIAL	ST	33.15	0'-8"	7'-2"
RESIDENTIAL	ST	33.16	0'-8"	25'-5"
RESIDENTIAL	M	33.17	4'-5"	4'-11"
RESIDENTIAL	M	33.18	1'-1"	5'-2"
RESIDENTIAL	M	33.19	2'-0"	3'-0"
RESIDENTIAL	M	33.20	4'-0"	7'-6"
RESIDENTIAL	M	33.21	2'-10"	3'-0"
RESIDENTIAL	M	33.22	2'-2"	2'-8"
RESIDENTIAL	M	33.23	3'-5"	4'-4"
RESIDENTIAL	M	33.24	2'-9"	4'-10"
RESIDENTIAL	M	33.25	2'-10"	4'-9"
RESIDENTIAL	P	33.26	1'-5"	6'-2"
RESIDENTIAL	P	33.27	0'-11"	2'-11"
RESIDENTIAL	P	33.28	1'-10"	11'-5"
RESIDENTIAL	P	33.29	1'-2"	4'-0"
RESIDENTIAL	P	33.30	1'-5"	3'-4"
RESIDENTIAL	P	33.31	1'-1"	3'-5"
RESIDENTIAL	P	33.32	1'-7"	6'-5"
RESIDENTIAL	P	33.33	0'-9"	2'-4"
RESIDENTIAL	P	33.34	0'-5"	2'-8"
RESIDENTIAL	P	33.35	0'-11"	6'-1"
SUBTOTAL				

33RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	33.36	1'-1"	2'-9"	3.0
RESIDENTIAL	M	33.37	1'-1"	1'-4"	1.5
RESIDENTIAL	M	33.38	1'-11"	3'-11"	15.0
RESIDENTIAL	M	33.39	1'-0"	3'-2"	5.6
RESIDENTIAL	P	33.40	1'-1"	2'-6"	2.6
RESIDENTIAL	E	33.41	2'-7"	4'-7"	11.6
RESIDENTIAL	P	33.42	2'-9"	4'-7"	12.6
RESIDENTIAL	P	33.43	2'-2"	3'-6"	7.8
RESIDENTIAL	P	33.44	1'-7"	3'-8"	14.7
RESIDENTIAL	P	33.45	2'-9"	3'-1"	8.5
RESIDENTIAL	P	33.46	1'-10"	3'-5"	6.3
RESIDENTIAL	M	33.47	1'-10"	3'-5"	6.3
RESIDENTIAL	E	33.48	1'-5"	4'-3"	6.1
RESIDENTIAL	P	33.49	0'-9"	2'-10"	2.1
RESIDENTIAL	P	33.50	0'-9"	3'-1"	2.4
RESIDENTIAL	M	33.51	0'-3"	3'-2"	0.8
RESIDENTIAL	P	33.52	1'-5"	2'-7"	3.7
SUBTOTAL					456.6

34TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	457	6,604
TOTAL		7,061	457	6,604

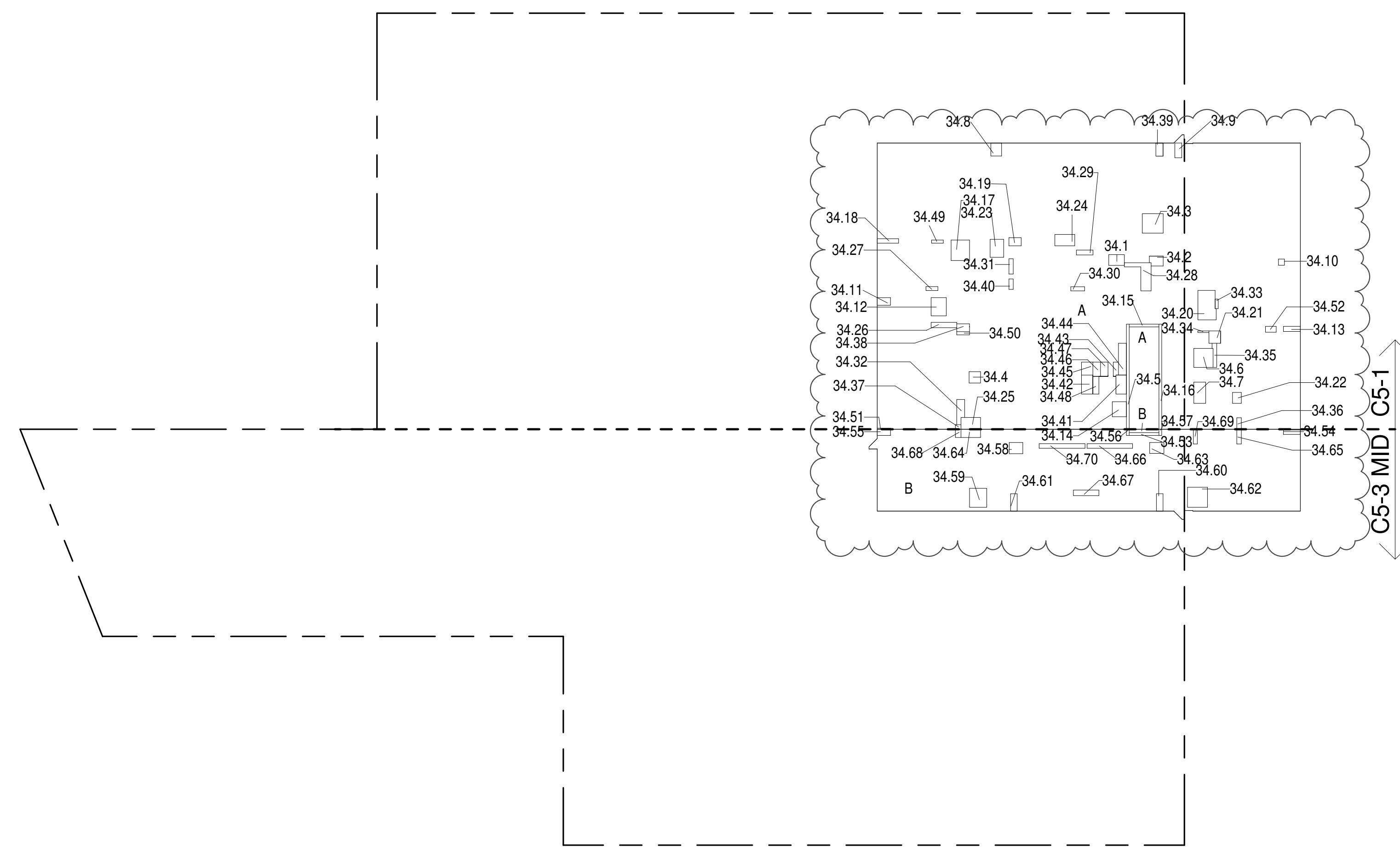
34TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	34.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	34.2	2'-1"	3'-7"	7.6
RESIDENTIAL	M	34.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	34.4	2'-9"	2'-9"	7.5
RESIDENTIAL	ST	34.5	0'-8"	25'-5"	16.9
RESIDENTIAL	M	34.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	34.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	34.8	2'-7"	3'-2"	8.1
RESIDENTIAL	M	34.9	1'-8"	3'-7"	6.0
RESIDENTIAL	M	34.10	1'-6"	1'-6"	2.2
RESIDENTIAL	M	34.11	1'-10"	3'-2"	5.8
RESIDENTIAL	M	34.12	3'-8"	4'-5"	16.1
RESIDENTIAL	M	34.13	1'-3"	4'-1"	5.1
RESIDENTIAL	M	34.14	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	34.15	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	34.16	0'-8"	25'-5"	16.9
RESIDENTIAL	M	34.17	4'-5"	4'-11"	21.8
RESIDENTIAL	M	34.18	1'-1"	5'-2"	5.6
RESIDENTIAL	M	34.19	2'-0"	3'-0"	5.8
RESIDENTIAL	M	34.20	4'-0"	7'-6"	30.1
RESIDENTIAL	M	34.21	2'-10"	3'-0"	8.4
RESIDENTIAL	M	34.22	2'-2"	2'-8"	5.7
RESIDENTIAL	M	34.23	3'-3"	4'-4"	14.1
RESIDENTIAL	M	34.24	2'-9"	4'-10"	13.1
RESIDENTIAL	M	34.25	2'-10"	4'-9"	13.5
RESIDENTIAL	P	34.26	1'-3"	6'-2"	7.9
RESIDENTIAL	P	34.27	0'-11"	2'-11"	2.7
RESIDENTIAL	P	34.28	1'-10"	11'-5"	21.0
RESIDENTIAL	P	34.29	1'-2"	4'-0"	4.7
RESIDENTIAL	P	34.30	1'-0"	3'-4"	3.3
RESIDENTIAL	P	34.31	1'-1"	3'-2"	3.3
RESIDENTIAL	P	34.32	1'-7"	6'-5"	10.0
RESIDENTIAL	P	34.33	0'-9"	2'-4"	1.7
RESIDENTIAL	P	34.34	0'-5"	2'-8"	1.1
RESIDENTIAL	P	34.35	0'-11"	6'-1"	5.4
SUBTOTAL					456.6

34TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	34.36	1'-1"	2'-9"	3.0
RESIDENTIAL	M	34.37	1'-1"	1'-4"	1.5
RESIDENTIAL	M	34.38	1'-11"	3'-1"	5.8
RESIDENTIAL	M	34.39	1'-9"	3'-2"	5.6
RESIDENTIAL	P	34.40	1'-1"	2'-6"	2.6
RESIDENTIAL	E	34.41	2'-7"	4'-7"	11.6
RESIDENTIAL	P	34.42	2'-9"	4'-7"	12.6
RESIDENTIAL	M	34.43	1'-2"	3'-6"	4.1
RESIDENTIAL	P	34.44	1'-11"	7'-8"	14.7
RESIDENTIAL	M	34.45	2'-9"	3'-1"	8.5
RESIDENTIAL	P	34.46	1'-10"	3'-5"	6.3
RESIDENTIAL	E	34.47	1'-10"	3'-2"	6.2
RESIDENTIAL	E	34.48	1'-5"	4'-3"	6.1
RESIDENTIAL	P	34.49	0'-9"	2'-10"	2.1
RESIDENTIAL	P	34.50	0'-9"	3'-1"	2.4
RESIDENTIAL	M	34.51	0'-3"	3'-2"	0.8
RESIDENTIAL	P	34.52	1'-5"	2'-7"	3.7
SUBTOTAL					456.6

34TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		2,024	142	1,882
TOTAL		2,024	142	1,882

34TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	34.53	0'-8"	7'-2"	4.8
RESIDENTIAL	M	34.54	1'-1"	4'-1"	4.4
RESIDENTIAL	M	34.55	1'-6"	3'-2"	4.8
RESIDENTIAL	ST	34.56	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	34.57	0'-8"	1'-6"	1.0
RESIDENTIAL	M	34.58	2'-9"	3'-4"	9.0
RESIDENTIAL	M	34.59	4'-2"	4'-7"	19.1
RESIDENTIAL	M	34.60	1'-7"	4'-2"	6.6
RESIDENTIAL	M	34.61	1'-8"	4'-2"	6.8
RESIDENTIAL	M	34.62	4'-10"	4'-10"	23.4
RESIDENTIAL	M	34.63	2'-8"	3'-6"	9.2
RESIDENTIAL	M	34.64	2'-0"	4'-9"	9.5
RESIDENTIAL	P	34.65	1'-1"	3'-6"	3.9
RESIDENTIAL	P	34.66	1'-1"	11'-0"	11.9
RESIDENTIAL	P	34.67	1'-5"	6'-2"	8.4
RESIDENTIAL	M	34.68	1'-4"	2'-0"	2.7
RESIDENTIAL	P	34.69	1'-0"	3'-6"	3.4
RESIDENTIAL	P	34.70	1'-1"	11'-1"	12.0
SUBTOTAL					141.9

34TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		9,084	598	8,486
TOTAL		9,084	598	8,486

34TH FLOOR (MFD:59TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364" = 1'-0" 1

35TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	475	6,586
TOTAL		7,061	475	6,586

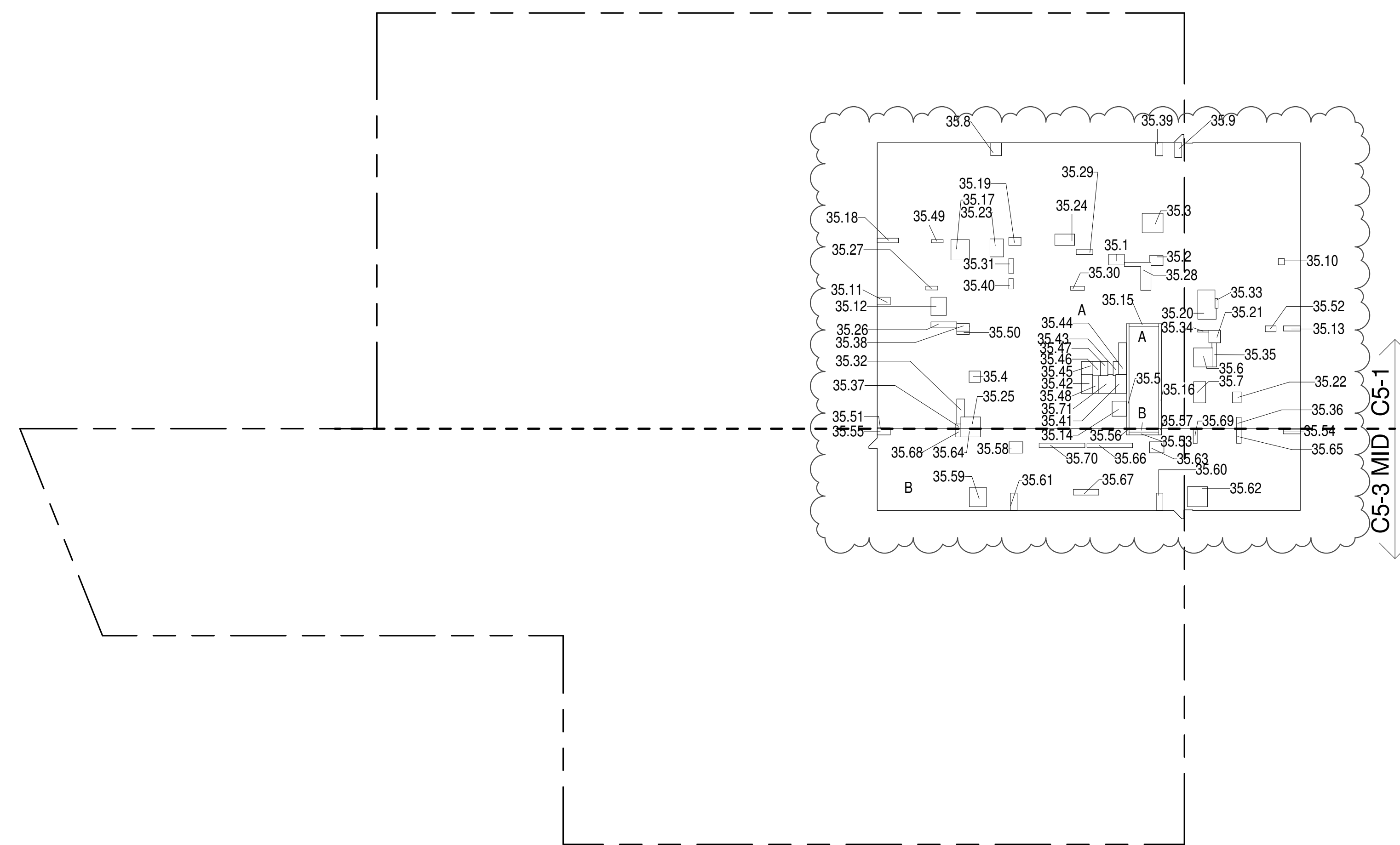
35TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	35.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	35.2	2'-1"	3'-7"	7.6
RESIDENTIAL	M	35.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	35.4	2'-9"	2'-9"	7.5
RESIDENTIAL	ST	35.5	0'-8"	25'-5"	16.9
RESIDENTIAL	M	35.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	35.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	35.8	2'-7"	3'-2"	8.1
RESIDENTIAL	M	35.9	1'-8"	3'-7"	6.0
RESIDENTIAL	M	35.10	1'-6"	1'-6"	2.2
RESIDENTIAL	M	35.11	1'-10"	3'-2"	5.8
RESIDENTIAL	M	35.12	3'-8"	4'-5"	16.1
RESIDENTIAL	M	35.13	1'-3"	4'-1"	5.1
RESIDENTIAL	M	35.14	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	35.15	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	35.16	0'-8"	25'-5"	16.9
RESIDENTIAL	M	35.17	4'-5"	4'-11"	21.8
RESIDENTIAL	M	35.18	1'-1"	5'-2"	5.6
RESIDENTIAL	M	35.19	2'-0"	3'-0"	5.8
RESIDENTIAL	M	35.20	4'-0"	7'-6"	30.1
RESIDENTIAL	M	35.21	2'-10"	3'-0"	8.4
RESIDENTIAL	M	35.22	2'-2"	2'-8"	5.7
RESIDENTIAL	M	35.23	3'-3"	4'-4"	14.1
RESIDENTIAL	M	35.24	2'-9"	4'-10"	13.1
RESIDENTIAL	M	35.25	2'-10"	4'-9"	13.5
RESIDENTIAL	P	35.26	1'-3"	6'-2"	7.9
RESIDENTIAL	P	35.27	0'-11"	2'-11"	2.7
RESIDENTIAL	P	35.28	1'-10"	11'-5"	21.0
RESIDENTIAL	P	35.29	1'-2"	4'-0"	4.7
RESIDENTIAL	P	35.30	1'-0"	3'-4"	3.3
RESIDENTIAL	P	35.31	1'-1"	3'-2"	3.3
RESIDENTIAL	P	35.32	1'-7"	6'-5"	10.0
RESIDENTIAL	P	35.33	0'-9"	2'-4"	1.7
RESIDENTIAL	P	35.34	0'-5"	2'-8"	1.1
RESIDENTIAL	P	35.35	0'-11"	6'-1"	5.4
SUBTOTAL					474.6

35TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	35.36	1'-1"	2'-9"	3.0
RESIDENTIAL	M	35.37	1'-1"	1'-4"	1.5
RESIDENTIAL	M	35.38	1'-11"	3'-1"	5.8
RESIDENTIAL	M	35.39	1'-9"	3'-2"	5.6
RESIDENTIAL	P	35.40	1'-1"	2'-6"	2.6
RESIDENTIAL	E	35.41	2'-7"	4'-7"	11.6
RESIDENTIAL	P	35.42	2'-9"	4'-7"	12.6
RESIDENTIAL	M	35.43	1'-2"	3'-6"	4.1
RESIDENTIAL	P	35.44	1'-11"	7'-8"	14.7
RESIDENTIAL	M	35.45	2'-9"	3'-1"	8.5
RESIDENTIAL	P	35.46	1'-10"	3'-5"	6.3
RESIDENTIAL	M	35.47	1'-10"	3'-2"	6.2
RESIDENTIAL	E	35.48	1'-5"	4'-3"	6.1
RESIDENTIAL	P	35.49	0'-9"	2'-10"	2.1
RESIDENTIAL	P	35.50	0'-9"	3'-1"	2.4
RESIDENTIAL	M	35.51	0'-3"	3'-2"	0.8
RESIDENTIAL	P	35.52	1'-5"	2'-7"	3.7
RESIDENTIAL	E	35.53	3'-5"	5'-4"	18.0
SUBTOTAL					474.6

35TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		2,024	142	1,882
TOTAL		2,024	142	1,882

35TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	AMT	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	35.53	0'-8"	7'-2"	4.8
RESIDENTIAL	M	35.54	1'-1"	4'-1"	4.4
RESIDENTIAL	M	35.55	1'-6"	3'-2"	4.8
RESIDENTIAL	ST	35.56	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	35.57	0'-8"	1'-6"	1.0
RESIDENTIAL	M	35.58	2'-9"	3'-4"	9.0
RESIDENTIAL	M	35.59	4'-2"	4'-7"	19.1
RESIDENTIAL	M	35.60	1'-7"	4'-2"	6.6
RESIDENTIAL	M	35.61	1'-8"	4'-2"	6.8
RESIDENTIAL	M	35.62	4'-10"	4'-10"	23.4
RESIDENTIAL	M	35.63	2'-8"	3'-6"	9.2
RESIDENTIAL	M	35.64	2'-0"	4'-9"	9.5
RESIDENTIAL	P	35.65	1'-1"	3'-6"	3.9
RESIDENTIAL	P	35.66	1'-1"	11'-0"	11.9
RESIDENTIAL	P	35.67	1'-5"	6'-2"	8.4
RESIDENTIAL	M	35.68	1'-4"	2'-0"	2.7
RESIDENTIAL	P	35.69	1'-0"	3'-6"	3.4
RESIDENTIAL	P	35.70	1'-1"	11'-1"	12.0
SUBTOTAL					141.9

35TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		9,084	616	8,468
TOTAL		9,084	616	8,468

35TH FLOOR (MFD:60TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364" = 1'-0" 2

36TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	457	6,604
TOTAL		7,061	457	6,604

36TH FLOOR FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	36.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	36.2	2'-1"	3'-7"	7.6
RESIDENTIAL	M	36.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	36.4	2'-9"	2'-9"	7.5
RESIDENTIAL	ST	36.5	0'-8"	25'-5"	16.9
RESIDENTIAL	M	36.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	36.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	36.8	2'-7"	3'-2"	8.1
RESIDENTIAL	M	36.9	1'-8"	3'-7"	6.0
RESIDENTIAL	M	36.10	1'-6"	1'-6"	2.2
RESIDENTIAL	M	36.11	1'-10"	3'-2"	5.8
RESIDENTIAL	M	36.12	3'-8"	4'-5"	16.1
RESIDENTIAL	M	36.13	1'-3"	4'-1"	5.1
RESIDENTIAL	M	36.14	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	36.15	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	36.16	0'-8"	25'-5"	16.9
RESIDENTIAL	M	36.17	4'-5"	4'-11"	21.8
RESIDENTIAL	M	36.18	1'-1"	5'-2"	5.6
RESIDENTIAL	M	36.19	3'-0"	3'-0"	9.0
RESIDENTIAL	M	36.20	4'-0"	7'-6"	30.1
RESIDENTIAL	M	36.21	2'-10"	3'-0"	8.4
RESIDENTIAL	M	36.22	2'-2"	2'-8"	5.7
RESIDENTIAL	M	36.23	2'-3"	6'-4"	14.1
RESIDENTIAL	M	36.24	2'-9"	4'-10"	13.1
RESIDENTIAL	M	36.25	2'-10"	4'-9"	13.5
RESIDENTIAL	P	36.26	1'-3"	6'-2"	7.9
RESIDENTIAL	P	36.27	1'-11"	2'-11"	2.7
RESIDENTIAL	P	36.28	1'-10"	11'-5"	21.0
RESIDENTIAL	P	36.29	1'-2"	4'-0"	4.7
RESIDENTIAL	P	36.30	1'-0"	3'-4"	3.3
RESIDENTIAL	P	36.31	1'-1"	3'-5"	3.0
RESIDENTIAL	P	36.32	1'-1"	3'-5"	3.0
RESIDENTIAL	P	36.33	0'-9"	2'-4"	1.7
RESIDENTIAL	P	36.34	0'-5"	2'-8"	1.1
RESIDENTIAL	P	36.35	0'-11"	6'-1"	5.8
SUBTOTAL					

37TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)	
RESIDENTIAL		7,061	457	6,604	
TOTAL		7,061	457	6,604	

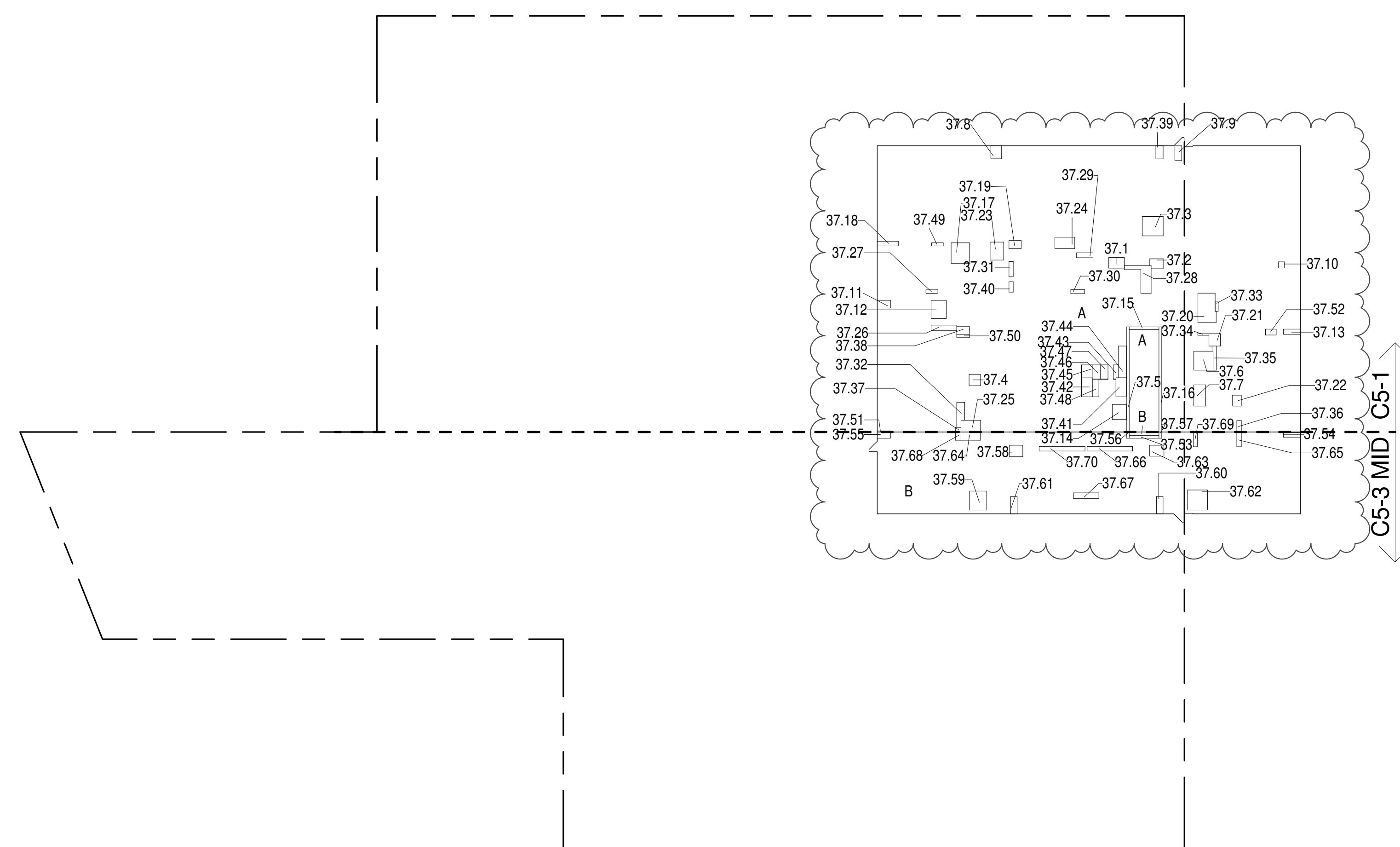
37TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	37.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	37.2	2'-1"	3'-7"	7.6
RESIDENTIAL	M	37.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	37.4	2'-9"	2'-9"	7.5
RESIDENTIAL	ST	37.5	0'-8"	25'-5"	16.9
RESIDENTIAL	M	37.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	37.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	37.8	2'-7"	3'-2"	8.1
RESIDENTIAL	M	37.9	1'-8"	3'-7"	6.0
RESIDENTIAL	M	37.10	1'-6"	1'-6"	2.2
RESIDENTIAL	M	37.11	1'-10"	3'-2"	5.8
RESIDENTIAL	M	37.12	3'-8"	4'-5"	16.1
RESIDENTIAL	M	37.13	1'-3"	4'-1"	5.1
RESIDENTIAL	M	37.14	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	37.15	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	37.16	0'-8"	25'-5"	16.9
RESIDENTIAL	M	37.17	4'-5"	4'-11"	21.8
RESIDENTIAL	M	37.18	1'-1"	5'-2"	5.6
RESIDENTIAL	M	37.19	2'-0"	3'-0"	5.8
RESIDENTIAL	M	37.20	4'-0"	7'-6"	30.1
RESIDENTIAL	M	37.21	2'-10"	3'-0"	8.4
RESIDENTIAL	M	37.22	2'-2"	2'-8"	5.7
RESIDENTIAL	M	37.23	3'-5"	4'-4"	14.1
RESIDENTIAL	M	37.24	2'-9"	4'-10"	13.1
RESIDENTIAL	M	37.25	2'-10"	4'-9"	13.5
RESIDENTIAL	P	37.26	1'-5"	6'-2"	7.9
RESIDENTIAL	P	37.27	0'-11"	2'-11"	2.7
RESIDENTIAL	P	37.28	1'-10"	11'-5"	21.0
RESIDENTIAL	P	37.29	1'-2"	4'-0"	4.7
RESIDENTIAL	P	37.30	1'-0"	3'-4"	3.3
RESIDENTIAL	P	37.31	1'-1"	3'-5"	3.9
RESIDENTIAL	P	37.32	1'-7"	6'-5"	10.0
RESIDENTIAL	P	37.33	0'-9"	2'-4"	1.7
RESIDENTIAL	P	37.34	0'-5"	2'-8"	1.1
RESIDENTIAL	P	37.35	0'-11"	6'-1"	5.4
SUBTOTAL					

37TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	37.36	1'-1"	2'-9"	3.0
RESIDENTIAL	M	37.37	1'-1"	1'-4"	1.5
RESIDENTIAL	M	37.38	1'-11"	3'-1"	5.8
RESIDENTIAL	M	37.39	1'-9"	3'-2"	5.6
RESIDENTIAL	P	37.40	1'-1"	2'-6"	2.6
RESIDENTIAL	E	37.41	2'-7"	4'-7"	11.6
RESIDENTIAL	P	37.42	2'-9"	4'-7"	12.6
RESIDENTIAL	M	37.43	1'-2"	3'-6"	4.1
RESIDENTIAL	P	37.44	1'-11"	7'-8"	14.7
RESIDENTIAL	M	37.45	2'-9"	3'-1"	8.5
RESIDENTIAL	P	37.46	1'-10"	3'-5"	6.3
RESIDENTIAL	E	37.47	1'-10"	3'-5"	6.2
RESIDENTIAL	E	37.48	1'-5"	4'-3"	6.1
RESIDENTIAL	P	37.49	0'-9"	2'-10"	2.1
RESIDENTIAL	P	37.50	0'-9"	3'-1"	2.4
RESIDENTIAL	M	37.51	0'-3"	3'-2"	0.8
RESIDENTIAL	P	37.52	1'-5"	2'-7"	3.7
SUBTOTAL					

37TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)	
RESIDENTIAL		2,024	142	1,882	
TOTAL		2,024	142	1,882	

37TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	37.53	0'-8"	7'-2"	4.8
RESIDENTIAL	M	37.54	1'-1"	4'-1"	4.4
RESIDENTIAL	M	37.55	1'-6"	3'-2"	4.8
RESIDENTIAL	ST	37.56	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	37.57	0'-8"	1'-6"	1.0
RESIDENTIAL	M	37.58	2'-9"	3'-4"	9.0
RESIDENTIAL	M	37.59	4'-2"	4'-7"	19.1
RESIDENTIAL	M	37.60	1'-7"	4'-2"	6.6
RESIDENTIAL	M	37.61	1'-8"	4'-2"	6.8
RESIDENTIAL	M	37.62	4'-10"	4'-10"	23.4
RESIDENTIAL	M	37.63	2'-8"	3'-6"	9.2
RESIDENTIAL	M	37.64	2'-0"	4'-9"	9.5
RESIDENTIAL	P	37.65	1'-1"	3'-6"	3.9
RESIDENTIAL	P	37.66	1'-1"	11'-0"	11.9
RESIDENTIAL	P	37.67	1'-5"	6'-2"	8.4
RESIDENTIAL	M	37.68	1'-4"	2'-0"	2.7
RESIDENTIAL	P	37.69	1'-0"	3'-6"	3.4
RESIDENTIAL	P	37.70	1'-1"	11'-1"	12.0
SUBTOTAL					

37TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)	
RESIDENTIAL		9,084	598	8,486	
TOTAL		9,084	598	8,486	



37TH FLOOR (MFD:62ND FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364" = 1'-0" 1

38TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)	
RESIDENTIAL		7,061	475	6,586	
TOTAL		7,061	475	6,586	

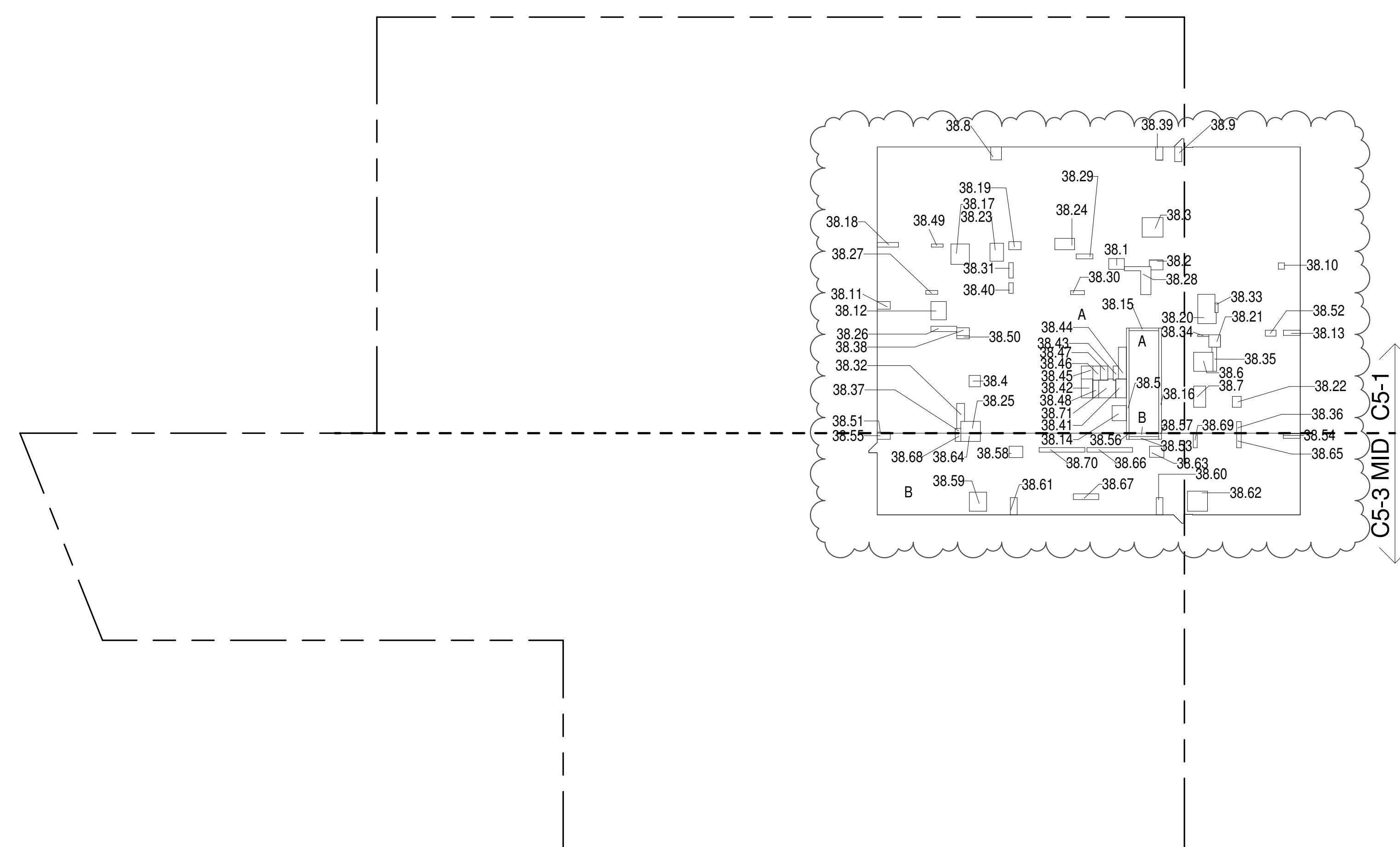
38TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	38.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	38.2	2'-1"	3'-7"	7.6
RESIDENTIAL	M	38.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	38.4	2'-9"	2'-9"	7.5
RESIDENTIAL	ST	38.5	0'-8"	25'-5"	16.9
RESIDENTIAL	M	38.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	38.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	38.8	2'-7"	3'-2"	8.1
RESIDENTIAL	M	38.9	1'-8"	3'-7"	6.0
RESIDENTIAL	M	38.10	1'-6"	1'-6"	2.2
RESIDENTIAL	M	38.11	1'-10"	3'-2"	5.8
RESIDENTIAL	M	38.12	3'-8"	4'-5"	16.1
RESIDENTIAL	M	38.13	1'-3"	4'-1"	5.1
RESIDENTIAL	M	38.14	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	38.15	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	38.16	0'-8"	25'-5"	16.9
RESIDENTIAL	M	38.17	4'-5"	4'-11"	21.8
RESIDENTIAL	M	38.18	1'-1"	5'-2"	5.6
RESIDENTIAL	M	38.19	2'-0"	3'-0"	5.8
RESIDENTIAL	M	38.20	4'-0"	7'-6"	30.1
RESIDENTIAL	M	38.21	2'-10"	3'-0"	8.4
RESIDENTIAL	M	38.22	2'-2"	2'-8"	5.7
RESIDENTIAL	M	38.23	3'-5"	4'-4"	14.1
RESIDENTIAL	M	38.24	2'-9"	4'-10"	13.1
RESIDENTIAL	M	38.25	2'-10"	4'-9"	13.5
RESIDENTIAL	P	38.26	1'-5"	6'-2"	7.9
RESIDENTIAL	P	38.27	0'-11"	2'-11"	2.7
RESIDENTIAL	P	38.28	1'-10"	11'-5"	21.0
RESIDENTIAL	P	38.29	1'-2"	4'-0"	4.7
RESIDENTIAL	P	38.30	1'-0"	3'-4"	3.3
RESIDENTIAL	P	38.31	1'-1"	3'-5"	3.9
RESIDENTIAL	P	38.32	1'-7"	6'-5"	10.0
RESIDENTIAL	P	38.33	0'-9"	2'-4"	1.7
RESIDENTIAL	P	38.34	0'-5"	2'-8"	1.1
RESIDENTIAL	P	38.35	0'-11"	6'-1"	5.4
SUBTOTAL					

38TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	38.36	1'-1"	2'-9"	3.0
RESIDENTIAL	M	38.37	1'-1"	1'-4"	1.5
RESIDENTIAL	M	38.38	1'-11"	3'-1"	5.8
RESIDENTIAL	M	38.39	1'-9"	3'-2"	5.6
RESIDENTIAL	P	38.40	1'-1"	2'-6"	2.6
RESIDENTIAL	E	38.41	2'-7"	4'-7"	11.6
RESIDENTIAL	P	38.42	2'-9"	4'-7"	12.6
RESIDENTIAL	M	38.43	1'-2"	3'-6"	4.1
RESIDENTIAL	P	38.44	1'-11"	7'-8"	14.7
RESIDENTIAL	M	38.45	2'-9"	3'-1"	8.5
RESIDENTIAL	P	38.46	1'-10"	3'-5"	6.3
RESIDENTIAL	E	38.47	1'-10"	3'-5"	6.2
RESIDENTIAL	E	38.48	1'-5"	4'-3"	6.1
RESIDENTIAL	P	38.49	0'-9"	2'-10"	2.1
RESIDENTIAL	P	38.50	0'-9"	3'-1"	2.4
RESIDENTIAL	M	38.51	0'-3"	3'-2"	0.8
RESIDENTIAL	P	38.52	1'-5"	2'-7"	3.7
RESIDENTIAL	E	38.53	3'-5"	5'-4"	18.0
SUBTOTAL					

38TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)	
RESIDENTIAL		2,024	142	1,882	
TOTAL		2,024	142	1,882	

38TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	38.53	0'-8"	7'-2"	4.8
RESIDENTIAL	M	38.54	1'-1"	4'-1"	4.4
RESIDENTIAL	M	38.55	1'-6"	3'-2"	4.8
RESIDENTIAL	ST	38.56	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	38.57	0'-8"	1'-6"	1.0
RESIDENTIAL	M	38.58	2'-9"	3'-4"	9.0
RESIDENTIAL	M	38.59	4'-2"	4'-7"	19.1
RESIDENTIAL	M	38.60	1'-7"	4'-2"	6.6
RESIDENTIAL	M	38.61	1'-8"	4'-2"	6.8
RESIDENTIAL	M	38.62	4'-10"	4'-10"	23.4
RESIDENTIAL	M	38.63	2'-8"	3'-6"	9.2
RESIDENTIAL	M	38.64	2'-0"	4'-9"	9.5
RESIDENTIAL	P	38.65	1'-1"	3'-6"	3.9
RESIDENTIAL	P	38.66	1'-1"	11'-0"	11.9
RESIDENTIAL	P	38.67	1'-5"	6'-2"	8.4
RESIDENTIAL	M	38.68	1'-4"	2'-0"	2.7
RESIDENTIAL	P	38.69	1'-0"	3'-6"	3.4
RESIDENTIAL	P	38.70	1'-1"	11'-1"	12.0
SUBTOTAL					

38TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)	
RESIDENTIAL		9,084	616	8,468	
TOTAL		9,084	616	8,468	



38TH FLOOR (MFD:63RD FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364" = 1'-0" 2

39TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)	
RESIDENTIAL		7,061	457	6,604	
TOTAL		7,061	457	6,604	

39TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	39.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	39.2	2'-1"	3'-7"	7.6
RESIDENTIAL	M	39.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	39.4	2'-9"	2'-9"	7.5
RESIDENTIAL	ST	39.5	0'-8"	25'-5"	16.9
RESIDENTIAL	M	39.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	39.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	39.8	2'-7"	3'-2"	6.8
RESIDENTIAL	M	39.9	2'-11"	3'-2"	8.2
RESIDENTIAL	M	39.10	1'-6"	1'-6"	2.2
RESIDENTIAL	M	39.11	1'-10"	3'-2"	5.6
RESIDENTIAL	M	39.12	3'-8"	4'-5"	16.7
RESIDENTIAL	M	39.13	1'-3"	4'-1"	4.1
RESIDENTIAL	M	39.14	3'-5"	3'-8"	12.9
RESIDENTIAL	ST	39.15	0'-8"	7'-2"	4.4
RESIDENTIAL	ST	39.16	0'-8"	25'-5"	16.9
RESIDENTIAL	M	39.17	4'-5"	4'-11"	21.8
RESIDENTIAL	M	39.18	1'-1"	5'-2"	5.0
RESIDENTIAL	M	39.19	2'-0"	3'-0"	5.0
RESIDENTIAL	M	39.20	4'-0"	7'-6"	30.0
RESIDENTIAL	M	39.21	2'-0"	3'-0"	5.0
RESIDENTIAL	M	39.22	2'-2"	2'-8"	4.8
RESIDENTIAL	M	39.23	3'-3"	4'-4"	14.4
RESIDENTIAL	M	39.24	2'-9"	4'-10"	13.0
RESIDENTIAL	M	39.25	2'-10"	4'-9"	13.5
RESIDENTIAL	P	39.26	1'-3"	6'-2"	7.5
RESIDENTIAL	P	39.27	0'-11"	2'-11"	2.2
RESIDENTIAL	P	39.28	1'-10"	11'-5"	21.0
RESIDENTIAL	P	39.29	1'-2"	4'-0"	4.0
RESIDENTIAL	P	39.30	1'-0"	3'-4"	3.0
RESIDENTIAL	P	39.31	1'-1"	3'-8"	3.3
RESIDENTIAL	P	39.32	1'-7"	6'-5"	10.0
RESIDENTIAL	P	39.33	0'-9"	4'-4"	3.9
RESIDENTIAL	P	39.34	5'-5"	2'-8"	8.0
RESIDENTIAL	P	39.35	0'-1"	6'-1"	5.0
SUBTOTAL					

40TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	457	6,604
TOTAL		7,061	457	6,604

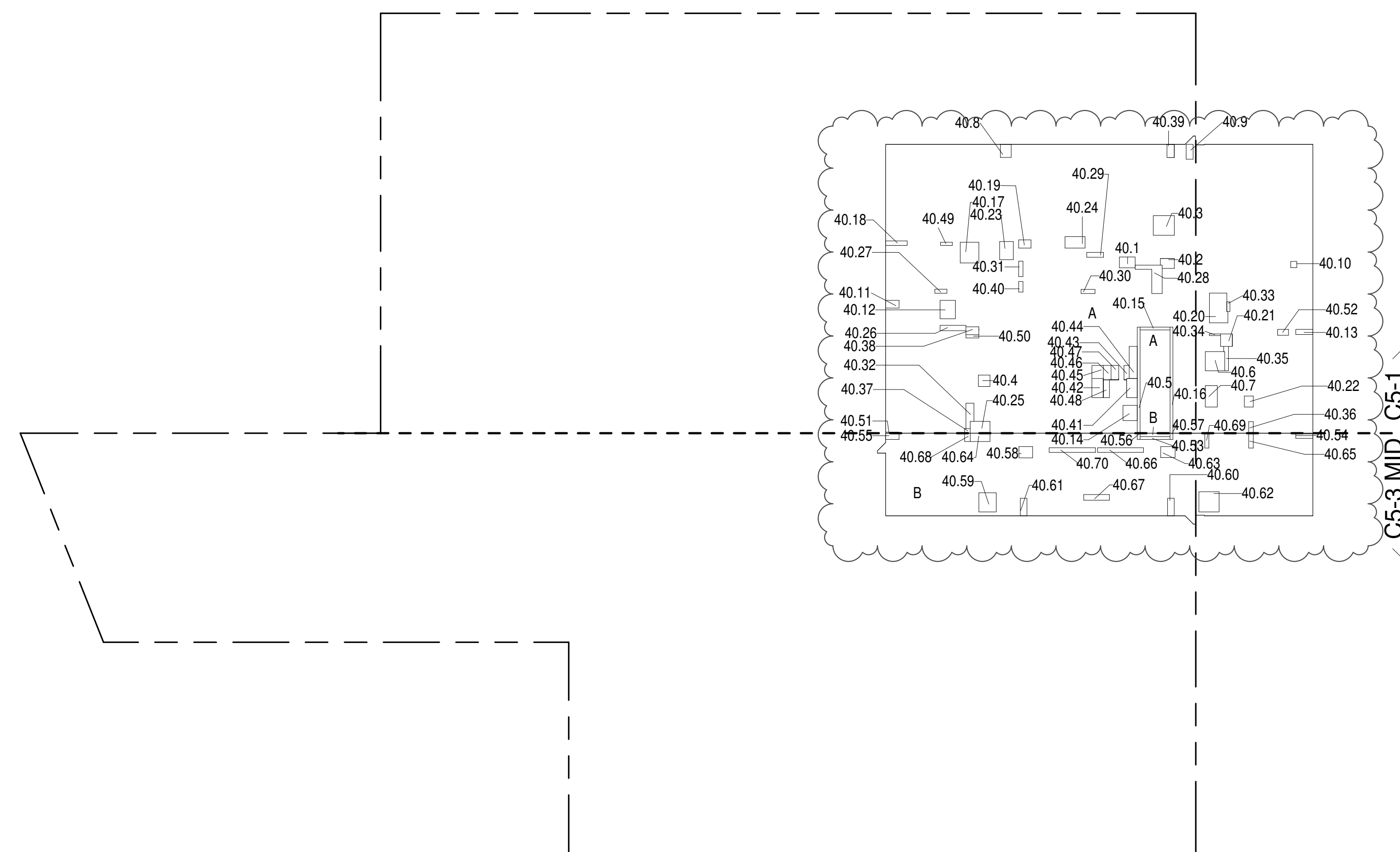
40TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	40.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	40.2	2'-11"	3'-7"	7.6
RESIDENTIAL	M	40.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	40.4	2'-9"	2'-9"	7.5
RESIDENTIAL	ST	40.5	0'-8"	25'-5"	16.9
RESIDENTIAL	M	40.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	40.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	40.8	2'-7"	3'-2"	8.1
RESIDENTIAL	M	40.9	1'-8"	3'-7"	6.0
RESIDENTIAL	M	40.10	1'-6"	1'-6"	2.2
RESIDENTIAL	M	40.11	1'-10"	3'-2"	5.8
RESIDENTIAL	M	40.12	3'-8"	4'-5"	16.1
RESIDENTIAL	M	40.13	1'-3"	4'-1"	5.1
RESIDENTIAL	M	40.14	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	40.15	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	40.16	0'-8"	25'-5"	16.9
RESIDENTIAL	M	40.17	4'-5"	4'-11"	21.8
RESIDENTIAL	M	40.18	1'-1"	5'-2"	5.6
RESIDENTIAL	M	40.19	2'-0"	3'-0"	5.8
RESIDENTIAL	M	40.20	4'-0"	7'-6"	30.1
RESIDENTIAL	M	40.21	2'-10"	3'-0"	8.4
RESIDENTIAL	M	40.22	2'-2"	2'-8"	5.7
RESIDENTIAL	M	40.23	3'-3"	4'-4"	14.1
RESIDENTIAL	M	40.24	2'-9"	4'-10"	13.1
RESIDENTIAL	M	40.25	2'-10"	4'-9"	13.5
RESIDENTIAL	P	40.26	1'-3"	6'-2"	7.9
RESIDENTIAL	P	40.27	0'-11"	2'-11"	2.7
RESIDENTIAL	P	40.28	1'-10"	11'-5"	21.0
RESIDENTIAL	P	40.29	1'-2"	4'-0"	4.7
RESIDENTIAL	P	40.30	1'-0"	3'-4"	3.3
RESIDENTIAL	P	40.31	1'-1"	3'-8"	3.9
RESIDENTIAL	P	40.32	1'-7"	6'-5"	10.0
RESIDENTIAL	P	40.33	0'-9"	2'-4"	1.7
RESIDENTIAL	P	40.34	0'-5"	2'-8"	1.1
RESIDENTIAL	P	40.35	0'-11"	6'-1"	5.4
SUBTOTAL					

40TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	40.36	1'-1"	2'-9"	3.0
RESIDENTIAL	M	40.37	1'-1"	1'-4"	1.5
RESIDENTIAL	M	40.38	1'-11"	3'-1"	5.8
RESIDENTIAL	M	40.39	1'-9"	3'-2"	5.6
RESIDENTIAL	P	40.40	1'-1"	2'-6"	2.6
RESIDENTIAL	E	40.41	2'-7"	4'-7"	11.6
RESIDENTIAL	P	40.42	2'-9"	4'-7"	12.6
RESIDENTIAL	M	40.43	1'-2"	3'-6"	4.1
RESIDENTIAL	P	40.44	1'-11"	7'-8"	14.7
RESIDENTIAL	M	40.45	2'-9"	3'-1"	8.5
RESIDENTIAL	P	40.46	1'-10"	3'-5"	6.3
RESIDENTIAL	M	40.47	1'-10"	3'-5"	6.2
RESIDENTIAL	E	40.48	1'-5"	4'-3"	6.1
RESIDENTIAL	P	40.49	0'-9"	2'-10"	2.1
RESIDENTIAL	P	40.50	0'-9"	3'-1"	2.4
RESIDENTIAL	M	40.51	0'-3"	3'-2"	0.8
RESIDENTIAL	P	40.52	1'-5"	2'-7"	3.7
SUBTOTAL					456.6

40TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		2,024	142	1,882
TOTAL		2,024	142	1,882

40TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	40.53	0'-8"	7'-2"	4.8
RESIDENTIAL	M	40.54	1'-1"	4'-1"	4.4
RESIDENTIAL	M	40.55	1'-6"	3'-2"	4.4
RESIDENTIAL	ST	40.56	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	40.57	0'-8"	1'-6"	1.0
RESIDENTIAL	M	40.58	2'-9"	3'-4"	9.0
RESIDENTIAL	M	40.59	4'-2"	4'-7"	19.1
RESIDENTIAL	M	40.60	1'-7"	4'-2"	6.6
RESIDENTIAL	M	40.61	1'-8"	4'-2"	6.8
RESIDENTIAL	M	40.62	4'-10"	4'-10"	23.4
RESIDENTIAL	M	40.63	2'-8"	3'-6"	9.2
RESIDENTIAL	M	40.64	2'-0"	4'-9"	9.5
RESIDENTIAL	P	40.65	1'-1"	3'-6"	3.9
RESIDENTIAL	P	40.66	1'-1"	11'-0"	11.9
RESIDENTIAL	P	40.67	1'-5"	6'-2"	8.4
RESIDENTIAL	M	40.68	1'-4"	2'-0"	2.7
RESIDENTIAL	P	40.69	1'-0"	3'-6"	3.4
RESIDENTIAL	P	40.70	1'-1"	11'-1"	12.0
SUBTOTAL					141.9

40TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		9,084	598	8,486
TOTAL		9,084	598	8,486



- ZONING AND DEDUCT LEGEND**
- DEDUCTIONS
 - M - MECHANICAL ROOM / RISER
 - E - ELECTRICAL SHAFT / RISER
 - P - PLUMBING RISER
 - BG - BELOW GRADE
 - O - OPENING TO BELOW
 - L - LOADING BAYS
 - ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)
 - G - GAP FROM ADJACENT BUILDING
 - DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL, DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

40TH FLOOR (MFD:65TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 1

41ST FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	475	6,586
TOTAL		7,061	475	6,586

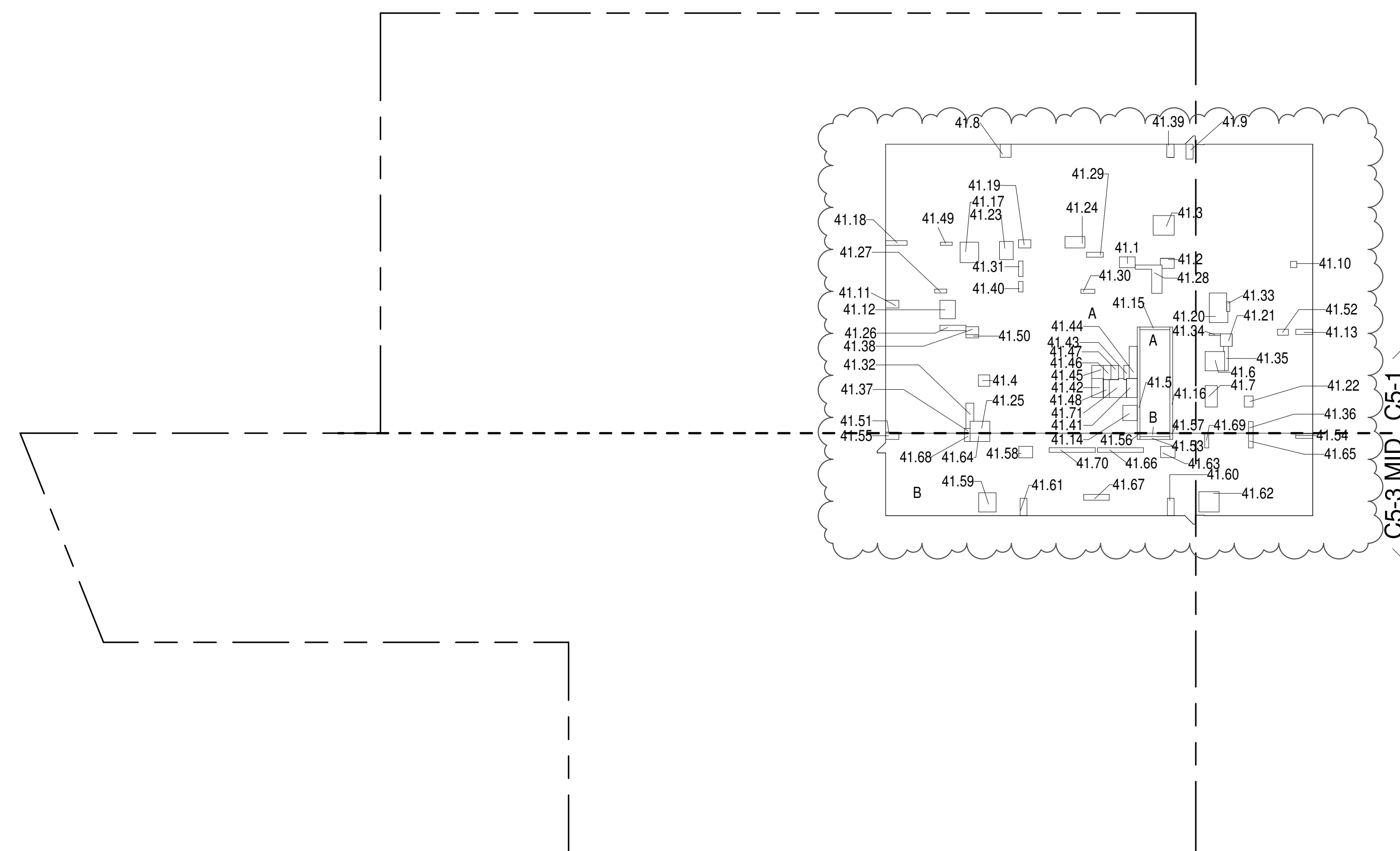
41ST FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	41.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	41.2	2'-11"	3'-7"	7.6
RESIDENTIAL	M	41.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	41.4	2'-9"	2'-9"	7.5
RESIDENTIAL	ST	41.5	0'-8"	25'-5"	16.9
RESIDENTIAL	M	41.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	41.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	41.8	2'-7"	3'-2"	8.1
RESIDENTIAL	M	41.9	1'-8"	3'-7"	6.0
RESIDENTIAL	M	41.10	1'-6"	1'-6"	2.2
RESIDENTIAL	M	41.11	1'-10"	3'-2"	5.8
RESIDENTIAL	M	41.12	3'-8"	4'-5"	16.1
RESIDENTIAL	M	41.13	1'-3"	4'-1"	5.1
RESIDENTIAL	M	41.14	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	41.15	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	41.16	0'-8"	25'-5"	16.9
RESIDENTIAL	M	41.17	4'-5"	4'-11"	21.8
RESIDENTIAL	M	41.18	1'-1"	5'-2"	5.6
RESIDENTIAL	M	41.19	2'-0"	3'-0"	5.8
RESIDENTIAL	M	41.20	4'-0"	7'-6"	30.1
RESIDENTIAL	M	41.21	2'-10"	3'-0"	8.4
RESIDENTIAL	M	41.22	2'-2"	2'-8"	5.7
RESIDENTIAL	M	41.23	3'-3"	4'-4"	14.1
RESIDENTIAL	M	41.24	2'-9"	4'-10"	13.1
RESIDENTIAL	M	41.25	2'-10"	4'-9"	13.5
RESIDENTIAL	P	41.26	1'-3"	6'-2"	7.9
RESIDENTIAL	P	41.27	0'-11"	2'-11"	2.7
RESIDENTIAL	P	41.28	1'-10"	11'-5"	21.0
RESIDENTIAL	P	41.29	1'-2"	4'-0"	4.7
RESIDENTIAL	P	41.30	1'-0"	3'-4"	3.3
RESIDENTIAL	P	41.31	1'-1"	3'-8"	3.9
RESIDENTIAL	P	41.32	1'-7"	6'-5"	10.0
RESIDENTIAL	P	41.33	0'-9"	2'-4"	1.7
RESIDENTIAL	P	41.34	0'-5"	2'-8"	1.1
RESIDENTIAL	P	41.35	0'-11"	6'-1"	5.4
SUBTOTAL					

41ST FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	41.36	1'-1"	2'-9"	3.0
RESIDENTIAL	M	41.37	1'-1"	1'-4"	1.5
RESIDENTIAL	M	41.38	1'-11"	3'-1"	5.8
RESIDENTIAL	M	41.39	1'-8"	3'-2"	5.6
RESIDENTIAL	P	41.40	1'-1"	2'-6"	2.6
RESIDENTIAL	E	41.41	2'-7"	4'-7"	11.6
RESIDENTIAL	P	41.42	2'-9"	4'-7"	12.6
RESIDENTIAL	P	41.43	1'-2"	3'-6"	4.1
RESIDENTIAL	P	41.44	1'-11"	7'-8"	14.7
RESIDENTIAL	M	41.45	2'-9"	3'-1"	8.5
RESIDENTIAL	P	41.46	1'-10"	3'-5"	6.3
RESIDENTIAL	M	41.47	1'-10"	3'-5"	6.2
RESIDENTIAL	E	41.48	1'-5"	4'-3"	6.1
RESIDENTIAL	P	41.49	0'-9"	2'-10"	2.1
RESIDENTIAL	P	41.50	0'-9"	3'-1"	2.4
RESIDENTIAL	M	41.51	0'-3"	3'-2"	0.8
RESIDENTIAL	P	41.52	1'-5"	2'-7"	3.7
RESIDENTIAL	E	41.71	3'-5"	5'-4"	18.0
SUBTOTAL					474.0

41ST FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		2,024	142	1,882
TOTAL		2,024	142	1,882

41ST FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	41.53	0'-8"	7'-2"	4.8
RESIDENTIAL	M	41.54	1'-1"	4'-1"	4.4
RESIDENTIAL	M	41.55	1'-6"	3'-2"	4.8
RESIDENTIAL	ST	41.56	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	41.57	0'-8"	1'-6"	1.0
RESIDENTIAL	M	41.58	2'-9"	3'-4"	9.0
RESIDENTIAL	M	41.59	4'-2"	4'-7"	19.1
RESIDENTIAL	M	41.60	1'-7"	4'-2"	6.6
RESIDENTIAL	M	41.61	1'-8"	4'-2"	6.8
RESIDENTIAL	M	41.62	4'-10"	4'-10"	23.4
RESIDENTIAL	M	41.63	2'-8"	3'-6"	9.2
RESIDENTIAL	M	41.64	2'-0"	4'-9"	9.5
RESIDENTIAL	P	41.65	1'-1"	3'-6"	3.9
RESIDENTIAL	P	41.66	1'-1"	11'-0"	11.9
RESIDENTIAL	P	41.67	1'-5"	6'-2"	8.4
RESIDENTIAL	M	41.68	1'-4"	2'-0"	2.7
RESIDENTIAL	P	41.69	1'-0"	3'-6"	3.4
RESIDENTIAL	P	41.70	1'-1"	11'-1"	12.0
SUBTOTAL					141.9

41ST FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		9,084	616	8,468
TOTAL		9,084	616	8,468



- ZONING AND DEDUCT LEGEND**
- DEDUCTIONS
 - M - MECHANICAL ROOM / RISER
 - E - ELECTRICAL SHAFT / RISER
 - P - PLUMBING RISER
 - BG - BELOW GRADE
 - O - OPENING TO BELOW
 - L - LOADING BAYS
 - ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)
 - G - GAP FROM ADJACENT BUILDING
 - DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL, DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

41ST FLOOR (MFD:66TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 2

42ND FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		7,061	457	6,604
TOTAL		7,061	457	6,604

42ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	42.1	2'-7"	3'-9"	9.8
RESIDENTIAL	M	42.2	2'-1"	3'-7"	7.6
RESIDENTIAL	M	42.3	4'-8"	5'-1"	23.7
RESIDENTIAL	M	42.4	2'-9"	2'-9"	7.6
RESIDENTIAL	ST	42.5	8'-8"	28'-5"	163.5
RESIDENTIAL	M	42.6	4'-7"	4'-8"	21.4
RESIDENTIAL	M	42.7	2'-11"	5'-1"	14.8
RESIDENTIAL	M	42.8	2'-7"	3'-2"	8.1
RESIDENTIAL	M	42.9	1'-8"	3'-7"	6.0
RESIDENTIAL	M	42.10	1'-6"	1'-6"	2.2
RESIDENTIAL	M	42.11	1'-10"	3'-2"	5.8
RESIDENTIAL	M	42.12	3'-2"	3'-8"	16.2
RESIDENTIAL	M	42.13	1'-2"	4'-1"	5.1
RESIDENTIAL	M	42.14	3'-5"	3'-8"	12.5
RESIDENTIAL	ST	42.15	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	42.16	0'-8"	28'-5"	168.0
RESIDENTIAL	M	42.17	4'-5"	4'-11"	21.8
RESIDENTIAL	M	42.18	1'-1"	5'-2"	5.6
RESIDENTIAL	M	42.19	2'-0"	3'-0"	5.8
RESIDENTIAL	M	42.20	4'-0"	7'-6"	30.1
RESIDENTIAL	M	42.21	2'-10"	3'-0"	8.4
RESIDENTIAL	M	42.22	2'-2"	2'-8"	5.0
RESIDENTIAL	M	42.23	2'-10"	3'-0"	13.0
RESIDENTIAL	M	42.24	2'-9"	4'-0"	13.5
RESIDENTIAL	M	42.25	2'-9"	4'-9"	13.5
RESIDENTIAL	P	42.26	1'-3"	6'-2"	7.5
RESIDENTIAL	P	42.27	0'-11"	2'-11"	2.1
RESIDENTIAL	P	42.28	1'-10"	11'-5"	21.0
RESIDENTIAL	P	42.29	1'-2"	4'-0"	4.7
RESIDENTIAL	P	42.30	1'-0"	3'-4"	3.3
RESIDENTIAL	P	42.31	1'-1"	3'-8"	3.9
RESIDENTIAL	P	42.32	1'-7"	6'-5"	10.0
RESIDENTIAL	P	42.33	0'-9"	2'-4"	1.7
RESIDENTIAL	P	42.34	0'-5"	2'-8"	1.1
RESIDENTIAL	P	42.35	0'-11"	6'-1"	5.4
SUBTOTAL					

45TH FLOOR (MFD:70TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 3

46TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	A	6,929	6,929	0	
TOTAL		6,929	6,929	0	

46TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	A	65'-6"	105'-9"	6,929.3
SUBTOTAL					6,929.3

46TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	B	1,960	1,960	0	
TOTAL		1,960	1,960	0	

46TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	B	18'-9"	104'-8"	1,959.9
SUBTOTAL					1,959.9

46TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		8,889	8,889	0	
TOTAL		8,889	8,889	0	

ZONING AND DEDUCT LEGEND

DEDUCTIONS

M - MECHANICAL ROOM / RISER

E - ELECTRICAL SHAFT / RISER

P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)

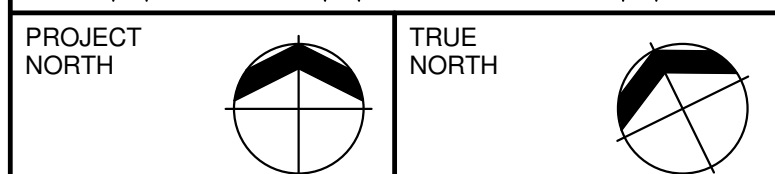
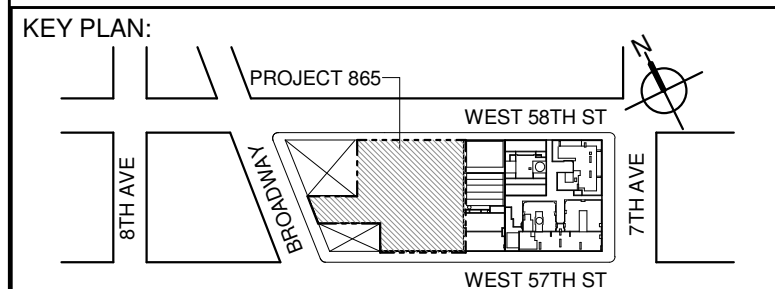
G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS



DEVELOPER:

EXTELL DEVELOPMENT COMPANY

805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
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DESIGN ARCHITECT: Base Building Shell & Core

ADRIAN SMITH + GORDON GILL ARCHITECTURE

111 WEST MONROE STREET SUITE 2300
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ARCHITECT OF RECORD: Base Building Shell & Core

AAI ARCHITECTS, P.C.

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TEL: 416 867 1500 FAX: 416 867 7150

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WSP CANTOR SEINUK

228 EAST 46TH STREET
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TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP

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NEW YORK, NY 10036 USA
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GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services

21 Fern Plaza, 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates

100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

A.J.L.P. Consulting

40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Higgins Quasebarth & Partners LLC

11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.

59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No. DESCRIPTION: DATE:

1 D.O.B. SUBMISSION 05 DEC 14

2 D.O.B. SUBMISSION 18 FEB 15

D.O.B. SUBMISSION 27 APR 14

D.O.B. AMENDMENT 2 21 SEP 15

D.O.B. AMENDMENT 3 03 OCT 16

47TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,784	422	6,342	
TOTAL		6,784	422	6,342	

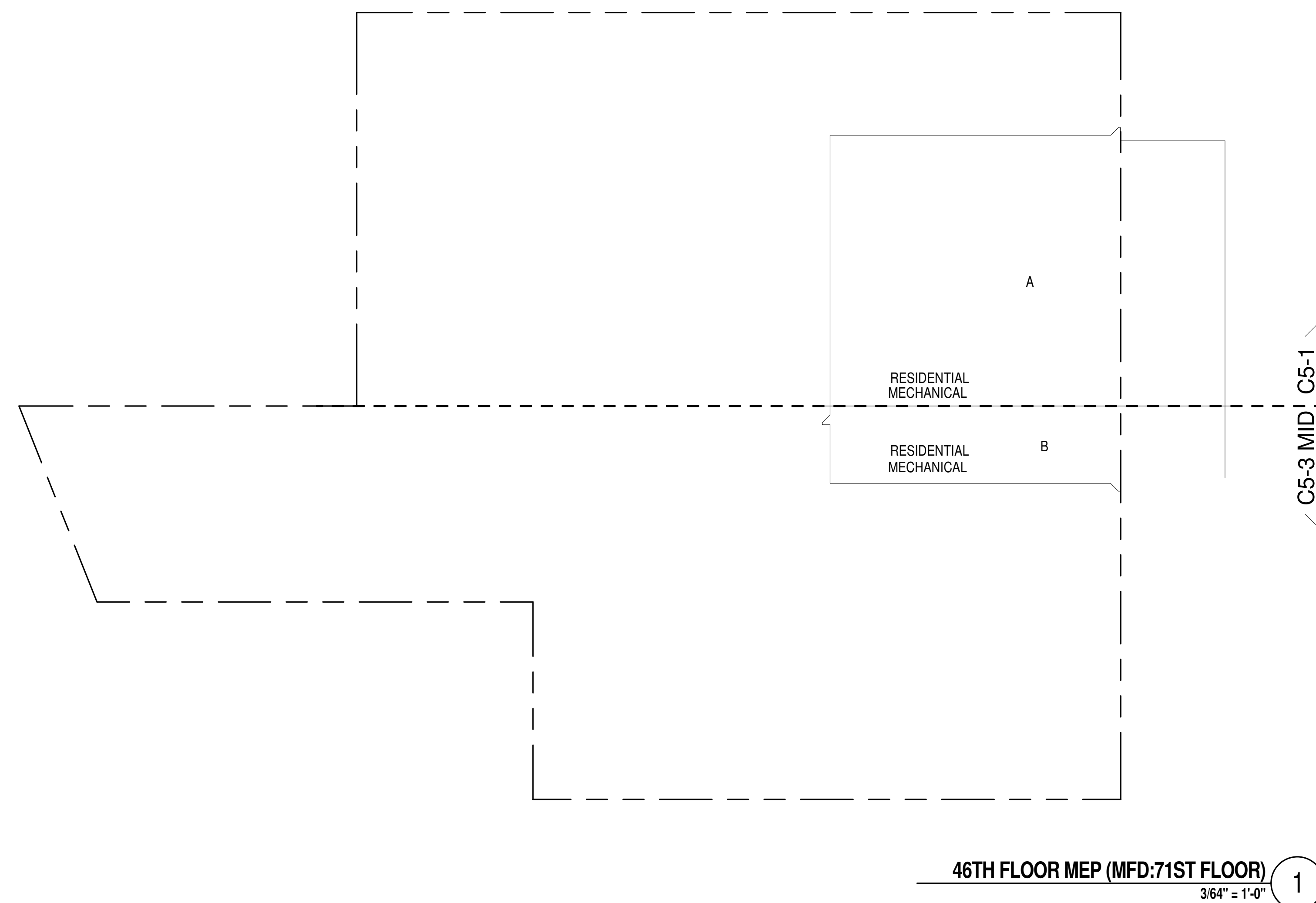
47TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	47.1	0'-8"	26'-1"	17.4
RESIDENTIAL	M	47.2	3'-5"	3'-8"	12.5
RESIDENTIAL	M	47.3	2'-2"	3'-2"	6.9
RESIDENTIAL	M	47.4	2'-10"	5'-9"	16.1
RESIDENTIAL	M	47.5	2'-3"	2'-10"	6.4
RESIDENTIAL	M	47.6	2'-3"	2'-10"	6.3
RESIDENTIAL	M	47.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	47.8	2'-2"	4'-6"	9.8
RESIDENTIAL	ST	47.9	0'-8"	26'-1"	17.4
RESIDENTIAL	M	47.10	5'-1"	7'-2"	36.2
RESIDENTIAL	M	47.11	3'-7"	3'-11"	13.8
RESIDENTIAL	M	47.12	1'-7"	2'-9"	4.4
RESIDENTIAL	P	47.13	0'-7"	4'-9"	2.6
RESIDENTIAL	P	47.14	1'-6"	6'-1"	9.2
RESIDENTIAL	P	47.15	2'-6"	5'-5"	13.6
RESIDENTIAL	P	47.16	1'-2"	1'-2"	1.3
RESIDENTIAL	P	47.17	0'-8"	5'-1"	3.5
RESIDENTIAL	P	47.18	1'-1"	6'-5"	7.1
RESIDENTIAL	P	47.19	1'-0"	6'-10"	7.0
RESIDENTIAL	P	47.20	1'-1"	2'-4"	2.6
SUBTOTAL					422.2

47TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	47.21	0'-9"	4'-10"	2.2
RESIDENTIAL	M	47.22	1'-5"	4'-6"	6.3
RESIDENTIAL	M	47.23	2'-8"	2'-11"	7.5
RESIDENTIAL	M	47.24	2'-8"	5'-4"	14.0
RESIDENTIAL	M	47.25	2'-11"	3'-5"	10.5
RESIDENTIAL	P	47.26	0'-8"	3'-7"	2.5
RESIDENTIAL	M	47.27	3'-4"	4'-4"	14.3
RESIDENTIAL	M	47.28	1'-2"	1'-5"	1.7
RESIDENTIAL	M	47.29	4'-2"	4'-10"	20.0
RESIDENTIAL	M	47.30	4'-7"	4'-7"	20.8
RESIDENTIAL	M	47.31	4'-1"	4'-10"	19.6
RESIDENTIAL	M	47.32	4'-8"	5'-3"	24.4
RESIDENTIAL	ST	47.33	0'-8"	7'-2"	4.8
RESIDENTIAL	E	47.34	2'-7"	4'-7"	11.6
RESIDENTIAL	P	47.35	2'-9"	4'-7"	12.6
RESIDENTIAL	M	47.36	1'-2"	3'-6"	4.1
RESIDENTIAL	P	47.37	1'-11"	7'-8"	14.7
RESIDENTIAL	M	47.38	2'-9"	3'-1"	8.5
RESIDENTIAL	P	47.39	1'-10"	3'-5"	6.3
RESIDENTIAL	M	47.40	1'-10"	3'-5"	6.2
RESIDENTIAL	E	47.41	1'-5"	4'-3"	6.1
RESIDENTIAL	P	47.42	1'-2"	1'-6"	1.7
SUBTOTAL					422.2

47TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		2,024	103	1,921	
TOTAL		2,024	103	1,921	

47TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	47.43	0'-8"	7'-2"	4.8
RESIDENTIAL	M	47.44	0'-2"	4'-10"	0.7
RESIDENTIAL	ST	47.45	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	47.46	0'-8"	1'-6"	1.0
RESIDENTIAL	M	47.47	4'-10"	4'-10"	23.4
RESIDENTIAL	P	47.48	1'-1"	5'-1"	5.3
RESIDENTIAL	P	47.49	1'-0"	6'-2"	6.3
RESIDENTIAL	P	47.50	1'-0"	3'-1"	3.0
RESIDENTIAL	P	47.51	1'-1"	4'-0"	4.4
RESIDENTIAL	M	47.52	1'-6"	3'-2"	4.8
RESIDENTIAL	P	47.53	1'-0"	6'-2"	6.2
RESIDENTIAL	M	47.54	1'-7"	5'-6"	8.7
RESIDENTIAL	M	47.55	2'-10"	3'-5"	9.6
RESIDENTIAL	M	47.56	2'-11"	3'-7"	10.4
RESIDENTIAL	M	47.57	2'-1"	2'-8"	5.6
RESIDENTIAL	M	47.58	1'-9"	2'-7"	4.6
RESIDENTIAL	M	47.59	1'-10"	1'-11"	3.5
SUBTOTAL					103.1

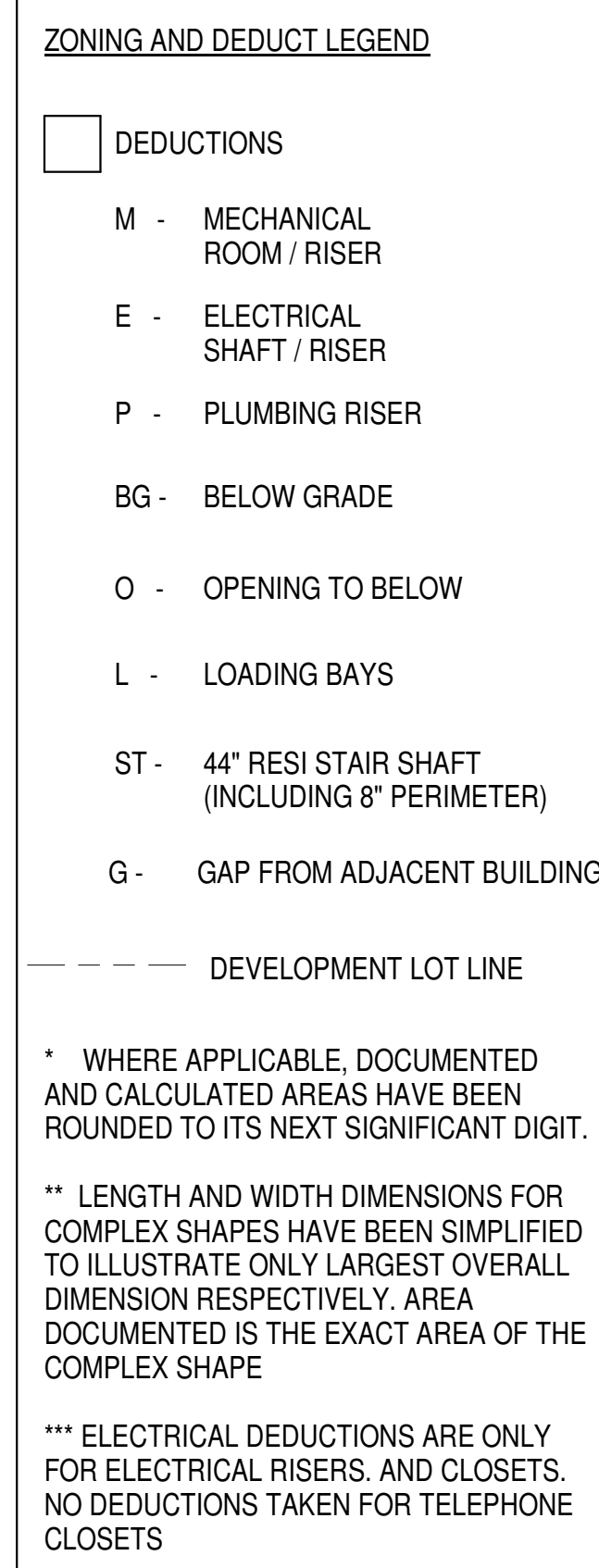
47TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		8,788	525	8,263	
TOTAL		8,788	525	8,263	



48TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,644	440	6,204	
TOTAL		6,644	440	6,204	

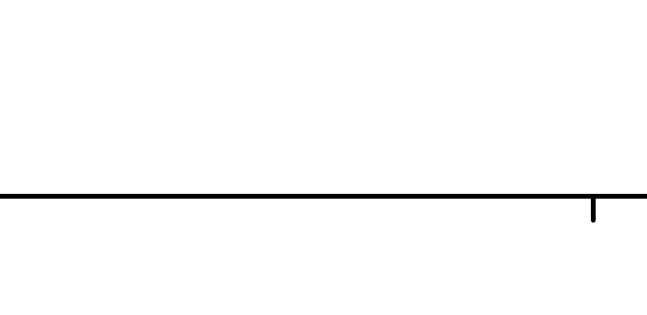
48TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	48.1	0'-8"	26'-1"	17.4
RESIDENTIAL	M	48.2	3'-5"	3'-8"	12.5
RESIDENTIAL	M	48.3	2'-2"	3'-2"	6.9
RESIDENTIAL	M	48.4	2'-10"	5'-9"	16.1
RESIDENTIAL	M	48.5	2'-3"	2'-10"	6.4
RESIDENTIAL	M	48.6	2'-3"	2'-10"	6.3
RESIDENTIAL	M	48.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	48.8	2'-2"	4'-6"	9.8
RESIDENTIAL	ST	48.9	0'-8"	26'-1"	17.4
RESIDENTIAL	M	48.10	5'-1"	7'-2"	36.2
RESIDENTIAL	M	48.11	3'-7"	3'-11"	13.8
RESIDENTIAL	M	48.12	1'-7"	2'-9"	4.4
RESIDENTIAL	P	48.13	0'-7"	4'-9"	2.6
RESIDENTIAL	P	48.14	1'-6"	6'-1"	9.2
RESIDENTIAL	P	48.15	2'-6"	5'-5"	13.6
RESIDENTIAL	P	48.16	1'-2"	1'-2"	1.3
RESIDENTIAL	P	48.17	0'-8"	5'-1"	3.5
RESIDENTIAL	P	48.18	1'-1"	6'-5"	7.1
RESIDENTIAL	P	48.19	1'-0"	6'-10"	7.0
RESIDENTIAL	P	48.20	1'-	2'-4"	2.0
SUBTOTAL					

49TH FLOOR (MFD:79TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

[illegible]

50TH FLOOR (MFD:80TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 2

51ST FLOOR (MFD:81ST FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS



52ND FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	6,644	422	6,222		
TOTAL	6,644	422	6,222		

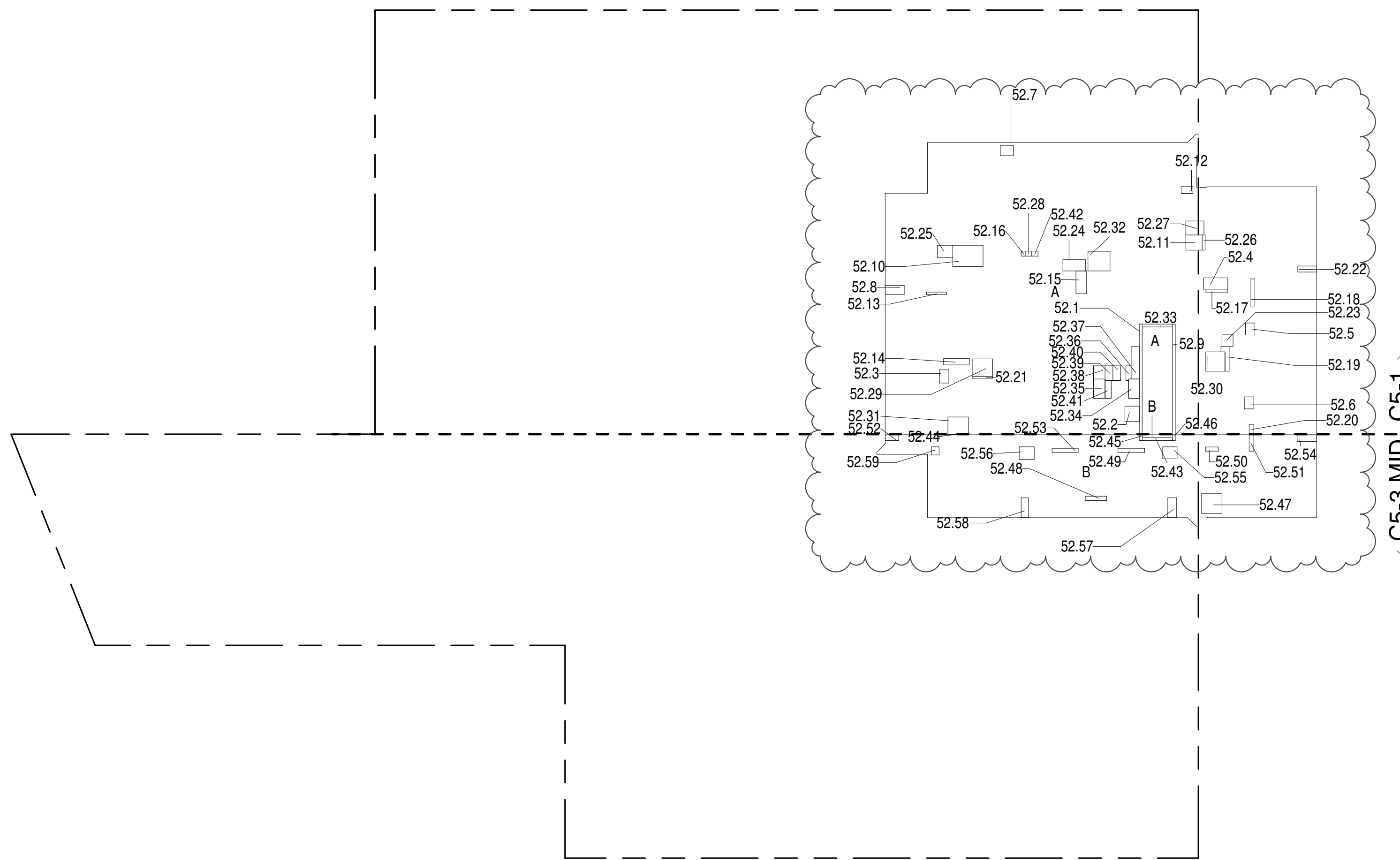
52ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	52.1	0'-8"	26'-1"	17.4
RESIDENTIAL	M	52.2	3'-5"	3'-8"	12.5
RESIDENTIAL	M	52.3	2'-2"	3'-2"	6.9
RESIDENTIAL	M	52.4	2'-10"	5'-9"	16.1
RESIDENTIAL	M	52.5	2'-3"	2'-10"	6.4
RESIDENTIAL	M	52.6	2'-3"	2'-10"	6.3
RESIDENTIAL	M	52.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	52.8	2'-2"	4'-6"	9.8
RESIDENTIAL	ST	52.9	0'-8"	26'-1"	17.4
RESIDENTIAL	M	52.10	5'-1"	7'-2"	36.2
RESIDENTIAL	M	52.11	3'-7"	3'-11"	13.8
RESIDENTIAL	M	52.12	1'-7"	2'-9"	4.4
RESIDENTIAL	P	52.13	0'-7"	4'-9"	2.6
RESIDENTIAL	P	52.14	1'-6"	6'-1"	9.2
RESIDENTIAL	P	52.15	2'-6"	5'-5"	13.6
RESIDENTIAL	P	52.16	1'-2"	1'-2"	1.3
RESIDENTIAL	P	52.17	0'-8"	5'-1"	3.5
RESIDENTIAL	P	52.18	1'-1"	6'-5"	7.1
RESIDENTIAL	P	52.19	1'-0"	6'-10"	7.0
RESIDENTIAL	P	52.20	1'-1"	2'-4"	2.6
RESIDENTIAL	P	52.21	0'-5"	4'-10"	2.2
RESIDENTIAL	M	52.22	1'-5"	4'-6"	6.3
RESIDENTIAL	M	52.23	2'-8"	2'-11"	7.5
RESIDENTIAL	M	52.24	2'-8"	5'-4"	14.0
RESIDENTIAL	M	52.25	2'-11"	3'-8"	10.5
RESIDENTIAL	P	52.26	0'-8"	3'-7"	2.5
RESIDENTIAL	M	52.27	3'-4"	4'-4"	14.3
RESIDENTIAL	M	52.28	1'-2"	1'-5"	1.7
RESIDENTIAL	M	52.29	4'-2"	4'-10"	20.0
RESIDENTIAL	M	52.30	4'-7"	4'-7"	20.8
RESIDENTIAL	M	52.31	4'-1"	4'-10"	19.6
RESIDENTIAL	M	52.32	4'-8"	5'-3"	24.4
RESIDENTIAL	ST	52.33	0'-8"	7'-2"	4.8
RESIDENTIAL	E	52.34	2'-7"	4'-7"	11.6
RESIDENTIAL	P	52.35	2'-9"	4'-7"	12.6
SUBTOTAL					

52ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	52.36	1'-2"	3'-6"	4.1
RESIDENTIAL	P	52.37	1'-11"	7'-8"	14.7
RESIDENTIAL	M	52.38	2'-9"	3'-1"	8.5
RESIDENTIAL	P	52.39	1'-10"	3'-5"	6.3
RESIDENTIAL	M	52.40	1'-10"	3'-5"	6.2
RESIDENTIAL	E	52.41	1'-5"	4'-3"	6.1
RESIDENTIAL	P	52.42	1'-2"	1'-6"	1.7
SUBTOTAL					

52ND FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	1,874	110	1,764		
TOTAL	1,874	110	1,764		

52ND FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	52.43	0'-8"	7'-2"	4.8
RESIDENTIAL	M	52.44	0'-2"	4'-10"	0.7
RESIDENTIAL	ST	52.45	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	52.46	0'-8"	1'-6"	1.0
RESIDENTIAL	M	52.47	4'-10"	4'-10"	23.4
RESIDENTIAL	P	52.48	1'-1"	5'-1"	5.3
RESIDENTIAL	P	52.49	1'-0"	6'-3"	6.3
RESIDENTIAL	P	52.50	1'-0"	3'-1"	3.0
RESIDENTIAL	P	52.51	1'-1"	4'-0"	4.4
RESIDENTIAL	M	52.52	1'-6"	3'-2"	4.8
RESIDENTIAL	P	52.53	1'-0"	6'-2"	6.2
RESIDENTIAL	M	52.54	1'-7"	4'-8"	7.3
RESIDENTIAL	M	52.55	2'-10"	3'-5"	9.6
RESIDENTIAL	M	52.56	2'-11"	3'-7"	10.4
RESIDENTIAL	M	52.57	2'-1"	4'-8"	9.8
RESIDENTIAL	M	52.58	1'-9"	4'-8"	8.2
RESIDENTIAL	M	52.59	1'-10"	1'-11"	3.5
SUBTOTAL					

52ND FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	8,518	532	7,986		
TOTAL	8,518	532	7,986		



ZONING AND DEDUCT LEGEND

☐ DEDUCTIONS

M - MECHANICAL ROOM / RISER

E - ELECTRICAL SHAFT / RISER

P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)

G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

52ND FLOOR (MFD:82ND FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 1

53RD FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	6,644	422	6,222		
TOTAL	6,644	422	6,222		

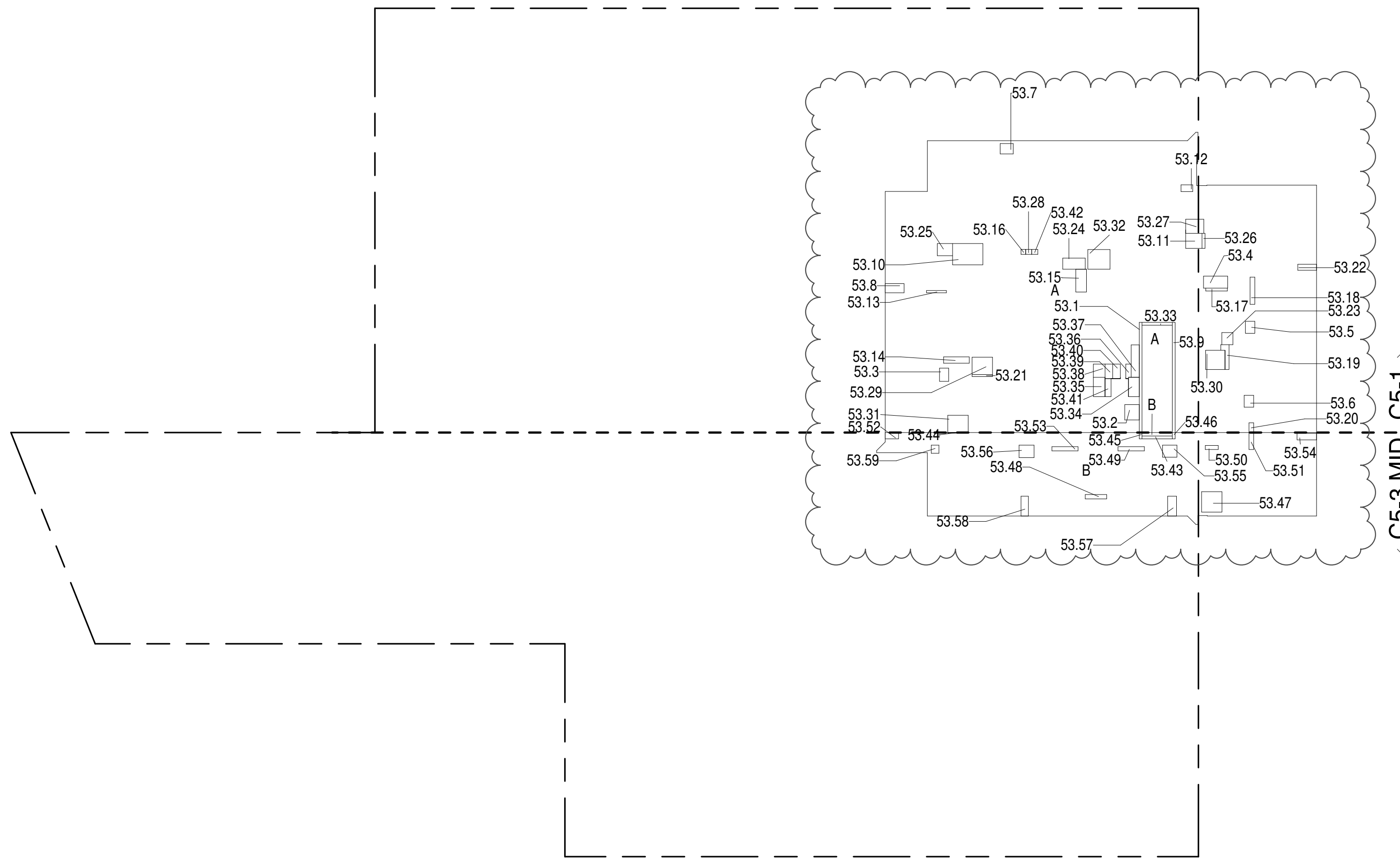
53RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	53.1	0'-8"	26'-1"	17.4
RESIDENTIAL	M	53.2	3'-5"	3'-8"	12.5
RESIDENTIAL	M	53.3	2'-2"	3'-2"	6.9
RESIDENTIAL	M	53.4	2'-10"	5'-9"	16.1
RESIDENTIAL	M	53.5	2'-3"	2'-10"	6.4
RESIDENTIAL	M	53.6	2'-3"	2'-10"	6.3
RESIDENTIAL	M	53.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	53.8	2'-2"	4'-6"	9.8
RESIDENTIAL	ST	53.9	0'-8"	26'-1"	17.4
RESIDENTIAL	M	53.10	5'-1"	7'-2"	36.2
RESIDENTIAL	M	53.11	3'-7"	3'-11"	13.8
RESIDENTIAL	M	53.12	1'-7"	2'-9"	4.4
RESIDENTIAL	P	53.13	0'-7"	4'-9"	2.6
RESIDENTIAL	P	53.14	1'-6"	6'-1"	9.2
RESIDENTIAL	P	53.15	2'-6"	5'-5"	13.6
RESIDENTIAL	P	53.16	1'-2"	1'-2"	1.3
RESIDENTIAL	P	53.17	0'-8"	5'-1"	3.5
RESIDENTIAL	P	53.18	1'-1"	6'-5"	7.1
RESIDENTIAL	P	53.19	1'-0"	6'-10"	7.0
RESIDENTIAL	P	53.20	1'-1"	2'-4"	2.6
RESIDENTIAL	P	53.21	0'-5"	4'-10"	2.2
RESIDENTIAL	M	53.22	1'-5"	4'-6"	6.3
RESIDENTIAL	M	53.23	2'-8"	2'-11"	7.5
RESIDENTIAL	M	53.24	2'-8"	5'-4"	14.0
RESIDENTIAL	M	53.25	2'-11"	3'-8"	10.5
RESIDENTIAL	P	53.26	0'-8"	3'-7"	2.5
RESIDENTIAL	M	53.27	3'-4"	4'-4"	14.3
RESIDENTIAL	M	53.28	1'-2"	1'-5"	1.7
RESIDENTIAL	M	53.29	4'-2"	4'-10"	20.0
RESIDENTIAL	M	53.30	4'-7"	4'-7"	20.8
RESIDENTIAL	M	53.31	4'-1"	4'-10"	19.6
RESIDENTIAL	M	53.32	4'-8"	5'-3"	24.4
RESIDENTIAL	ST	53.33	0'-8"	7'-2"	4.8
RESIDENTIAL	E	53.34	2'-7"	4'-7"	11.6
RESIDENTIAL	P	53.35	2'-9"	4'-7"	12.6
SUBTOTAL					

53RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	53.36	1'-2"	3'-6"	4.1
RESIDENTIAL	P	53.37	1'-11"	7'-8"	14.7
RESIDENTIAL	M	53.38	2'-9"	3'-1"	8.5
RESIDENTIAL	P	53.39	1'-10"	3'-5"	6.3
RESIDENTIAL	M	53.40	1'-10"	3'-5"	6.2
RESIDENTIAL	E	53.41	1'-5"	4'-3"	6.1
RESIDENTIAL	P	53.42	1'-2"	1'-6"	1.7
SUBTOTAL					

53RD FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	1,874	110	1,764		
TOTAL	1,874	110	1,764		

53RD FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	53.43	0'-8"	7'-2"	4.8
RESIDENTIAL	M	53.44	0'-2"	4'-10"	0.7
RESIDENTIAL	ST	53.45	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	53.46	0'-8"	1'-6"	1.0
RESIDENTIAL	M	53.47	4'-10"	4'-10"	23.4
RESIDENTIAL	P	53.48	1'-1"	5'-1"	5.3
RESIDENTIAL	P	53.49	1'-0"	6'-3"	6.3
RESIDENTIAL	P	53.50	1'-0"	3'-1"	3.0
RESIDENTIAL	P	53.51	1'-1"	4'-0"	4.4
RESIDENTIAL	M	53.52	1'-6"	3'-2"	4.8
RESIDENTIAL	P	53.53	1'-0"	6'-2"	6.2
RESIDENTIAL	M	53.54	1'-7"	4'-8"	7.3
RESIDENTIAL	M	53.55	2'-10"	3'-5"	9.6
RESIDENTIAL	M	53.56	2'-11"	3'-7"	10.4
RESIDENTIAL	M	53.57	2'-1"	4'-8"	9.8
RESIDENTIAL	M	53.58	1'-9"	4'-8"	8.2
RESIDENTIAL	M	53.59	1'-10"	1'-11"	3.5
SUBTOTAL					

53RD FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	8,518	532	7,986		
TOTAL	8,518	532	7,986		



53RD FLOOR (MFD:83RD FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 2

54TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL	6,644	440	6,204		
TOTAL	6,644	440	6,204		

54TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	54.1	0'-8"	26'-1"	17.4
RESIDENTIAL	M	54.2	3'-5"	3'-8"	12.5
RESIDENTIAL	M	54.3	2'-2"	3'-2"	6.9
RESIDENTIAL	M	54.4	2'-10"	5'-9"	16.1
RESIDENTIAL	M	54.5	2'-3"	2'-10"	6.4
RESIDENTIAL	M	54.6	2'-3"	2'-10"	6.3
RESIDENTIAL	M	54.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	54.8	2'-2"	4'-6"	9.8
RESIDENTIAL	ST	54.9	0'-8"	26'-1"	17.4
RESIDENTIAL	M	54.10	5'-1"	7'-2"	36.2
RESIDENTIAL	M	54.11	3'-7"	3'-11"	13.8
RESIDENTIAL	M	54.12	1'-7"	2'-9"	4.4
RESIDENTIAL	P	54.13	0'-7"	4'-9"	2.6
RESIDENTIAL	P	54.14	1'-6"	6'-1"	9.2
RESIDENTIAL	P	54.15	2'-6"	5'-5"	13.6
RESIDENTIAL	P	54.16	1'-2"	1'-2"	1.3
RESIDENTIAL	P	54.17	0'-8"	5'-1"	3.5
RESIDENTIAL	P	54.18	1'-1"	6'-5"	7.1
RESIDENTIAL	P	54.19	1'-0"	6'-10"	7.0
RESIDENTIAL	P	54.20	1'-1"	2'-4"	2.6
RESIDENTIAL	P	54.21	0'-5"	4'-10"	2.2
RESIDENTIAL	M	54.22	1'-5"	4'-6"	6.3

55TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,644	422	6,222	
TOTAL		6,644	422	6,222	

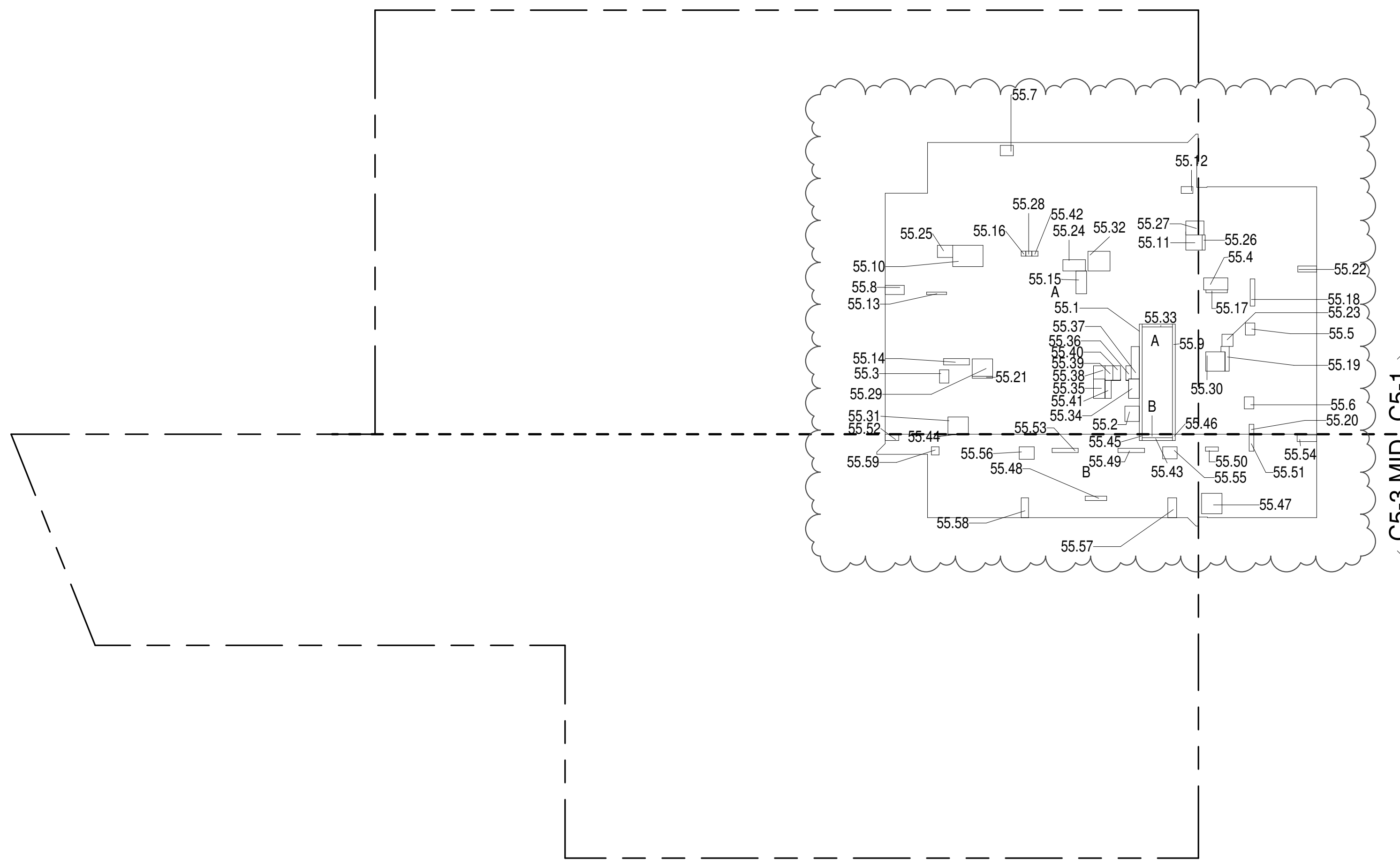
55TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	55.1	0'-8"	26'-1"	17.4
RESIDENTIAL	M	55.2	3'-5"	3'-8"	12.5
RESIDENTIAL	M	55.3	2'-2"	3'-2"	6.9
RESIDENTIAL	M	55.4	2'-10"	5'-9"	16.1
RESIDENTIAL	M	55.5	2'-3"	2'-10"	6.4
RESIDENTIAL	M	55.6	2'-3"	2'-10"	6.3
RESIDENTIAL	M	55.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	55.8	2'-2"	4'-6"	9.8
RESIDENTIAL	ST	55.9	0'-8"	26'-1"	17.4
RESIDENTIAL	M	55.10	5'-1"	7'-2"	36.2
RESIDENTIAL	M	55.11	3'-7"	3'-11"	13.8
RESIDENTIAL	M	55.12	1'-7"	2'-9"	4.4
RESIDENTIAL	P	55.13	0'-7"	4'-9"	2.6
RESIDENTIAL	P	55.14	1'-6"	6'-1"	9.2
RESIDENTIAL	P	55.15	2'-6"	5'-5"	13.6
RESIDENTIAL	P	55.16	1'-2"	1'-2"	1.3
RESIDENTIAL	P	55.17	0'-8"	5'-1"	3.5
RESIDENTIAL	P	55.18	1'-1"	6'-5"	7.1
RESIDENTIAL	P	55.19	1'-0"	6'-10"	7.0
RESIDENTIAL	P	55.20	1'-1"	2'-4"	2.6
RESIDENTIAL	P	55.21	0'-5"	4'-10"	2.2
RESIDENTIAL	M	55.22	1'-5"	4'-6"	6.3
RESIDENTIAL	M	55.23	2'-8"	2'-11"	7.5
RESIDENTIAL	M	55.24	2'-8"	5'-4"	14.0
RESIDENTIAL	M	55.25	2'-11"	3'-8"	10.5
RESIDENTIAL	P	55.26	0'-8"	3'-7"	2.5
RESIDENTIAL	M	55.27	3'-4"	4'-4"	14.3
RESIDENTIAL	M	55.28	1'-2"	1'-5"	1.7
RESIDENTIAL	M	55.29	4'-2"	4'-10"	20.0
RESIDENTIAL	M	55.30	4'-7"	4'-7"	20.8
RESIDENTIAL	M	55.31	4'-1"	4'-10"	19.6
RESIDENTIAL	M	55.32	4'-8"	5'-3"	24.4
RESIDENTIAL	ST	55.33	0'-8"	7'-2"	4.8
RESIDENTIAL	E	55.34	2'-7"	4'-7"	11.6
RESIDENTIAL	P	55.35	2'-9"	4'-7"	12.6
SUBTOTAL					

55TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	55.36	1'-2"	3'-6"	4.1
RESIDENTIAL	P	55.37	1'-11"	7'-8"	14.7
RESIDENTIAL	M	55.38	2'-9"	3'-1"	8.5
RESIDENTIAL	P	55.39	1'-10"	3'-5"	6.3
RESIDENTIAL	M	55.40	1'-10"	3'-5"	6.2
RESIDENTIAL	E	55.41	1'-5"	4'-3"	6.1
RESIDENTIAL	P	55.42	1'-2"	1'-6"	1.7
SUBTOTAL					

55TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,874	110	1,764	
TOTAL		1,874	110	1,764	

55TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	55.43	0'-8"	7'-2"	4.8
RESIDENTIAL	M	55.44	0'-2"	4'-10"	0.7
RESIDENTIAL	ST	55.45	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	55.46	0'-8"	1'-6"	1.0
RESIDENTIAL	M	55.47	4'-10"	4'-10"	23.4
RESIDENTIAL	P	55.48	1'-1"	5'-1"	5.3
RESIDENTIAL	P	55.49	1'-0"	6'-3"	6.3
RESIDENTIAL	P	55.50	1'-0"	3'-1"	3.0
RESIDENTIAL	P	55.51	1'-1"	4'-0"	4.4
RESIDENTIAL	M	55.52	1'-6"	3'-2"	4.8
RESIDENTIAL	P	55.53	1'-0"	6'-2"	6.2
RESIDENTIAL	M	55.54	1'-7"	4'-8"	7.3
RESIDENTIAL	M	55.55	2'-10"	3'-5"	9.6
RESIDENTIAL	M	55.56	2'-11"	3'-7"	10.4
RESIDENTIAL	M	55.57	2'-1"	4'-8"	9.8
RESIDENTIAL	M	55.58	1'-9"	4'-8"	8.2
RESIDENTIAL	M	55.59	1'-10"	1'-11"	3.5
SUBTOTAL					

55TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		8,518	532	7,986	
TOTAL		8,518	532	7,986	



55TH FLOOR (MFD:85TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 1

56TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,644	422	6,222	
TOTAL		6,644	422	6,222	

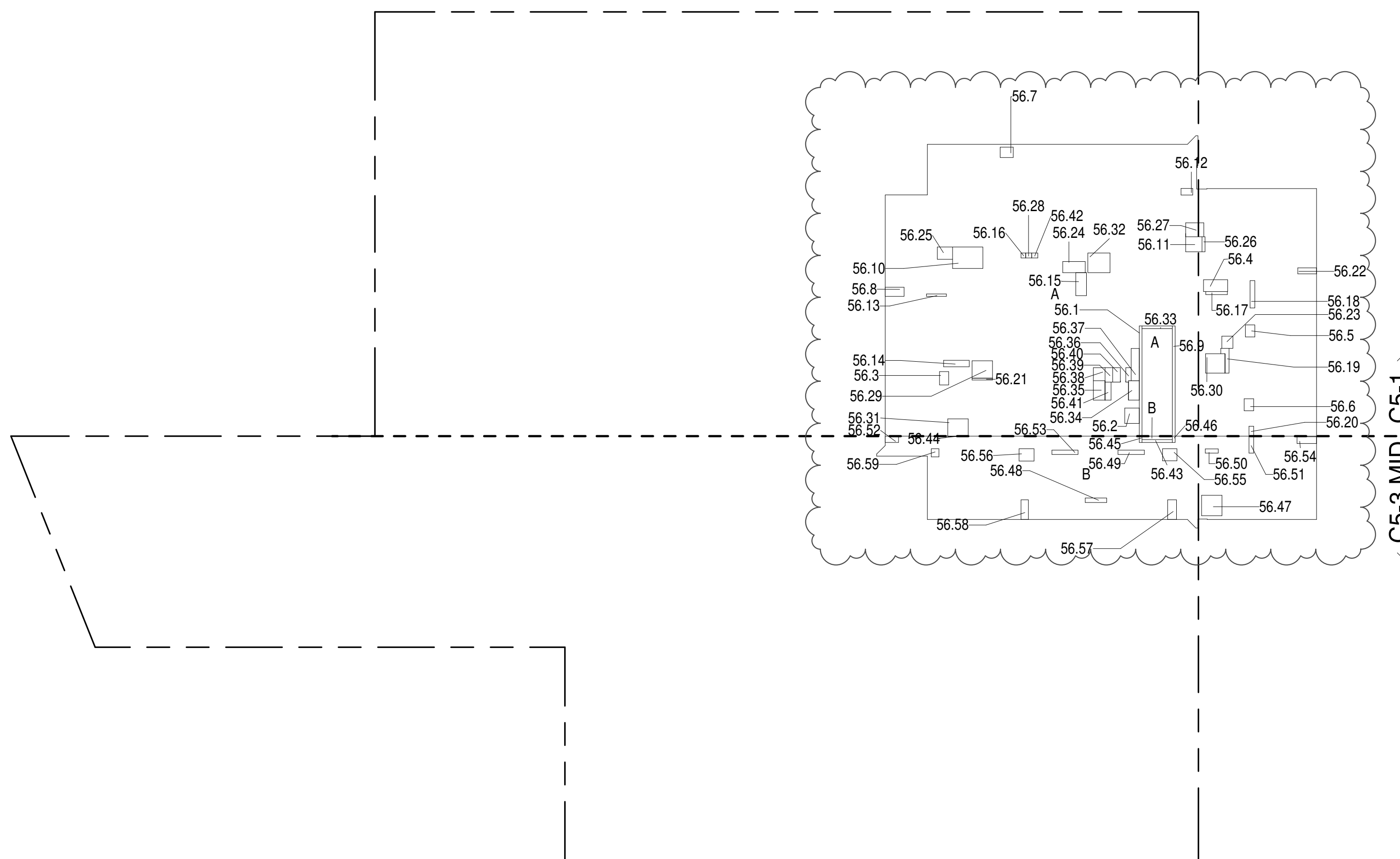
56TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	56.1	0'-8"	26'-1"	17.4
RESIDENTIAL	M	56.2	3'-5"	3'-8"	12.5
RESIDENTIAL	M	56.3	2'-2"	3'-2"	6.9
RESIDENTIAL	M	56.4	2'-10"	5'-9"	16.1
RESIDENTIAL	M	56.5	2'-3"	2'-10"	6.4
RESIDENTIAL	M	56.6	2'-3"	2'-10"	6.3
RESIDENTIAL	M	56.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	56.8	2'-2"	4'-6"	9.8
RESIDENTIAL	ST	56.9	0'-8"	26'-1"	17.4
RESIDENTIAL	M	56.10	5'-1"	7'-2"	36.2
RESIDENTIAL	M	56.11	3'-7"	3'-11"	13.8
RESIDENTIAL	M	56.12	1'-7"	2'-9"	4.4
RESIDENTIAL	P	56.13	0'-7"	4'-9"	2.6
RESIDENTIAL	P	56.14	1'-6"	6'-1"	9.2
RESIDENTIAL	P	56.15	2'-6"	5'-5"	13.6
RESIDENTIAL	P	56.16	1'-2"	1'-2"	1.3
RESIDENTIAL	P	56.17	0'-8"	5'-1"	3.5
RESIDENTIAL	P	56.18	1'-1"	6'-5"	7.1
RESIDENTIAL	P	56.19	1'-0"	6'-10"	7.0
RESIDENTIAL	P	56.20	1'-1"	2'-4"	2.6
RESIDENTIAL	P	56.21	0'-5"	4'-10"	2.2
RESIDENTIAL	M	56.22	1'-5"	4'-6"	6.3
RESIDENTIAL	M	56.23	2'-8"	2'-11"	7.5
RESIDENTIAL	M	56.24	2'-8"	5'-4"	14.0
RESIDENTIAL	M	56.25	2'-11"	3'-8"	10.5
RESIDENTIAL	P	56.26	0'-8"	3'-7"	2.5
RESIDENTIAL	M	56.27	3'-4"	4'-4"	14.3
RESIDENTIAL	M	56.28	1'-2"	1'-5"	1.7
RESIDENTIAL	M	56.29	4'-2"	4'-10"	20.0
RESIDENTIAL	M	56.30	4'-7"	4'-7"	20.8
RESIDENTIAL	M	56.31	4'-1"	4'-10"	19.6
RESIDENTIAL	M	56.32	4'-8"	5'-3"	24.4
RESIDENTIAL	ST	56.33	0'-8"	7'-2"	4.8
RESIDENTIAL	E	56.34	2'-7"	4'-7"	11.6
RESIDENTIAL	P	56.35	2'-9"	4'-7"	12.6
SUBTOTAL					

56TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	56.36	1'-2"	3'-6"	4.1
RESIDENTIAL	P	56.37	1'-11"	7'-8"	14.7
RESIDENTIAL	M	56.38	2'-9"	3'-1"	8.5
RESIDENTIAL	P	56.39	1'-10"	3'-5"	6.3
RESIDENTIAL	M	56.40	1'-10"	3'-5"	6.2
RESIDENTIAL	E	56.41	1'-5"	4'-3"	6.1
RESIDENTIAL	P	56.42	1'-2"	1'-6"	1.7
SUBTOTAL					

56TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,874	110	1,764	
TOTAL		1,874	110	1,764	

56TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	56.43	0'-8"	7'-2"	4.8
RESIDENTIAL	M	56.44	0'-2"	4'-10"	0.7
RESIDENTIAL	ST	56.45	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	56.46	0'-8"	1'-6"	1.0
RESIDENTIAL	M	56.47	4'-10"	4'-10"	23.4
RESIDENTIAL	P	56.48	1'-1"	5'-1"	5.3
RESIDENTIAL	P	56.49	1'-0"	6'-3"	6.3
RESIDENTIAL	P	56.50	1'-0"	3'-1"	3.0
RESIDENTIAL	P	56.51	1'-1"	4'-0"	4.4
RESIDENTIAL	M	56.52	1'-6"	3'-2"	4.8
RESIDENTIAL	P	56.53	1'-0"	6'-2"	6.2
RESIDENTIAL	M	56.54	1'-7"	4'-8"	7.3
RESIDENTIAL	M	56.55	2'-10"	3'-5"	9.6
RESIDENTIAL	M	56.56	2'-11"	3'-7"	10.4
RESIDENTIAL	M	56.57	2'-1"	4'-8"	9.8
RESIDENTIAL	M	56.58	1'-9"	4'-8"	8.2
RESIDENTIAL	M	56.59	1'-10"	1'-11"	3.5
SUBTOTAL					

56TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		8,518	532	7,986	
TOTAL		8,518	532	7,986	

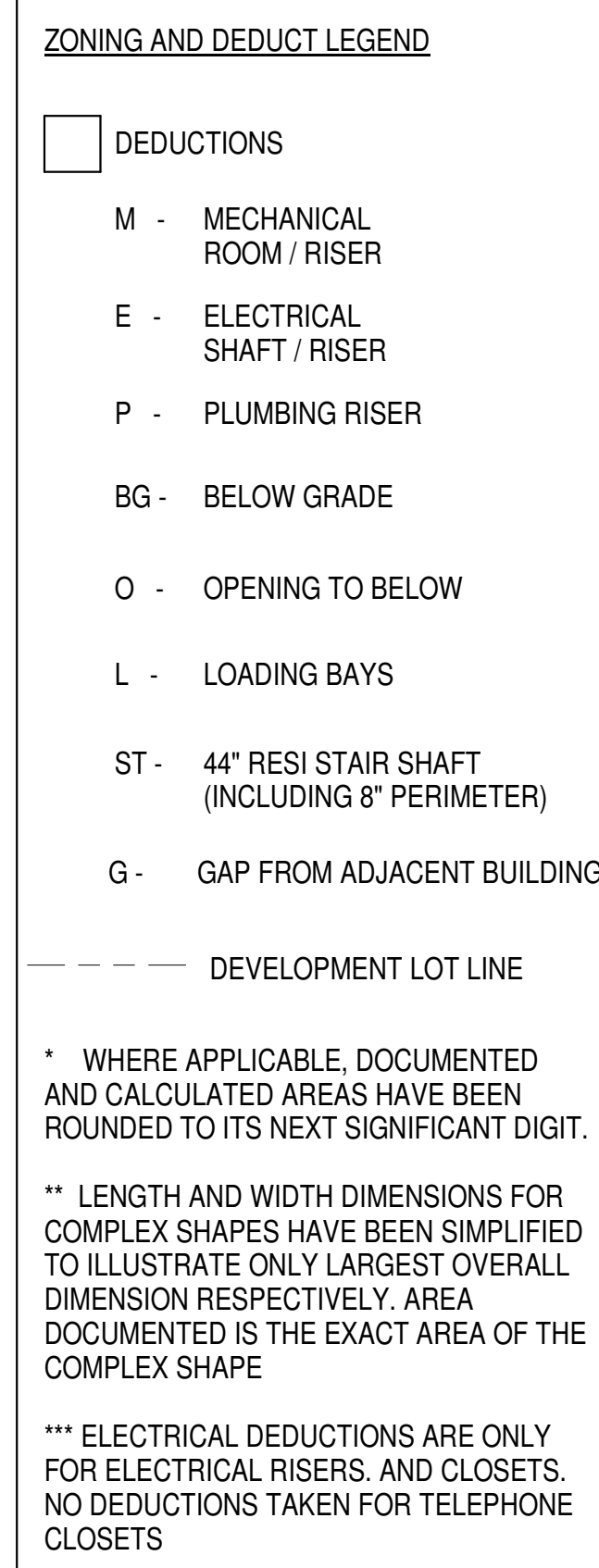


56TH FLOOR (MFD:86TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 2

57TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,644	440	6,204	
TOTAL		6,644	440	6,204	

57TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	57.1	0'-8"	26'-1"	17.4
RESIDENTIAL	M	57.2	3'-5"	3'-8"	12.5
RESIDENTIAL	M	57.3	2'-2"	3'-2"	6.9
RESIDENTIAL	M	57.4	2'-10"	5'-9"	16.1
RESIDENTIAL	M	57.5	2'-3"	2'-10"	6.4
RESIDENTIAL	M	57.6	2'-3"	2'-10"	6.3
RESIDENTIAL	M	57.7	2'-6"	3'-1"	7.6
RESIDENTIAL	M	57.8	2'-2"	4'-6"	9.8
RESIDENTIAL	ST	57.9	0'-8"	26'-1"	17.4
RESIDENTIAL	M	57.10	5'-1"	7'-2"	36.2
RESIDENTIAL	M	57.11	3'-7"	3'-11"	13.8
RESIDENTIAL	M	57.12	1'-7"	2'-9"	4.4
RESIDENTIAL	P	57.13	0'-7"	4'-9"	2.6
RESIDENTIAL	P	57.14	1'-6"	6'-1"	9.2
RESIDENTIAL	P	57.15	2'-6"	5'-5"	13.6
RESIDENTIAL	P	57.16	1'-2"	1'-2"	1.3
RESIDENTIAL	P	57.17	0'-8"	5'-1"	3.5
RESIDENTIAL	P	57.18	1'-1"	6'-5"	7.1
RESIDENTIAL	P	57.19	1'-0"	6'-10"	7.0
RESIDENTIAL	P	57.20	1'-1"	2'-4"	2.6
RESIDENTIAL	P	57.21	0'-5"	4'-10"	2.2
RESIDENTIAL	M	57.22	1'-5"	4'-6"	6.3
RESIDENTIAL	M	57.23	2'-8"	2'-11"	7.5
RESIDENTIAL	M	57.24	2'-8"	5'-4"	14.0
RESIDENTIAL	M	57.25	2'-11"	3'-8"	10.5
RESIDENTIAL	P	57.26	0'-8"	3'-7"	2.5
RESIDENTIAL	M	57.27	3'-4"	4'-4"	14.3

61ST FLOOR AREA CALCULATIONS			
ZONE C5-1 AND C5-3 MID			
USE	* GFA	* DEDUCTIONS	* ZFA (SF)
RESIDENTIAL	8,518	532	7,986
TOTAL	8,518	532	7,986


$$\frac{3}{64}'' = 1'-0''$$

62ND FLOOR AREA CALCULATIONS			
ZONE C5-1 AND C5-3 MID			
USE	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	8,518	532	7,986
TOTAL	8,518	532	7,986

$$\frac{3/64''}{2} = 1'-0''$$

63RD FLOOR AREA CALCULATIONS			
ZONE C5-1 AND C5-3 MID			
USE	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	8,518	550	7,968
TOTAL	8,518	550	7,968

 $3/64'' = 1'-0''$

No.	DESCRIPTION:	DATE
1	D.O.B. SUBMISSION	05
2	D.O.B. SUBMISSION	10

DOB SUBMISSION

D.O.B. SUBMISSION

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CONSULTANT



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TI

ZONING FLOOR AREA PLAN AND DEDUCTIONS

61ST, 62ND, 63RD FLOOR

SEAL & SIGNATURE



No. 028881
STATE OF NEW YORK

DOB EMPLOYEE STA

100

100

100

100

100

69TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		6,285	319	5,966
TOTAL		6,285	319	5,966

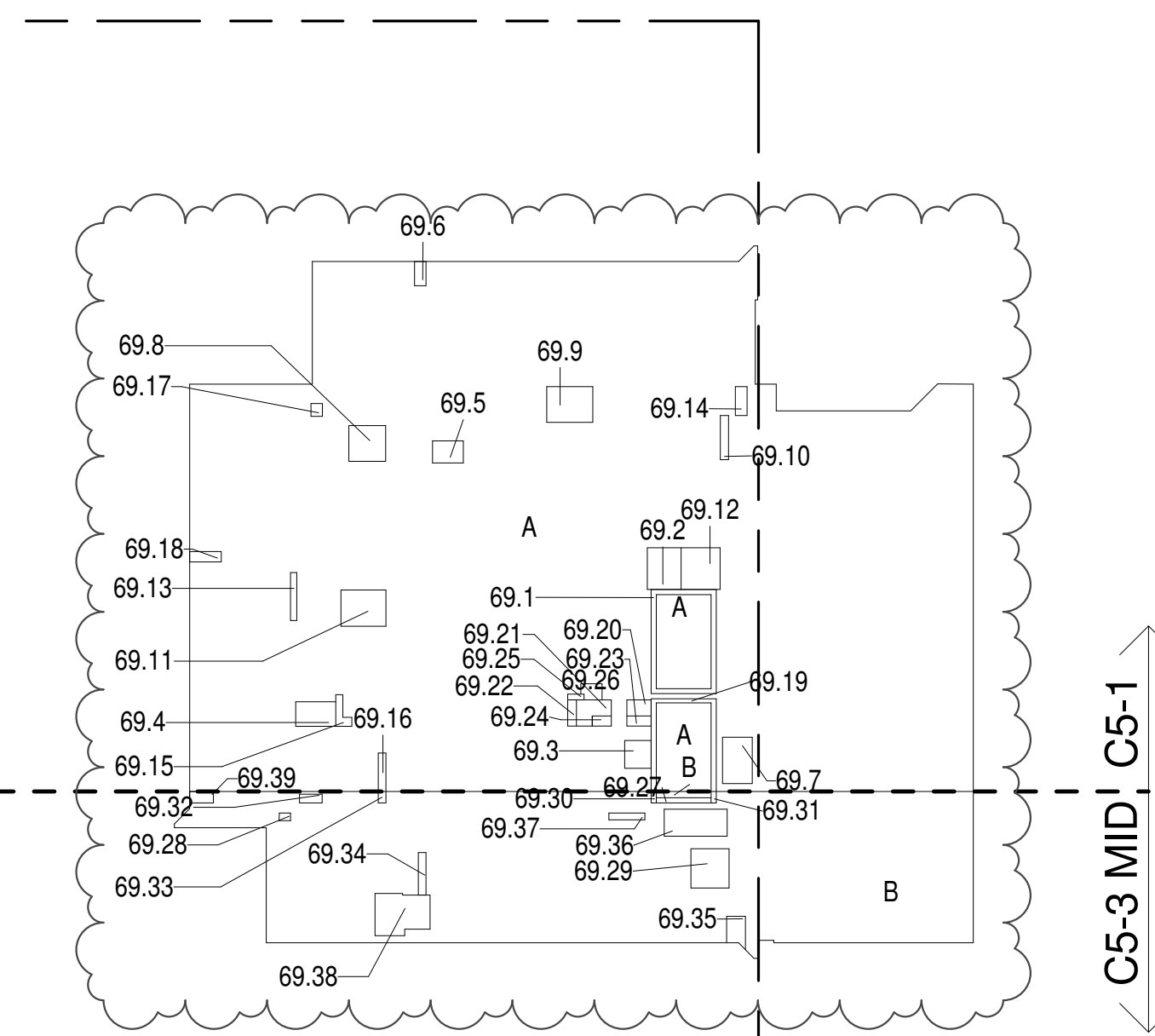
69TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA ST
RESIDENTIAL	P	69.1	1'-4"	20'-9"	27.7
RESIDENTIAL	P	69.2	4'-5"	5'-5"	24.0
RESIDENTIAL	M	69.3	3'-5"	3'-8"	12.5
RESIDENTIAL	M	69.4	3'-3"	5'-3"	16.8
RESIDENTIAL	M	69.5	2'-11"	4'-0"	11.6
RESIDENTIAL	M	69.6	1'-6"	3'-2"	4.8
RESIDENTIAL	M	69.7	3'-10"	6'-1"	23.3
RESIDENTIAL	M	69.8	4'-8"	4'-10"	22.5
RESIDENTIAL	M	69.9	4'-8"	6'-0"	28.0
RESIDENTIAL	P	69.10	1'-1"	5'-9"	6.1
RESIDENTIAL	M	69.11	4'-9"	5'-10"	27.7
RESIDENTIAL	M	69.12	5'-1"	5'-5"	27.6
RESIDENTIAL	P	69.13	0'-10"	6'-3"	5.2
RESIDENTIAL	M	69.14	1'-6"	3'-9"	5.6
RESIDENTIAL	P	69.15	1'-0"	5'-2"	5.1
RESIDENTIAL	P	69.16	1'-0"	5'-0"	5.0
RESIDENTIAL	M	69.17	1'-6"	1'-5"	2.4
RESIDENTIAL	M	69.18	1'-4"	4'-1"	5.5
RESIDENTIAL	ST	69.19	0'-8"	31'-6"	20.1
RESIDENTIAL	M	69.20	2'-1"	3'-2"	6.7
RESIDENTIAL	M	69.21	2'-1"	5'-11"	12.4
RESIDENTIAL	P	69.22	1'-1"	3'-5"	3.8
RESIDENTIAL	E	69.23	1'-4"	3'-2"	4.2
RESIDENTIAL	E	69.24	1'-4"	2'-6"	3.3
RESIDENTIAL	E	69.25	0'-9"	2'-2"	1.6
RESIDENTIAL	E	69.26	1'-9"	3'-1"	5.5
SUBTOTAL					318.9

69TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,873	127	1,746
TOTAL		1,873	127	1,746

69TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	69.27	0'-8"	7'-2"	4.8
RESIDENTIAL	M	69.28	1'-0"	1'-6"	1.5
RESIDENTIAL	M	69.29	5'-0"	5'-1"	25.1
RESIDENTIAL	ST	69.30	0'-8"	1'-6"	1.1
RESIDENTIAL	ST	69.31	0'-8"	1'-6"	1.1
RESIDENTIAL	P	69.32	1'-1"	2'-11"	3.3
RESIDENTIAL	P	69.33	1'-0"	1'-6"	1.5
RESIDENTIAL	P	69.34	1'-0"	5'-6"	5.0
RESIDENTIAL	M	69.35	1'-11"	4'-8"	9.0
RESIDENTIAL	M	69.36	3'-6"	8'-3"	28.9
RESIDENTIAL	P	69.37	0'-11"	4'-8"	4.1
RESIDENTIAL	M	69.38	4'-3"	8'-5"	35.9
RESIDENTIAL	M	69.39	1'-6"	3'-1"	4.6
SUBTOTAL					126

69TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		8,158	445	7,712
TOTAL		8,158	445	7,712

69TH FLOOR DEDUCTIONS					
ZONE C5-1 AND C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	
RESIDENTIAL	ST	69.27	0'-8"	7'-2"	4.8
RESIDENTIAL	M	69.28	1'-0"	1'-6"	1.5
RESIDENTIAL	M	69.29	5'-0"	5'-1"	25.4
RESIDENTIAL	ST	69.30	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	69.31	0'-8"	1'-6"	1.0
RESIDENTIAL	P	69.32	1'-1"	2'-11"	3.3
RESIDENTIAL	P	69.33	1'-0"	1'-6"	1.5
RESIDENTIAL	P	69.34	1'-0"	5'-0"	5.0
RESIDENTIAL	M	69.35	1'-11"	4'-8"	9.0
RESIDENTIAL	M	69.36	3'-6"	8'-3"	28.9
RESIDENTIAL	P	69.37	0'-11"	4'-8"	4.1
RESIDENTIAL	M	69.38	4'-3"	8'-5"	35.9
RESIDENTIAL	M	69.39	1'-6"	3'-1"	4.6
SUBTOTAL				126.6	

69TH FLOOR (MFD:107TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' x 1'-0"

70TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		6,284	2,032	4,252
TOTAL		6,284	2,032	4,252

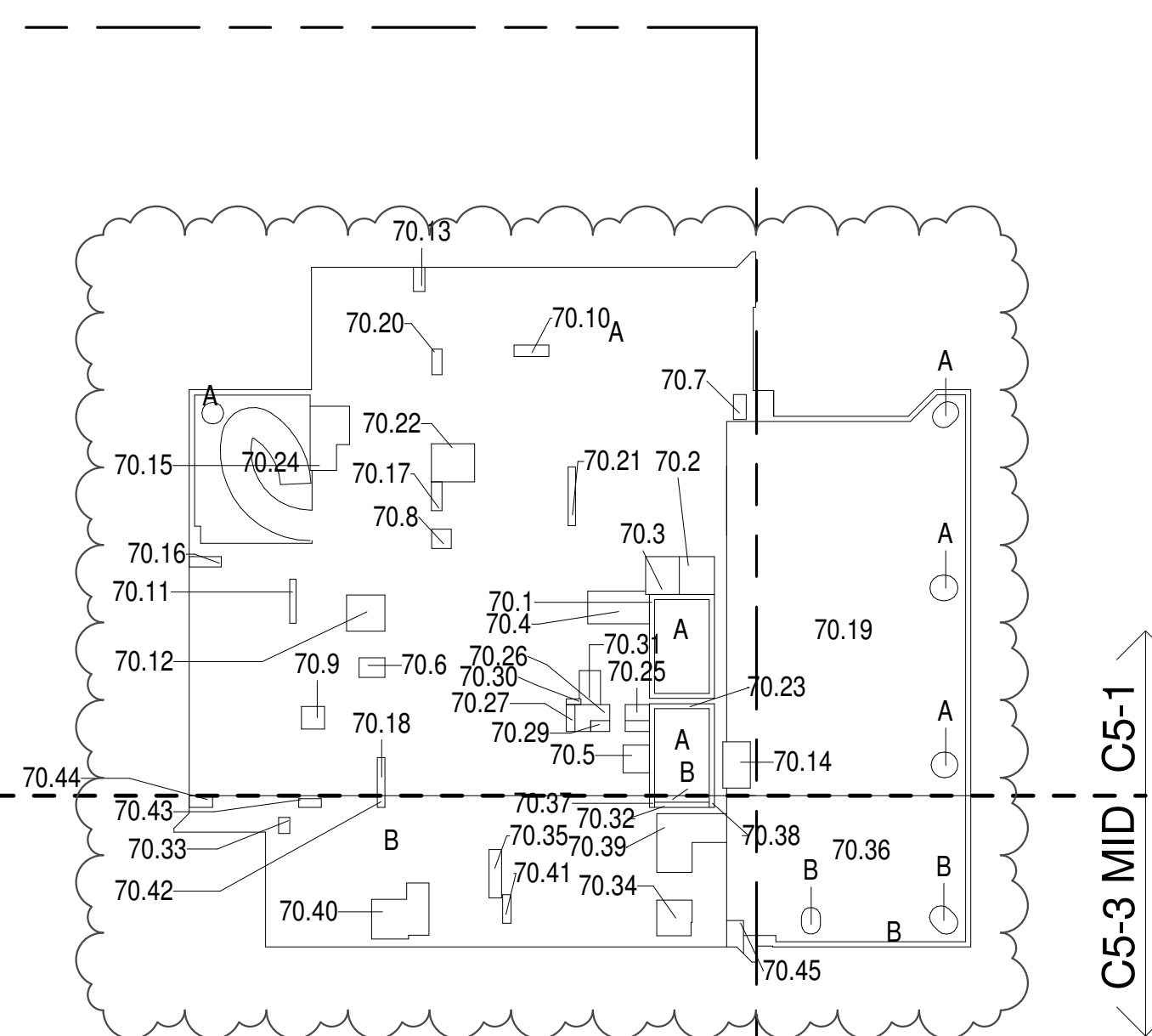
70TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA SF
RESIDENTIAL	ST	70.1	1'-4"	20'-9"	27.7
RESIDENTIAL	M	70.2	4'-7"	4'-11"	22.6
RESIDENTIAL	P	70.3	4'-5"	4'-11"	21.8
RESIDENTIAL	M	70.4	4'-3"	8'-1"	34.2
RESIDENTIAL	M	70.5	3'-5"	3'-8"	12.5
RESIDENTIAL	M	70.6	2'-7"	3'-4"	8.6
RESIDENTIAL	M	70.7	1'-8"	3'-3"	5.4
RESIDENTIAL	M	70.8	2'-6"	2'-7"	6.5
RESIDENTIAL	M	70.9	2'-11"	3'-0"	8.9
RESIDENTIAL	P	70.10	1'-6"	4'-7"	6.8
RESIDENTIAL	P	70.11	0'-10"	5'-9"	4.8
RESIDENTIAL	M	70.12	4'-9"	5'-0"	23.8
RESIDENTIAL	M	70.13	1'-6"	3'-2"	4.8
RESIDENTIAL	M	70.14	3'-7"	6'-1"	21.7
RESIDENTIAL	M	70.15	3'-10"	9'-8"	37.3
RESIDENTIAL	M	70.16	1'-4"	4'-2"	5.6
RESIDENTIAL	P	70.17	1'-5"	3'-9"	5.2
RESIDENTIAL	P	70.18	1'-0"	5'-0"	4.9
RESIDENTIAL	O	70.19	24'-6"	61'-2"	1,500.8
RESIDENTIAL	P	70.20	1'-3"	3'-4"	4.3
RESIDENTIAL	P	70.21	0'-11"	7'-8"	7.3
RESIDENTIAL	M	70.22	5'-0"	5'-8"	28.1
RESIDENTIAL	ST	70.23	0'-8"	31'-3"	20.8
RESIDENTIAL	O	70.24	2'-7"	62'-10"	163.0
RESIDENTIAL	M	70.25	2'-1"	3'-2"	6.7
RESIDENTIAL	M	70.26	2'-1"	6'-0"	12.6
RESIDENTIAL	P	70.27	1'-1"	3'-7"	3.9
RESIDENTIAL	E	70.28	1'-5"	2'-2"	4.6
RESIDENTIAL	E	70.29	1'-5"	2'-6"	3.6
RESIDENTIAL	E	70.30	0'-9"	1'-11"	1.4
RESIDENTIAL	E	70.31	2'-8"	4'-6"	12.1
SUBTOTAL					2,032.3

70TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,874	728	1,145
TOTAL		1,874	728	1,145

70TH FLOOR DEDUCTIONS						
ZONE C5-3 MID						
RESIDENTIAL	USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	70.32	0'-8"	7'-2"		4.8
RESIDENTIAL	M	70.33	1'-6"	2'-1"		3.0
RESIDENTIAL	M	70.34	4'-2"	5'-2"		21.4
RESIDENTIAL	P	70.35	1'-7"	6'-4"		10.2
RESIDENTIAL	O	70.36	17'-2"	33'-2"		569.0
RESIDENTIAL	ST	70.37	0'-8"	1'-6"		1.0
RESIDENTIAL	ST	70.38	0'-8"	1'-6"		1.0
RESIDENTIAL	M	70.39	4'-2"	12'-8"		52.9
RESIDENTIAL	M	70.40	4'-1"	10'-9"		43.5
RESIDENTIAL	P	70.41	1'-1"	3'-8"		4.1
RESIDENTIAL	P	70.42	1'-0"	1'-6"		1.5
RESIDENTIAL	P	70.43	1'-1"	2'-11"		3.3
RESIDENTIAL	M	70.44	1'-6"	3'-1"		4.6
RESIDENTIAL	M	70.45	1'-9"	4'-6"		8.1
SUBTOTAL						728.1

70TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		8,158	2,760	5,397
TOTAL		8,158	2,760	5,397

70TH FLOOR DEDUCTIONS					
ZONE C5-1 AND C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	
RESIDENTIAL	M	68.1	3'-11"	9'-8"	37.5
RESIDENTIAL	M	68.2	1'-8"	3'-4"	5.5
RESIDENTIAL	M	68.3	1'-1"	4'-0"	4.3
RESIDENTIAL	M	68.4	3'-5"	3'-8"	12.5
RESIDENTIAL	M	68.5	3'-8"	4'-10"	17.7
RESIDENTIAL	M	68.6	1'-3"	2'-1"	2.5
RESIDENTIAL	P	68.7	1'-3"	3'-3"	4.1
RESIDENTIAL	M	68.8	0'-9"	4'-11"	3.1
RESIDENTIAL	M	68.9	4'-10"	5'-5"	26.2
RESIDENTIAL	M	68.10	3'-11"	5'-7"	22.0
RESIDENTIAL	M	68.11	2'-1"	3'-2"	6.7
RESIDENTIAL	M	68.12	2'-0"	6'-1"	11.9
RESIDENTIAL	M	68.13	1'-3"	1'-10"	2.3
RESIDENTIAL	P	68.14	4'-8"	5'-5"	25.2
RESIDENTIAL	P	68.15	1'-1"	4'-5"	4.7
RESIDENTIAL	E	68.16	1'-4"	3'-2"	4.2
RESIDENTIAL	E	68.17	2'-3"	7'-3"	16.4
RESIDENTIAL	ST	68.18	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	68.19	0'-8"	13'-7"	9.1
RESIDENTIAL	ST	68.20	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	68.21	0'-8"	13'-7"	9.1
RESIDENTIAL	ST	68.22	0'-8"	12'-1"	8.1
RESIDENTIAL	ST	68.23	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	68.24	0'-8"	12'-1"	8.1
RESIDENTIAL	P	68.25	1'-1"	1'-10"	2.0
RESIDENTIAL	P	68.26	0'-9"	4'-2"	2.9
RESIDENTIAL	P	68.27	0'-6"	5'-5"	2.6
RESIDENTIAL	P	68.28	0'-6"	1'-9"	0.9
RESIDENTIAL	P	68.29	0'-11"	1'-4"	1.2
RESIDENTIAL	P	68.30	0'-9"	5'-5"	3.8
RESIDENTIAL	P	68.31	1'-0"	3'-2"	3.2
RESIDENTIAL	P	68.32	0'-10"	4'-8"	4.0
RESIDENTIAL	P	68.33	1'-0"	1'-11"	1.9
SUBTOTAL				277.9	

70TH FLOOR (MFD:108TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' x 1'-0"

67TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	67.1	6,553	6,553	0
TOTAL		6,553	6,553	0

67TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL	67.2	1,823	1,823	0
TOTAL		1,823	1,823	0

67TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		8,377	8,377	0
TOTAL		8,377	8,377	0

67TH FLOOR DEDUCTIONS				
ZONE C5-1				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	67.1	57'-3"	114'-2"
SUBTOTAL				6,553.4

67TH FLOOR DEDUCTIONS				
ZONE C5-3 MID				
USE	TYPE	No.	LENGTH	WIDTH
RESIDENTIAL	M	67.2	17'-1"	106'-7"
SUBTOTAL				1,823.2

67TH FLOOR MEZ AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		6,595	6,595	0
TOTAL		6,595	6,595	0

67TH FLOOR MEZ AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		8,361	8,361	0
TOTAL		8,361	8,361	0

67TH FLOOR MEZ DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	
RESIDENTIAL	M	67M.1	33'-2"	172'-0"	5,702.3
RESIDENTIAL	O	67M.2	21'-7"	39'-6"	851.1
RESIDENTIAL	O	67M.6	1'-8"	27'-6"	41.2
SUBTOTAL				6,594.6	

67TH FLOOR MEZ DEDUCTIONS

71ST FLOOR AREA CALCULATIONS					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	360	5,968	
TOTAL		6,329	360	5,968	

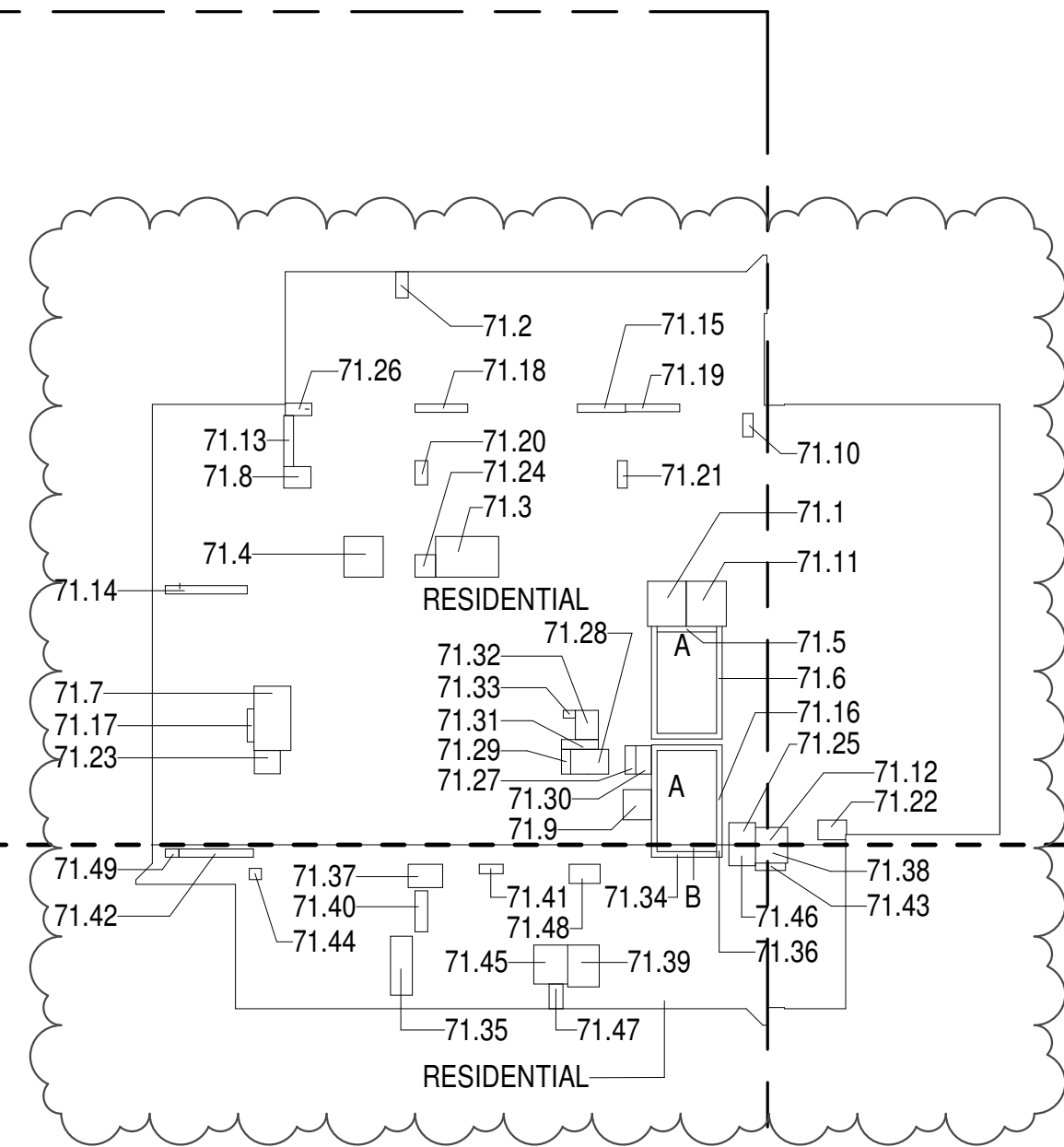
71ST FLOOR AREA CALCULATIONS					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	133	1,374	
TOTAL		1,507	133	1,374	

71ST FLOOR AREA CALCULATIONS					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	

71ST FLOOR DEDUCTIONS					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	71.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	71.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	71.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	71.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	71.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	71.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	71.7	4'-5"	7'-9"	34.6
RESIDENTIAL	M	71.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	71.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	71.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	71.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	71.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	71.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	71.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	71.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	71.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	71.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	71.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	71.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	71.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	71.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	71.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	71.23	2'-10"	3'-1"	8.7
RESIDENTIAL	M	71.24	2'-6"	2'-9"	6.7
RESIDENTIAL	M	71.25	2'-8"	3'-2"	8.5
RESIDENTIAL	M	71.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	71.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	71.28	3'-0"	4'-7"	13.6
RESIDENTIAL	P	71.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	71.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	71.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	71.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	71.33	0'-11"	1'-6"	1.3
SUBTOTAL					360.2

71ST FLOOR DEDUCTIONS					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	71.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	71.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	71.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	71.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	71.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	71.39	3'-10"	5'-1"	19.3
RESIDENTIAL	P	71.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	71.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	71.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	71.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	71.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	71.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	71.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	71.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	71.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	71.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.5

71ST FLOOR DEDUCTIONS					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	71.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	71.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	71.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	71.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	71.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	71.39	3'-10"	5'-1"	19.3
RESIDENTIAL	P	71.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	71.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	71.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	71.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	71.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	71.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	71.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	71.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	71.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	71.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.5



- ZONING AND DEDUCT LEGEND**
- DEDUCTIONS
 - M - MECHANICAL ROOM / RISER
 - E - ELECTRICAL SHAFT / RISER
 - P - PLUMBING RISER
 - BG - BELOW GRADE
 - O - OPENING TO BELOW
 - L - LOADING BAYS
 - ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)
 - G - GAP FROM ADJACENT BUILDING
- DEVELOPMENT LOT LINE
- * WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.
- ** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE
- *** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

71ST FLOOR (MFD:109TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 1

72ND FLOOR AREA CALCULATIONS					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

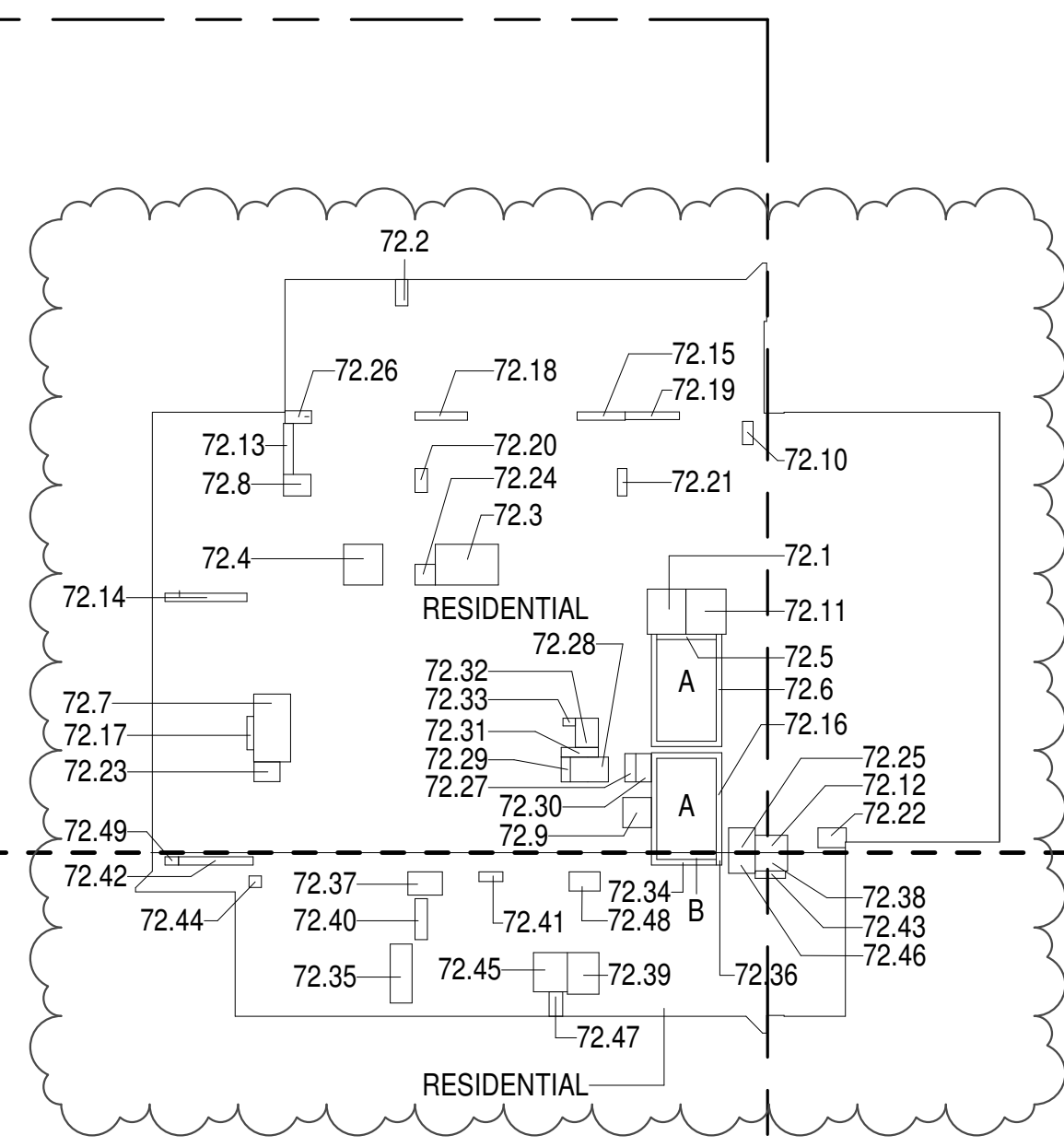
72ND FLOOR AREA CALCULATIONS					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

72ND FLOOR AREA CALCULATIONS					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	

72ND FLOOR DEDUCTIONS					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	72.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	72.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	72.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	72.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	72.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	72.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	72.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	72.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	72.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	72.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	72.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	72.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	72.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	72.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	72.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	72.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	72.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	72.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	72.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	72.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	72.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	72.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	72.23	2'-10"	3'-1"	8.7
RESIDENTIAL	M	72.24	2'-6"	2'-9"	6.7
RESIDENTIAL	M	72.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	72.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	72.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	72.28	3'-0"	4'-7"	13.6
RESIDENTIAL	P	72.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	72.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	72.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	72.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	72.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

72ND FLOOR DEDUCTIONS					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	72.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	72.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	72.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	72.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	72.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	72.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	72.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	72.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	72.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	72.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	72.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	72.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	72.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	72.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	72.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	72.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

72ND FLOOR DEDUCTIONS					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	72.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	72.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	72.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	72.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	72.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	72.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	72.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	72.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	72.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	72.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	72.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	72.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	72.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	72.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	72.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	72.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2



72ND FLOOR (MFD:110TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 2

73RD FLOOR AREA CALCULATIONS					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

73RD FLOOR AREA CALCULATIONS					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

73RD FLOOR AREA CALCULATIONS					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	

73RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	73.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	73.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	73.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	73.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	73.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	73.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	73.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	73.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	73.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	73.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	73.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	73.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	73.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	73.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	73.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	73.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	73.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	73.18	1'-11"	6'-4"	6.3
RESIDENTIAL	P	73.19	0'-10"	6'-7"	6.2
RESIDENTIAL	P	73.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	73.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	73.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	73.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	73.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	73.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	73.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	73.27	1'-7"	5'-5"	8.4
RESIDENTIAL	M	73.28	3'-0"	4'-7"	13.6
RESIDENTIAL	P	73.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	73.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	73.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	73.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	73.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

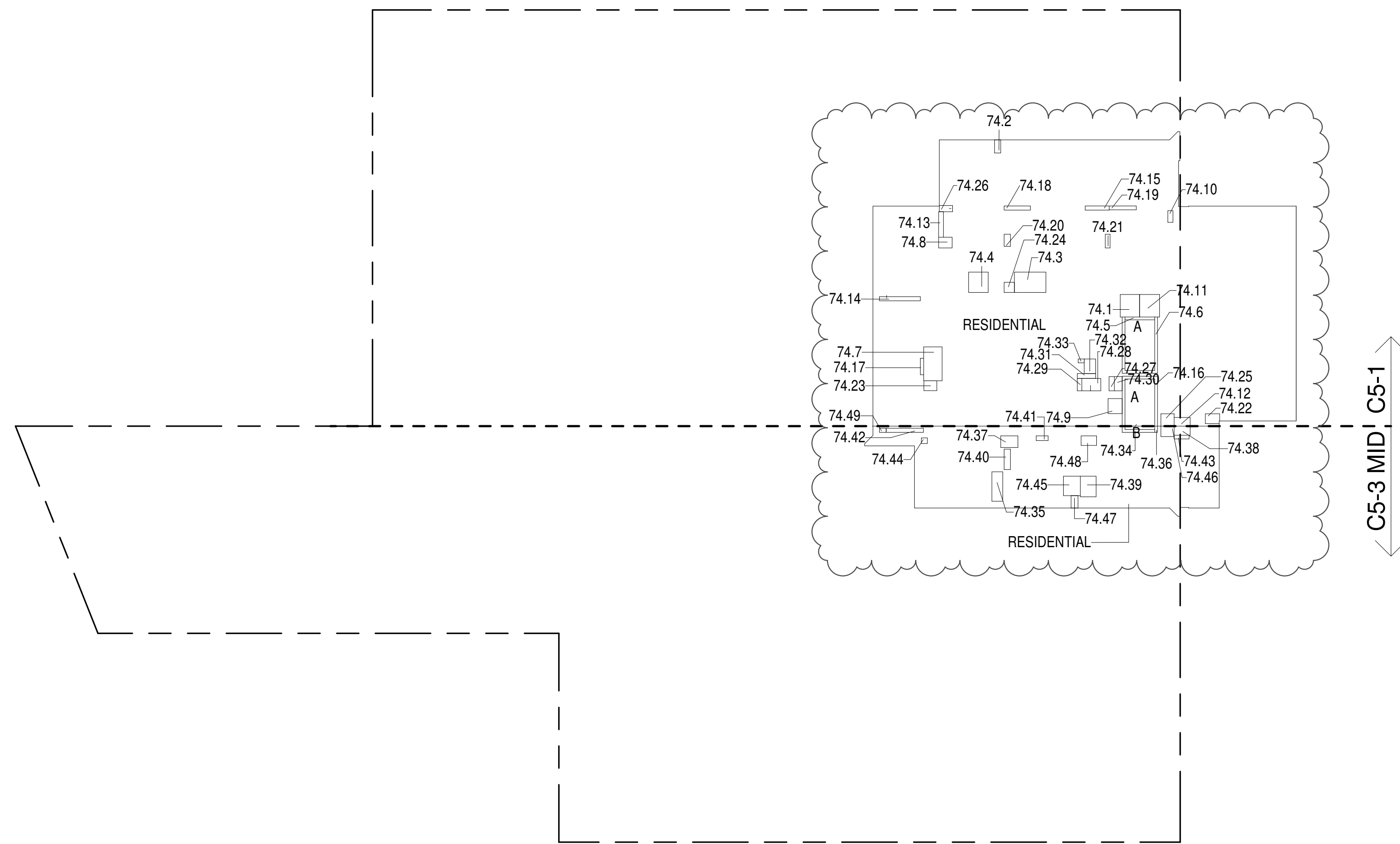
74TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

74TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	74.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	74.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	74.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	74.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	74.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	74.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	74.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	74.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	74.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	74.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	74.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	74.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	74.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	74.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	74.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	74.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	74.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	74.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	74.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	74.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	74.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	74.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	74.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	74.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	74.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	74.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	74.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	74.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	74.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	74.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	74.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	74.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	74.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

74TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

74TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	74.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	74.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	74.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	74.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	74.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	74.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	74.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	74.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	74.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	74.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	74.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	74.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	74.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	74.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	74.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	74.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

74TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



- ZONING AND DEDUCT LEGEND**
- ☐ DEDUCTIONS
- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
- P - PLUMBING RISER
- BG - BELOW GRADE
- O - OPENING TO BELOW
- L - LOADING BAYS
- ST - 44" RESI STAIR SHAFT (INCLUDING 8" PERIMETER)
- G - GAP FROM ADJACENT BUILDING
- DEVELOPMENT LOT LINE
- * WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.
- ** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE
- *** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

74TH FLOOR (MFD:112TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 1

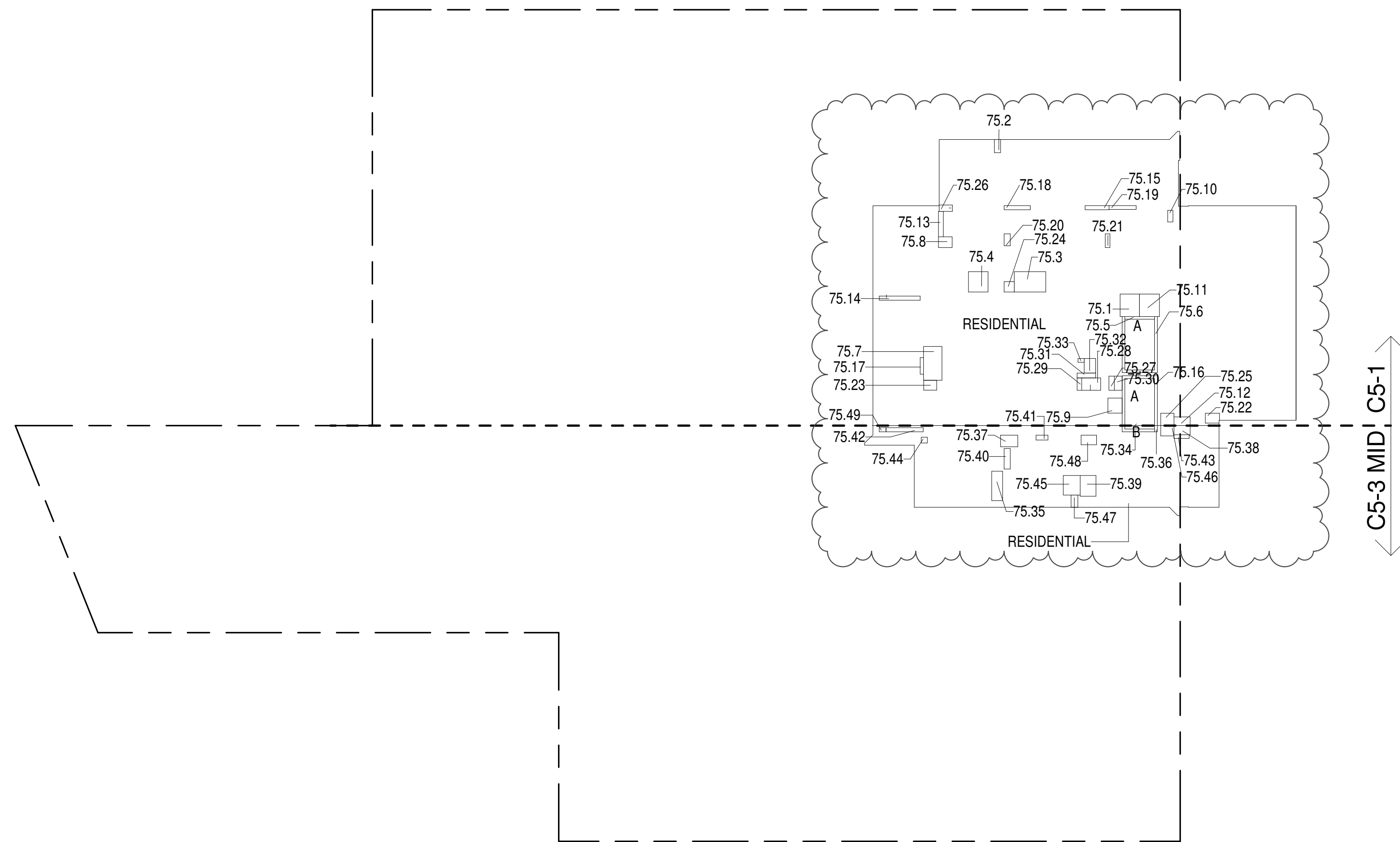
75TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

75TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	75.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	75.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	75.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	75.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	75.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	75.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	75.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	75.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	75.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	75.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	75.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	75.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	75.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	75.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	75.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	75.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	75.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	75.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	75.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	75.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	75.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	75.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	75.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	75.24	2'-6"	2'-5"	6.1
RESIDENTIAL	M	75.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	75.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	75.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	75.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	75.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	75.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	75.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	75.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	75.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

75TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

75TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	75.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	75.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	75.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	75.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	75.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	75.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	75.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	75.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	75.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	75.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	75.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	75.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	75.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	75.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	75.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	75.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

75TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



75TH FLOOR (MFD:113TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 2

76TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

76TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	76.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	76.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	76.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	76.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	76.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	76.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	76.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	76.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	76.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	76.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	76.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	76.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	76.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	76.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	76.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	76.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	76.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	76.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	76.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	76.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	76.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	76.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	76.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	76.24	2'-6"	2'-5"	6.1
RESIDENTIAL	M	76.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	76.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	76.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	76.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	76.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	76.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	76.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	76.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	76.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

76TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*JTA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

76TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	76.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	76.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	76.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	76.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	76.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	76.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	76.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	76.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	76.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	76.43	0'-11"	3'-8"	3.2

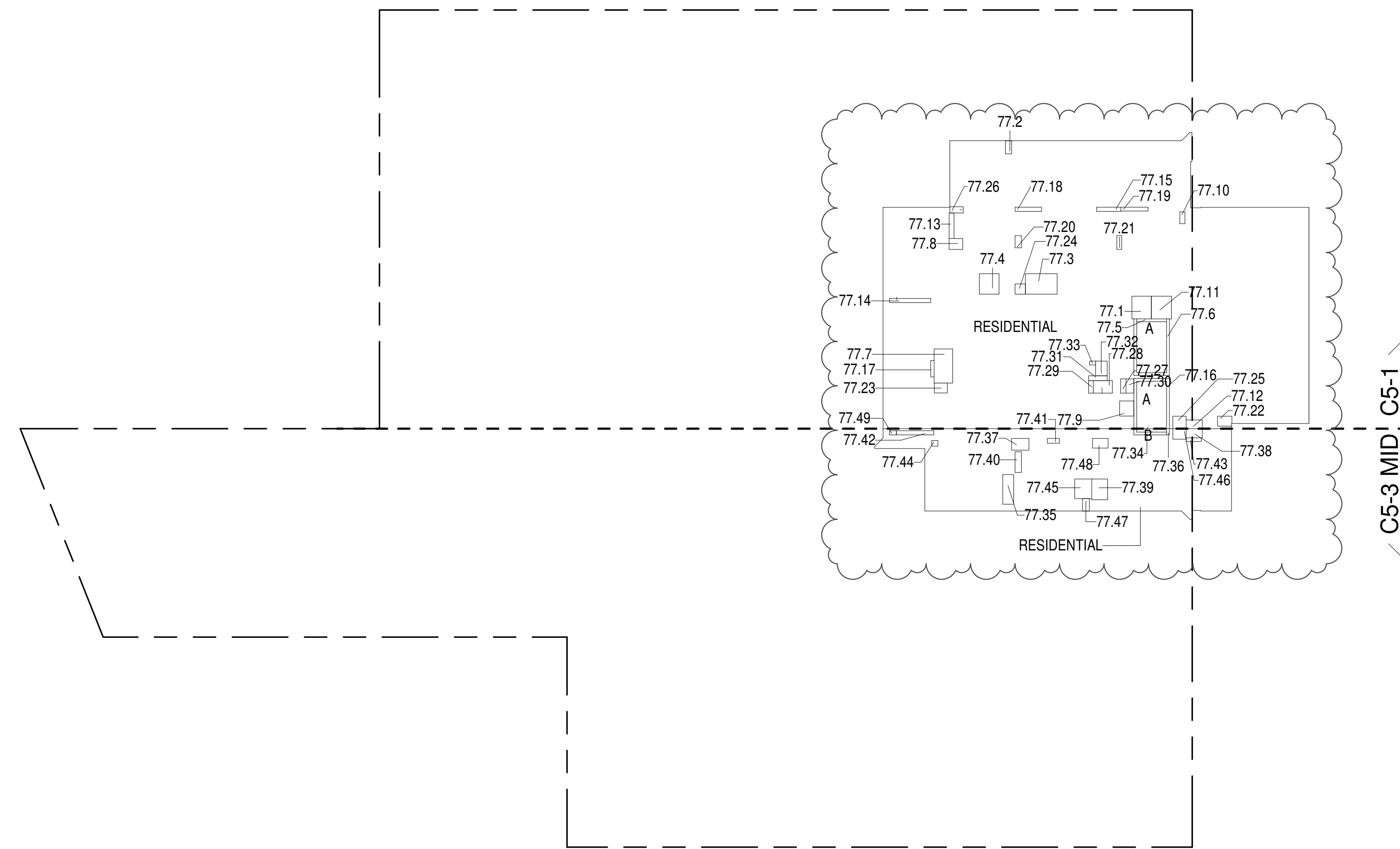
77TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

77TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	77.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	77.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	77.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	77.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	77.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	77.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	77.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	77.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	77.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	77.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	77.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	77.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	77.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	77.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	77.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	77.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	77.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	77.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	77.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	77.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	77.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	77.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	77.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	77.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	77.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	77.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	77.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	77.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	77.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	77.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	77.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	77.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	77.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

77TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

77TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	77.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	77.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	77.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	77.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	77.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	77.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	77.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	77.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	77.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	77.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	77.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	77.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	77.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	77.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	77.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	77.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

77TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



- ZONING AND DEDUCT LEGEND**
- ☐ DEDUCTIONS
- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
- P - PLUMBING RISER
- BG - BELOW GRADE
- O - OPENING TO BELOW
- L - LOADING BAYS
- ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)
- G - GAP FROM ADJACENT BUILDING
- DEVELOPMENT LOT LINE
- * WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.
- ** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE
- *** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

77TH FLOOR (MFD:115TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

3/4" = 1'-0"

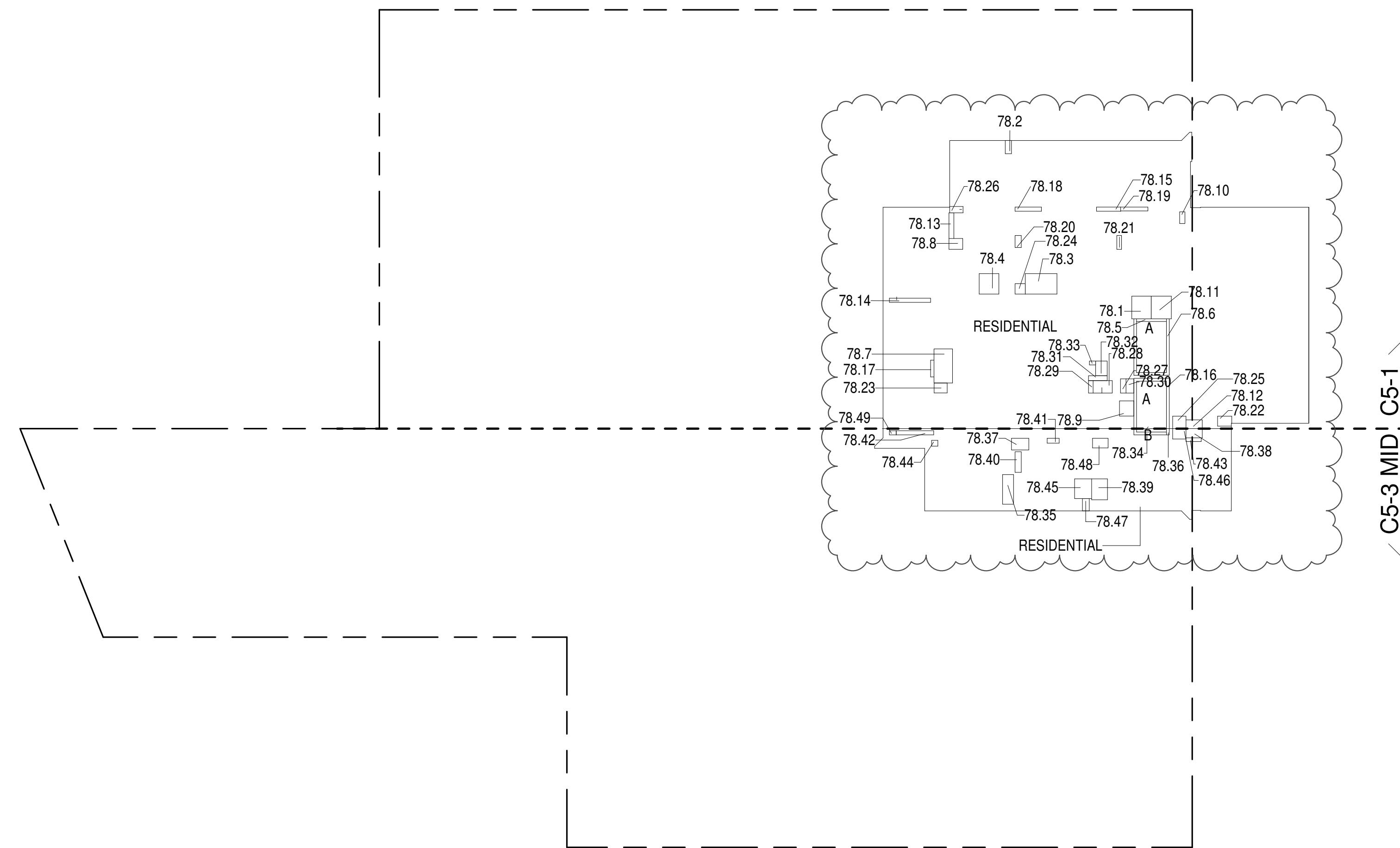
78TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

78TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	78.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	78.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	78.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	78.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	78.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	78.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	78.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	78.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	78.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	78.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	78.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	78.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	78.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	78.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	78.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	78.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	78.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	78.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	78.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	78.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	78.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	78.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	78.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	78.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	78.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	78.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	78.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	78.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	78.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	78.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	78.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	78.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	78.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

78TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

78TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	78.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	78.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	78.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	78.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	78.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	78.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	78.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	78.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	78.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	78.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	78.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	78.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	78.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	78.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	78.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	78.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

78TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



78TH FLOOR (MFD:116TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

3/4" = 1'-0"

79TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

79TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	79.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	79.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	79.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	79.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	79.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	79.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	79.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	79.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	79.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	79.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	79.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	79.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	79.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	79.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	79.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	79.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	79.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	79.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	79.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	79.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	79.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	79.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	79.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	79.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	79.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	79.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	79.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	79.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	79.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	79.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	79.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	79.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	79.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

79TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

79TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	79.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	79.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	79.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	79.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	79.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	79.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	79.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	79.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	79.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	79.43	0'-11"	3'-8"	3.8
RESIDENTIAL	M	79.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	79.45	4'-1"	4'-8"	19.0
RESIDENTIAL	M	79.46	2'-6"	3'-2"	8.6
RESIDENTIAL	M	79.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	79.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	79.49	1'-0"	1'-8"	1.0
SUBTOTAL					132.0

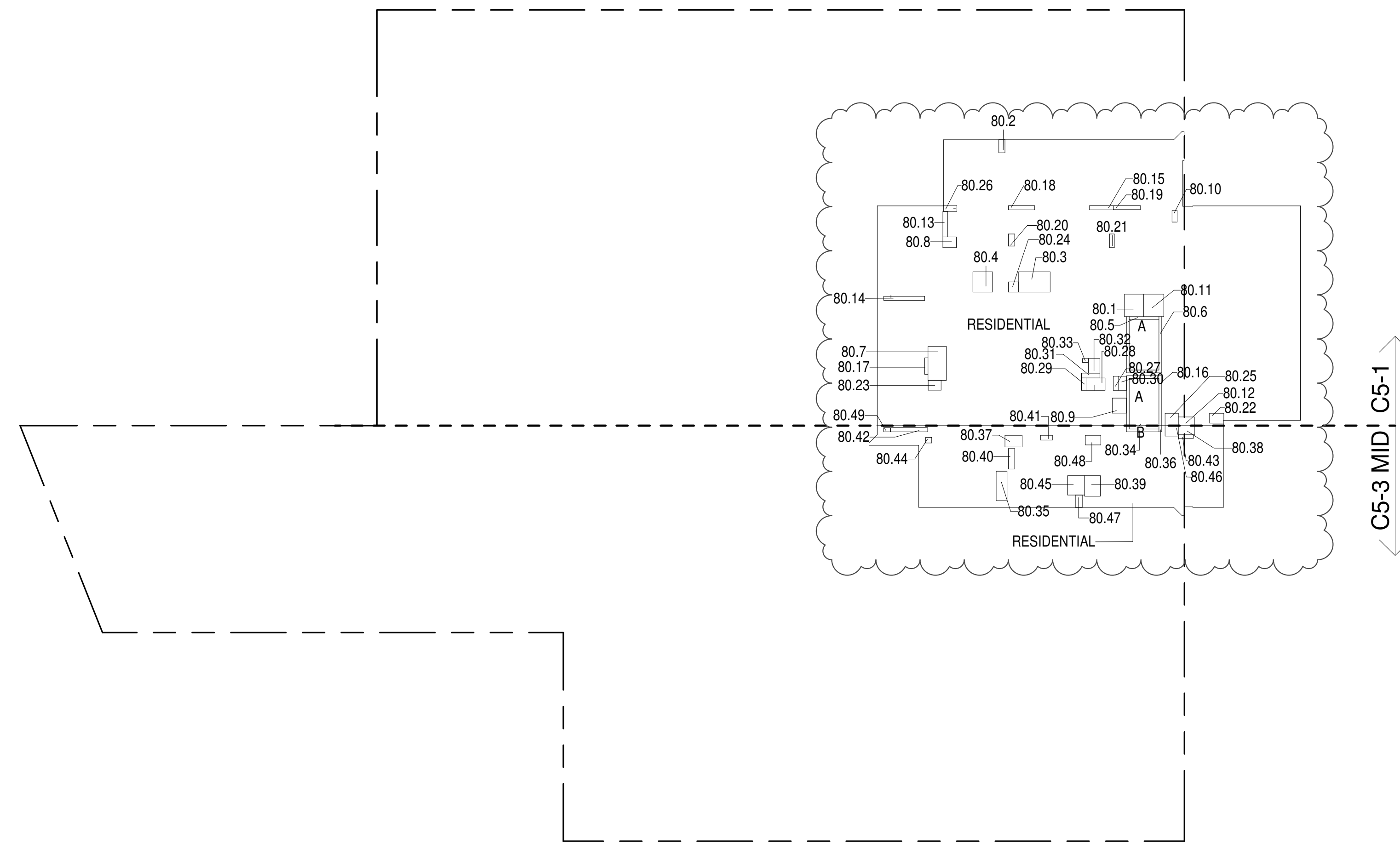
80TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

80TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	80.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	80.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	80.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	80.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	80.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	80.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	80.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	80.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	80.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	80.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	80.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	80.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	80.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	80.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	80.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	80.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	80.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	80.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	80.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	80.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	80.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	80.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	80.23	2'-4"	3'-11"	7.4
RESIDENTIAL	M	80.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	80.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	80.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	80.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	80.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	80.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	80.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	80.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	80.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	80.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

80TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

80TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	80.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	80.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	80.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	80.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	80.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	80.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	80.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	80.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	80.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	80.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	80.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	80.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	80.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	80.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	80.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	80.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

80TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



80TH FLOOR (MFD:118TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

1

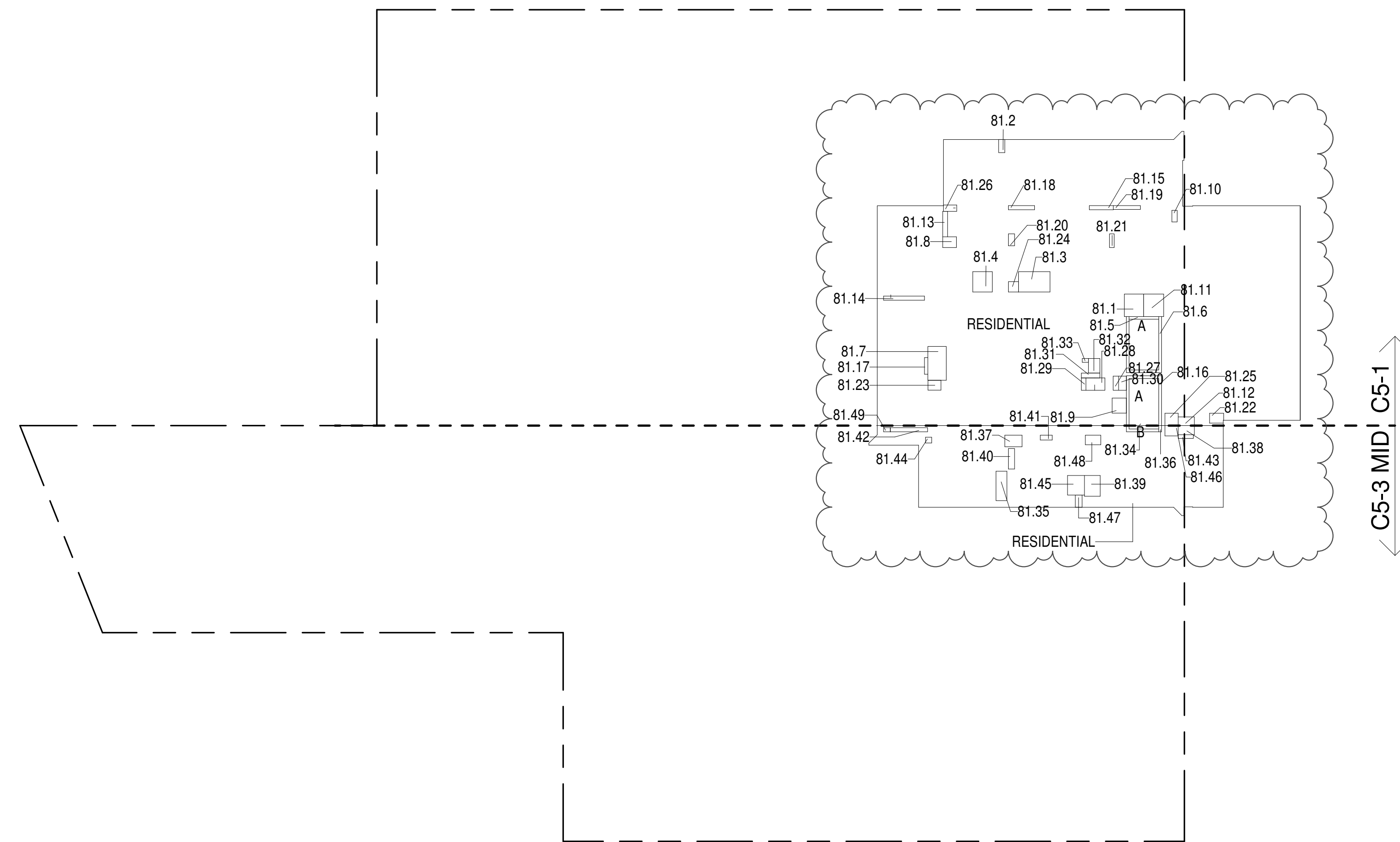
81ST FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

81ST FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	81.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	81.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	81.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	81.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	81.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	81.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	81.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	81.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	81.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	81.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	81.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	81.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	81.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	81.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	81.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	81.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	81.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	81.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	81.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	81.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	81.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	81.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	81.23	2'-4"	3'-11"	7.4
RESIDENTIAL	M	81.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	81.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	81.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	81.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	81.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	81.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	81.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	81.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	81.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	81.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

81ST FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

81ST FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	81.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	81.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	81.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	81.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	81.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	81.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	81.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	81.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	81.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	81.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	81.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	81.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	81.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	81.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	81.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	81.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

81ST FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



81ST FLOOR (MFD:119TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364" = 1'-0"

2

82ND FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

82ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	82.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	82.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	82.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	82.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	82.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	82.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	82.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	82.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	82.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	82.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	82.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	82.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	82.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	82.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	82.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	82.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	82.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	82.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	82.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	82.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	82.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	82.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	82.23	2'-4"	3'-11"	7.4
RESIDENTIAL	M	82.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	82.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	82.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	82.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	82.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	82.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	82.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	82.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	82.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	82.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

82ND FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

82ND FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	82.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	82.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	82.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	82.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	82.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	82.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	82.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	82.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	82.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	82.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	82.44	1'-6"	5'-6"	2.8
RESIDENTIAL	M	82.45	4'-1"	4'-8"	19.0
RESIDENTIAL	M	82.46	2'-6"	3'-2"	8.6
RESIDENTIAL	M	82.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	82.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	82.49	1'-0"	8'-1"	8.6
SUBTOTAL					132.2

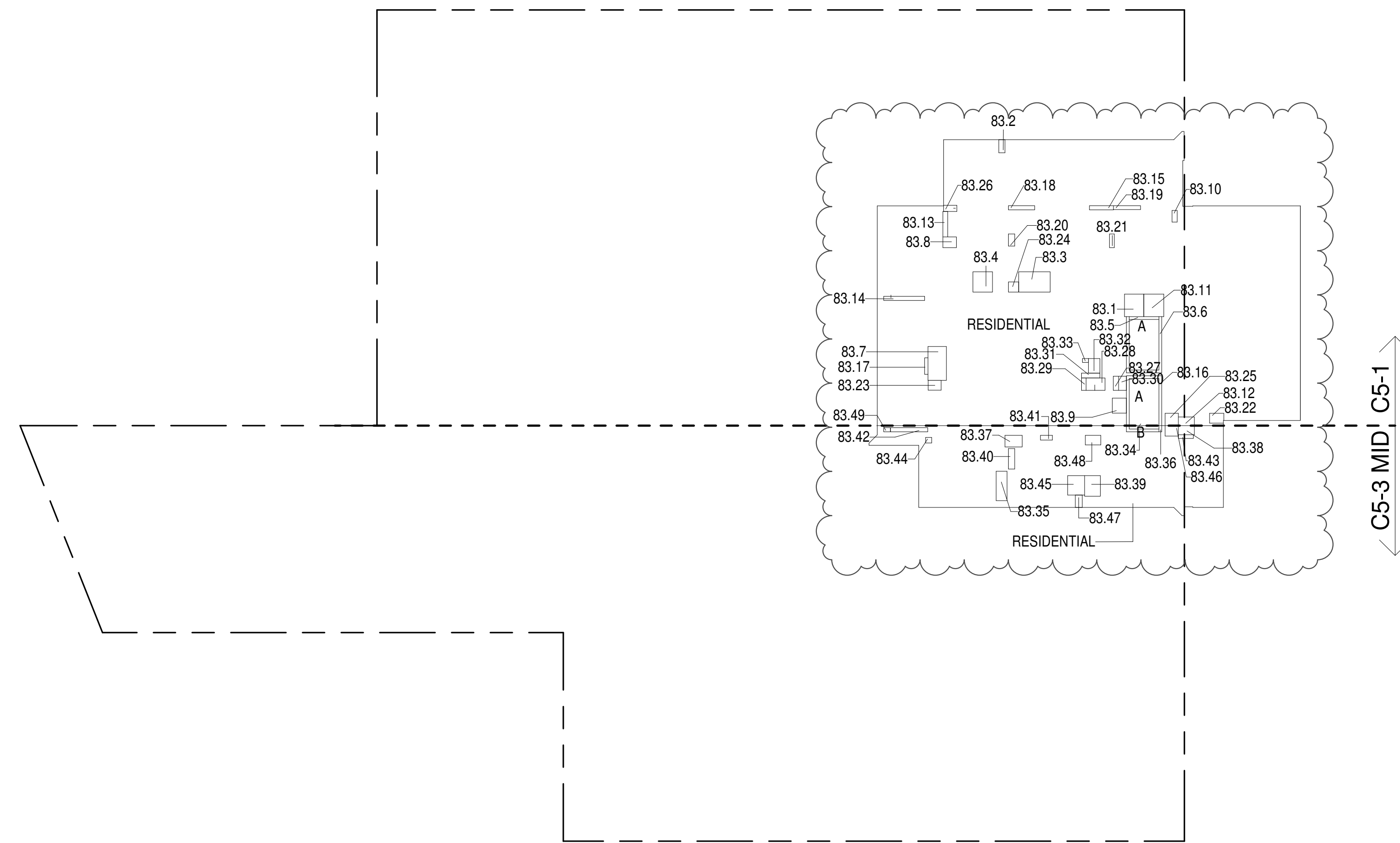
83RD FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

83RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	83.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	83.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	83.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	83.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	83.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	83.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	83.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	83.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	83.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	83.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	83.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	83.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	83.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	83.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	83.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	83.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	83.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	83.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	83.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	83.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	83.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	83.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	83.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	83.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	83.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	83.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	83.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	83.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	83.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	83.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	83.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	83.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	83.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

83RD FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

83RD FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	83.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	83.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	83.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	83.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	83.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	83.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	83.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	83.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	83.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	83.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	83.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	83.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	83.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	83.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	83.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	83.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

83RD FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



83RD FLOOR (MFD:121ST FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364' = 1'-0"

1

ZONING AND DEDUCT LEGEND

DEDUCTIONS

M - MECHANICAL ROOM / RISER
E - ELECTRICAL SHAFT / RISER
P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)

G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

* WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.

** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

*** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

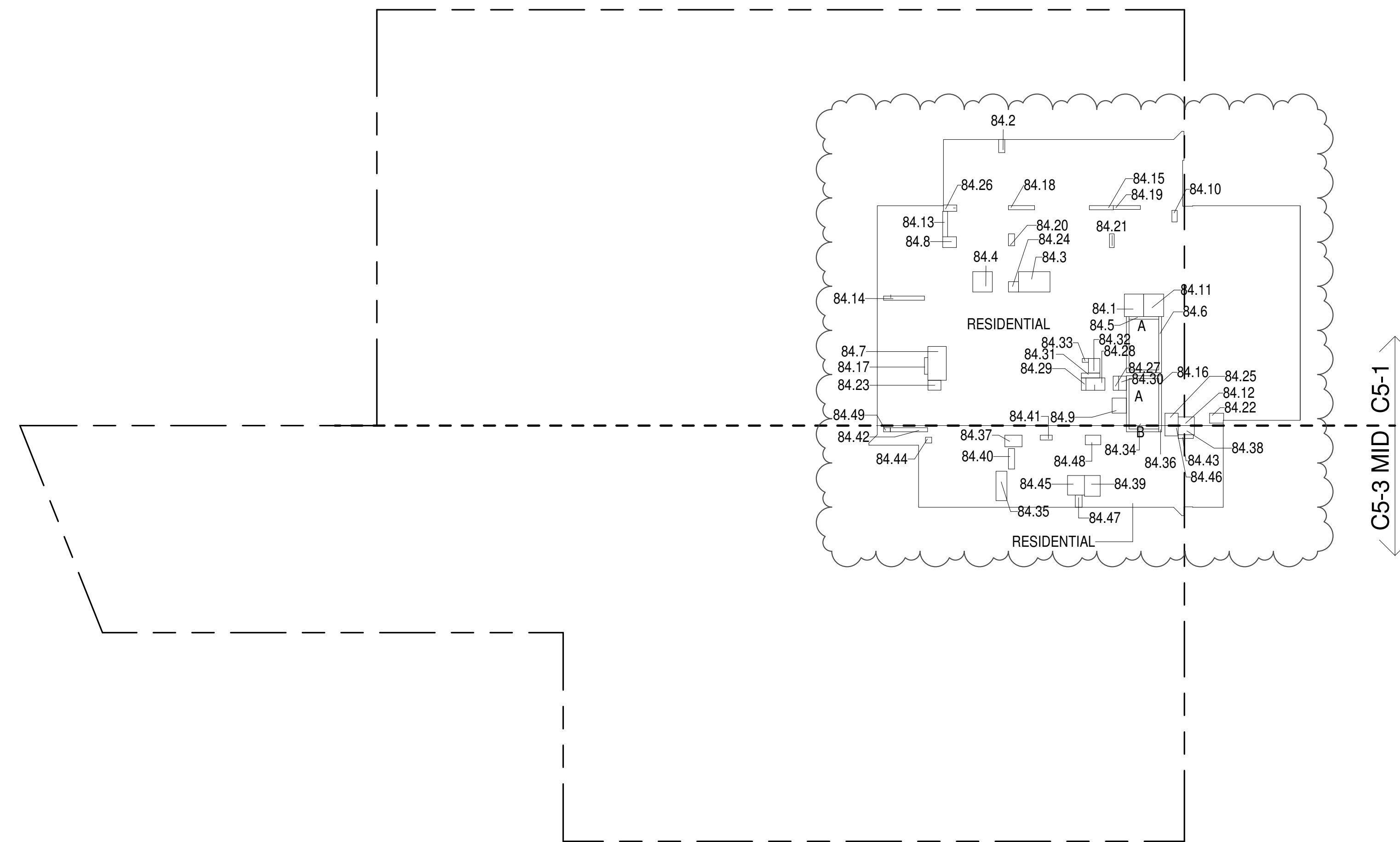
84TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

84TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	84.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	84.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	84.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	84.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	84.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	84.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	84.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	84.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	84.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	84.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	84.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	84.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	84.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	84.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	84.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	84.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	84.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	84.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	84.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	84.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	84.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	84.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	84.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	84.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	84.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	84.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	84.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	84.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	84.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	84.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	84.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	84.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	84.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

84TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

84TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	84.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	84.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	84.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	84.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	84.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	84.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	84.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	84.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	84.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	84.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	84.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	84.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	84.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	84.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	84.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	84.49	1'-0"	1'-8"	1.6
SUBTOTAL					132.2

84TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



84TH FLOOR (MFD:122ND FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS

364' = 1'-0"

2

85TH FLOOR AREA CALCULATIONS					
ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

85TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	85.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	85.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	85.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	85.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	85.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	85.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	85.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	85.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	85.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	85.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	85.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	85.12	2'-1"	3'-11"	8.1
RESIDENTIAL	P	85.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	85.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	85.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	85.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	85.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	85.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	85.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	85.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	85.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	85.22	2'-4"	3'-6"	8.0
RESIDENTIAL	M	85.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	85.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	85.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	85.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	85.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	85.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	85.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	85.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	85.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	85.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	85.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

85TH FLOOR AREA CALCULATIONS					
ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

85TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	85.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	85.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	85.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	85.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	85.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	85.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	85.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	85.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	85.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	85.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	85.44	1'-4"	1'-6"	2.0

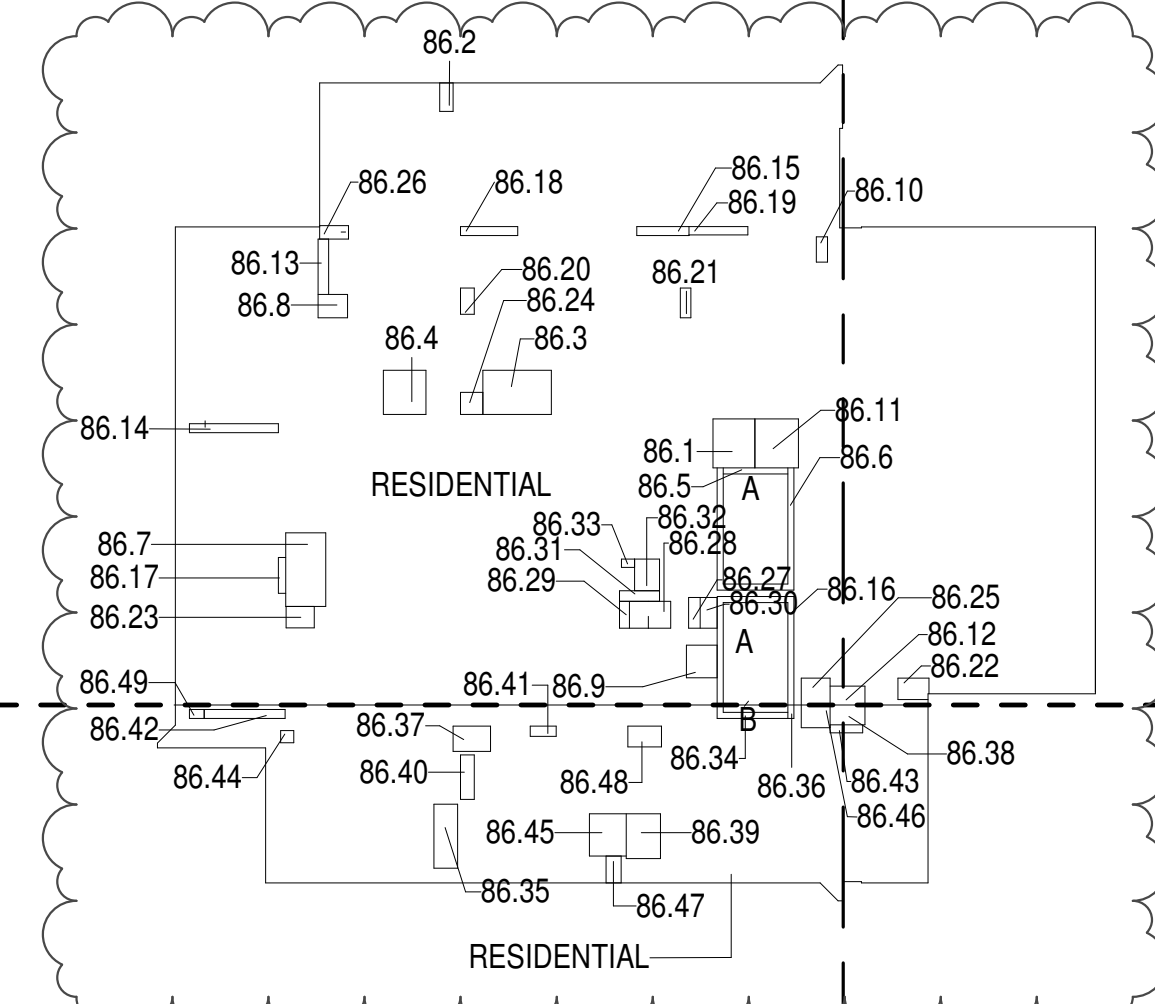
86TH FLOOR AREA CALCULATIONS ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

86TH FLOOR DEDUCTIONS ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	86.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	86.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	86.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	86.4	4'-9"	4'-11"	23.2
RESIDENTIAL	ST	86.5	0'-8"	34'-3"	22.8
RESIDENTIAL	ST	86.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	86.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	86.8	2'-7"	3'-3"	8.5
RESIDENTIAL	M	86.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	86.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	86.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	86.12	2'-1"	3'-11"	8.9
RESIDENTIAL	P	86.13	1'-2"	6'-2"	7.2
RESIDENTIAL	P	86.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	86.15	1'-0"	5'-9"	5.8
RESIDENTIAL	ST	86.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	86.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	86.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	86.19	0'-11"	6'-7"	6.2
RESIDENTIAL	P	86.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	86.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	86.22	2'-4"	3'-6"	9.0
RESIDENTIAL	M	86.23	2'-4"	3'-11"	7.4
RESIDENTIAL	M	86.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	86.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	86.26	1'-6"	3'-2"	4.9
RESIDENTIAL	M	86.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	86.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	86.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	86.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	86.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	86.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	86.33	0'-11"	1'-6"	1.3
SUBTOTAL					361.2

86TH FLOOR AREA CALCULATIONS ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

86TH FLOOR DEDUCTIONS ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	86.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	86.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	86.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	86.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	86.38	2'-3"	3'-11"	8.6
RESIDENTIAL	M	86.39	3'-10"	5'-0"	19.0
RESIDENTIAL	P	86.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	86.41	1'-2"	2'-11"	3.4
RESIDENTIAL	P	86.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	86.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	86.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	86.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	86.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	86.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	86.48	2'-4"	3'-9"	8.6
RESIDENTIAL	M	86.49	1'-0"	1'-6"	1.6
SUBTOTAL					132.2

86TH FLOOR AREA CALCULATIONS ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



- ZONING AND DEDUCT LEGEND**
- DEDUCTIONS
 - M - MECHANICAL ROOM / RISER
 - E - ELECTRICAL SHAFT / RISER
 - P - PLUMBING RISER
 - BG - BELOW GRADE
 - O - OPENING TO BELOW
 - L - LOADING BAYS
 - ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)
 - G - GAP FROM ADJACENT BUILDING
 - DEVELOPMENT LOT LINE
- * WHERE APPLICABLE, DOCUMENTED AND CALCULATED AREAS HAVE BEEN ROUNDED TO ITS NEXT SIGNIFICANT DIGIT.
- ** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE
- *** ELECTRICAL DEDUCTIONS ARE ONLY FOR ELECTRICAL RISERS, AND CLOSETS. NO DEDUCTIONS TAKEN FOR TELEPHONE CLOSETS

86TH FLOOR (MFD:124TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 1

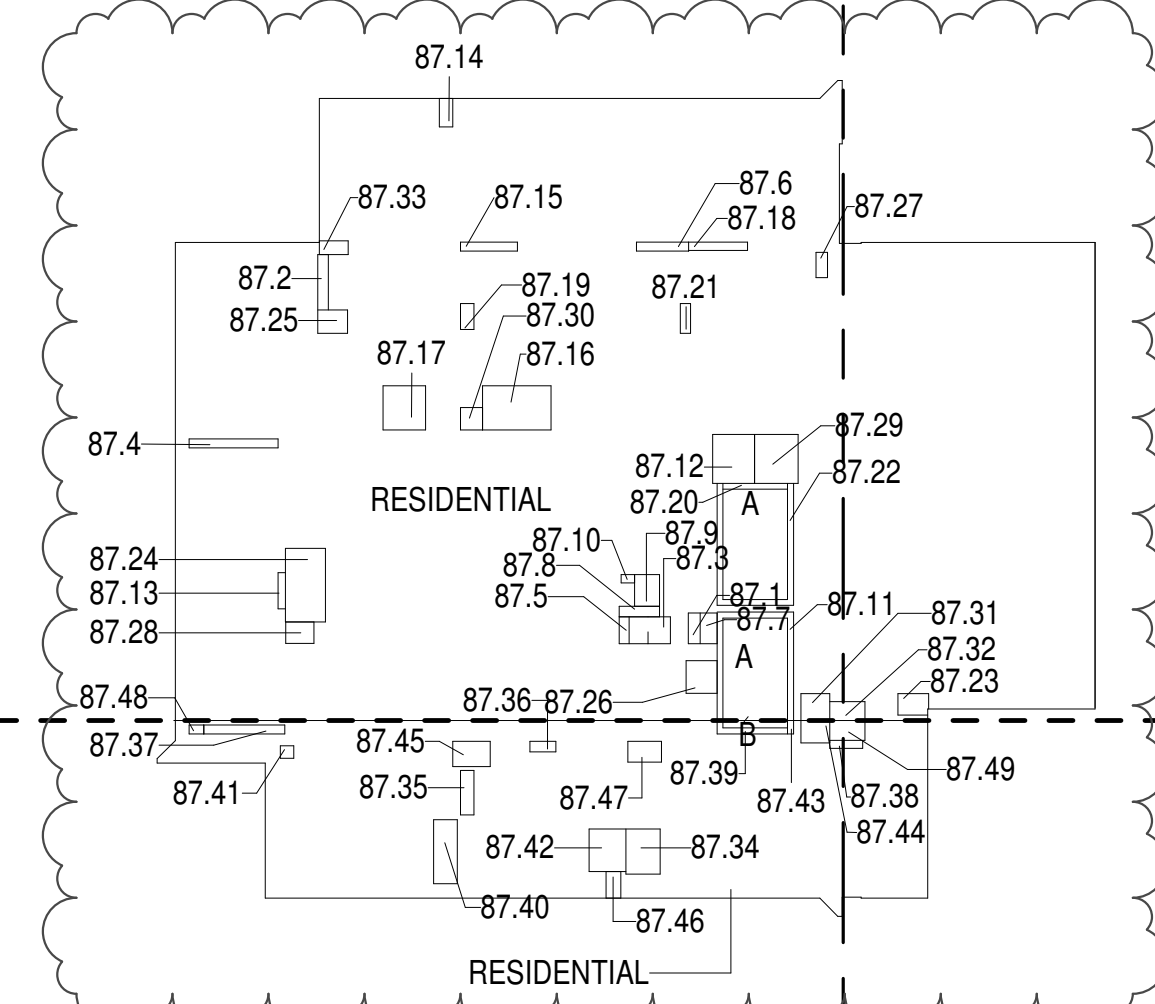
87TH FLOOR AREA CALCULATIONS ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	361	5,967	
TOTAL		6,329	361	5,967	

87TH FLOOR DEDUCTIONS ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	87.1	1'-3"	3'-9"	4.4
RESIDENTIAL	P	87.2	1'-2"	6'-2"	7.2
RESIDENTIAL	M	87.3	2'-0"	6'-11"	13.6
RESIDENTIAL	P	87.4	1'-0"	9'-11"	9.9
RESIDENTIAL	P	87.5	1'-1"	3'-0"	3.3
RESIDENTIAL	P	87.6	1'-0"	5'-9"	5.8
RESIDENTIAL	E	87.7	1'-11"	3'-5"	6.4
RESIDENTIAL	E	87.8	1'-2"	4'-6"	5.2
RESIDENTIAL	E	87.9	2'-9"	3'-6"	9.7
RESIDENTIAL	E	87.10	0'-11"	1'-6"	1.3
RESIDENTIAL	ST	87.11	0'-8"	31'-2"	20.8
RESIDENTIAL	P	87.12	4'-8"	5'-5"	25.3
RESIDENTIAL	P	87.13	0'-10"	4'-0"	3.3
RESIDENTIAL	M	87.14	1'-6"	3'-2"	4.8
RESIDENTIAL	P	87.15	1'-0"	6'-4"	6.3
RESIDENTIAL	M	87.16	4'-11"	7'-7"	37.4
RESIDENTIAL	M	87.17	4'-9"	4'-11"	23.2
RESIDENTIAL	P	87.18	0'-11"	6'-7"	6.2
RESIDENTIAL	P	87.19	1'-6"	2'-11"	4.3
RESIDENTIAL	ST	87.20	0'-8"	7'-2"	4.6
RESIDENTIAL	P	87.21	1'-2"	3'-4"	3.8
RESIDENTIAL	ST	87.22	0'-8"	34'-3"	22.8
RESIDENTIAL	M	87.23	2'-4"	3'-6"	9.0
RESIDENTIAL	M	87.24	4'-5"	8'-2"	36.5
RESIDENTIAL	M	87.25	2'-7"	3'-3"	8.5
RESIDENTIAL	M	87.26	3'-5"	3'-8"	12.5
RESIDENTIAL	M	87.27	1'-3"	2'-10"	3.6
RESIDENTIAL	M	87.28	2'-4"	3'-1"	7.4
RESIDENTIAL	M	87.29	4'-10"	5'-5"	26.3
RESIDENTIAL	M	87.30	2'-6"	2'-6"	6.1
RESIDENTIAL	M	87.31	3'-0"	3'-2"	9.5
RESIDENTIAL	M	87.32	2'-1"	3'-11"	8.1
RESIDENTIAL	M	87.33	1'-6"	3'-2"	4.9
SUBTOTAL					361.2

87TH FLOOR AREA CALCULATIONS ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	132	1,374	
TOTAL		1,507	132	1,374	

87TH FLOOR DEDUCTIONS ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	87.34	3'-10"	5'-0"	19.0
RESIDENTIAL	P	87.35	1'-6"	4'-11"	7.4
RESIDENTIAL	P	87.36	1'-2"	2'-11"	3.4
RESIDENTIAL	P	87.37	1'-0"	9'-0"	9.0
RESIDENTIAL	P	87.38	0'-11"	3'-8"	3.2
RESIDENTIAL	ST	87.39	0'-8"	6'-8"	5.8
RESIDENTIAL	M	87.40	2'-8"	7'-1"	18.8
RESIDENTIAL	M	87.41	1'-4"	1'-6"	2.0
RESIDENTIAL	M	87.42	4'-1"	4'-8"	19.1
RESIDENTIAL	ST	87.43	0'-8"	1'-6"	1.0
RESIDENTIAL	M	87.44	2'-6"	3'-2"	8.0
RESIDENTIAL	M	87.45	2'-10"	4'-2"	11.7
RESIDENTIAL	M	87.46	1'-8"	3'-0"	5.0
RESIDENTIAL	M	87.47	2'-4"	3'-9"	8.6
RESIDENTIAL	M	87.48	1'-0"	1'-6"	1.6
RESIDENTIAL	M	87.49	2'-3"	3'-11"	8.6
SUBTOTAL					132.2

87TH FLOOR AREA CALCULATIONS ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



87TH FLOOR (MFD:125TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 2

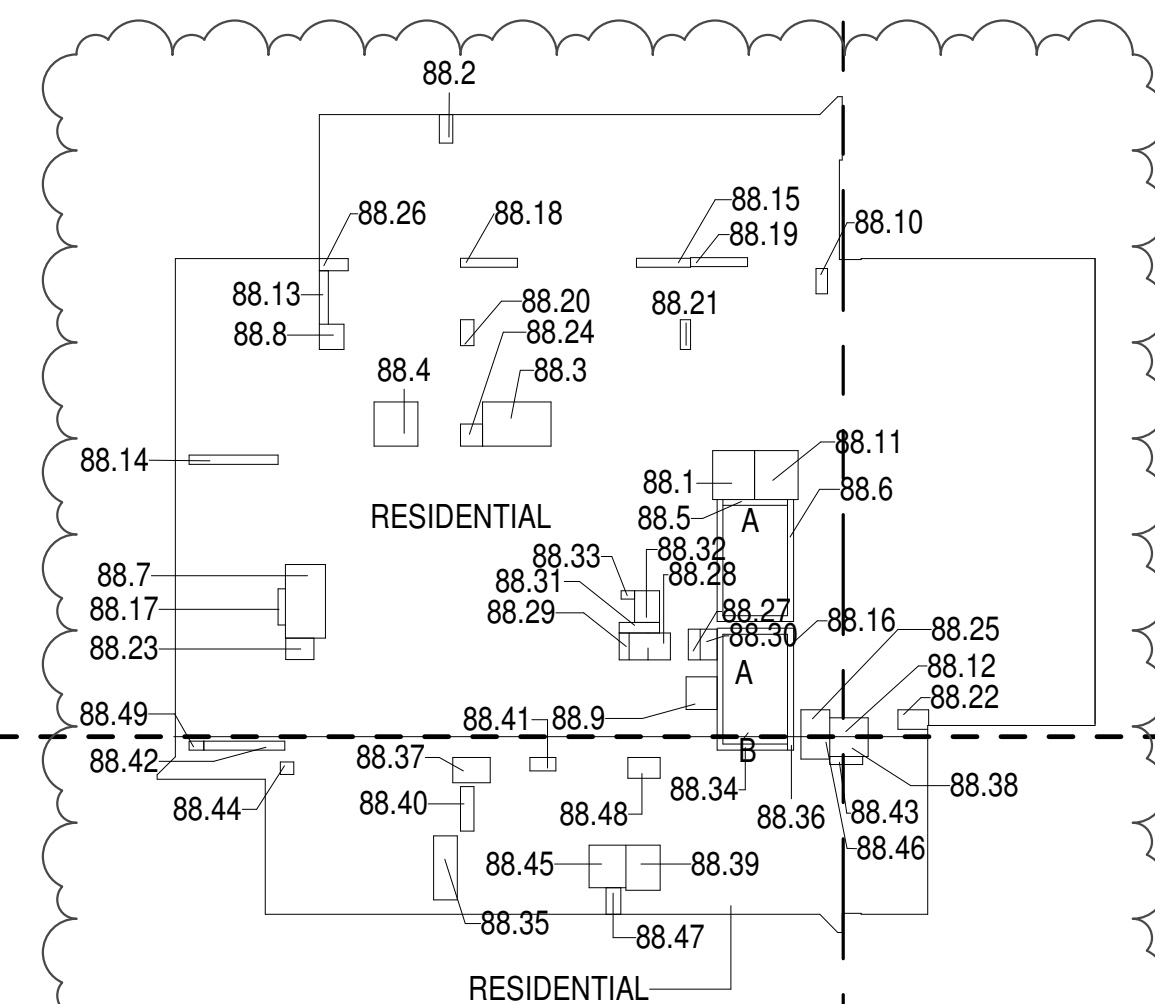
88TH FLOOR AREA CALCULATIONS ZONE C5-1					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		6,329	360	5,969	
TOTAL		6,329	360	5,969	

88TH FLOOR DEDUCTIONS ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	88.1	4'-8"	5'-5"	25.3
RESIDENTIAL	M	88.2	1'-6"	3'-2"	4.8
RESIDENTIAL	M	88.3	4'-11"	7'-7"	37.4
RESIDENTIAL	M	88.4	4'-11"	4'-11"	24.0
RESIDENTIAL	ST	88.5	0'-8"	7'-2"	4.6
RESIDENTIAL	ST	88.6	0'-8"	34'-3"	22.8
RESIDENTIAL	M	88.7	4'-5"	8'-2"	36.5
RESIDENTIAL	M	88.8	2'-9"	2'-10"	7.7
RESIDENTIAL	M	88.9	3'-5"	3'-8"	12.5
RESIDENTIAL	M	88.10	1'-3"	2'-10"	3.6
RESIDENTIAL	M	88.11	4'-10"	5'-5"	26.3
RESIDENTIAL	M	88.12	2'-1"	4'-3"	8.9
RESIDENTIAL	P	88.13	1'-0"	5'-11"	5.9
RESIDENTIAL	P	88.14	1'-0"	9'-11"	9.9
RESIDENTIAL	P	88.15	1'-0"	6'-0"	6.0
RESIDENTIAL	ST	88.16	0'-8"	31'-2"	20.8
RESIDENTIAL	P	88.17	0'-10"	4'-0"	3.3
RESIDENTIAL	P	88.18	1'-0"	6'-4"	6.3
RESIDENTIAL	P	88.19	1'-0"	6'-4"	6.3
RESIDENTIAL	P	88.20	1'-6"	2'-11"	4.3
RESIDENTIAL	P	88.21	1'-2"	3'-4"	3.8
RESIDENTIAL	M	88.22	2'-2"	3'-6"	7.4
RESIDENTIAL	M	88.23	2'-4"	3'-1"	7.4
RESIDENTIAL	M	88.24	2'-6"	2'-6"	6.1
RESIDENTIAL	M	88.25	3'-0"	3'-2"	9.5
RESIDENTIAL	M	88.26	1'-5"	3'-2"	4.3
RESIDENTIAL	M	88.27	1'-3"	3'-5"	4.4
RESIDENTIAL	M	88.28	2'-0"	6'-11"	13.6
RESIDENTIAL	P	88.29	1'-1"	3'-0"	3.3
RESIDENTIAL	E	88.30	1'-11"	3'-5"	6.4
RESIDENTIAL	E	88.31	1'-2"	4'-6"	5.2
RESIDENTIAL	E	88.32	2'-9"	3'-6"	9.7
RESIDENTIAL	E	88.33	0'-11"	1'-6"	1.3
SUBTOTAL					359.8

88TH FLOOR AREA CALCULATIONS ZONE C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		1,507	134	1,373	
TOTAL		1,507	134	1,373	

88TH FLOOR DEDUCTIONS ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	88.34	0'-8"	8'-8"	5.8
RESIDENTIAL	M	88.35	2'-8"	7'-1"	18.8
RESIDENTIAL	ST	88.36	0'-8"	1'-6"	1.0
RESIDENTIAL	M	88.37	2'-10"	4'-2"	11.7
RESIDENTIAL	M	88.38	2'-3"	4'-3"	9.4
RESIDENTIAL	M	88.39	3'-10"	5'-0"	19.0
RESIDENTIAL	M	88.40	1'-6"	4'-11"	7.4
RESIDENTIAL	P	88.41	1'-6"	2'-11"	4.3
RESIDENTIAL	P	88.42	1'-0"	9'-0"	9.0
RESIDENTIAL	P	88.43	0'-11"	3'-8"	3.2
RESIDENTIAL	M	88.44	1'-4"	1'-6"	2.0
RESIDENTIAL	M	88.45	4'-1"	4'-8"	19.1
RESIDENTIAL	M	88.46	2'-6"	3'-2"	8.0
RESIDENTIAL	M	88.47	1'-8"	3'-0"	5.0
RESIDENTIAL	M	88.48	2'-4"	3'-7"	8.3
RESIDENTIAL	M	88.49	1'-0"	1'-6"	1.6
SUBTOTAL					133.7

88TH FLOOR AREA CALCULATIONS ZONE C5-1 AND C5-3 MID					
USE	No.	GFA	*DEDUCTIONS	*ZFA (SF)	
RESIDENTIAL		7,835	493	7,342	
TOTAL		7,835	493	7,342	



88TH FLOOR (MFD:126TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 364" = 1'-0" 3

KEY PLAN:

92ND FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	N	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	Q	92.30	2'-4"	11'-10"	27.7
RESIDENTIAL	M	92.31	2'-6"	3'-0"	7.4
RESIDENTIAL	M	92.32	5'-3"	6'-11"	36.6
RESIDENTIAL	M	92.33	3'-1"	3'-5"	4.3
RESIDENTIAL	M	92.34	3'-5"	4'-7"	15.6
RESIDENTIAL	P	92.35	1'-1"	3'-5"	3.8
RESIDENTIAL	E	92.36	1'-11"	3'-5"	6.6
RESIDENTIAL	E	92.37	0'-9"	4'-6"	3.3
RESIDENTIAL	E	92.38	2'-9"	3'-8"	10.2
RESIDENTIAL	E	92.39	1'-1"	1'-8"	1.8
SUBTOTAL					2,090.7

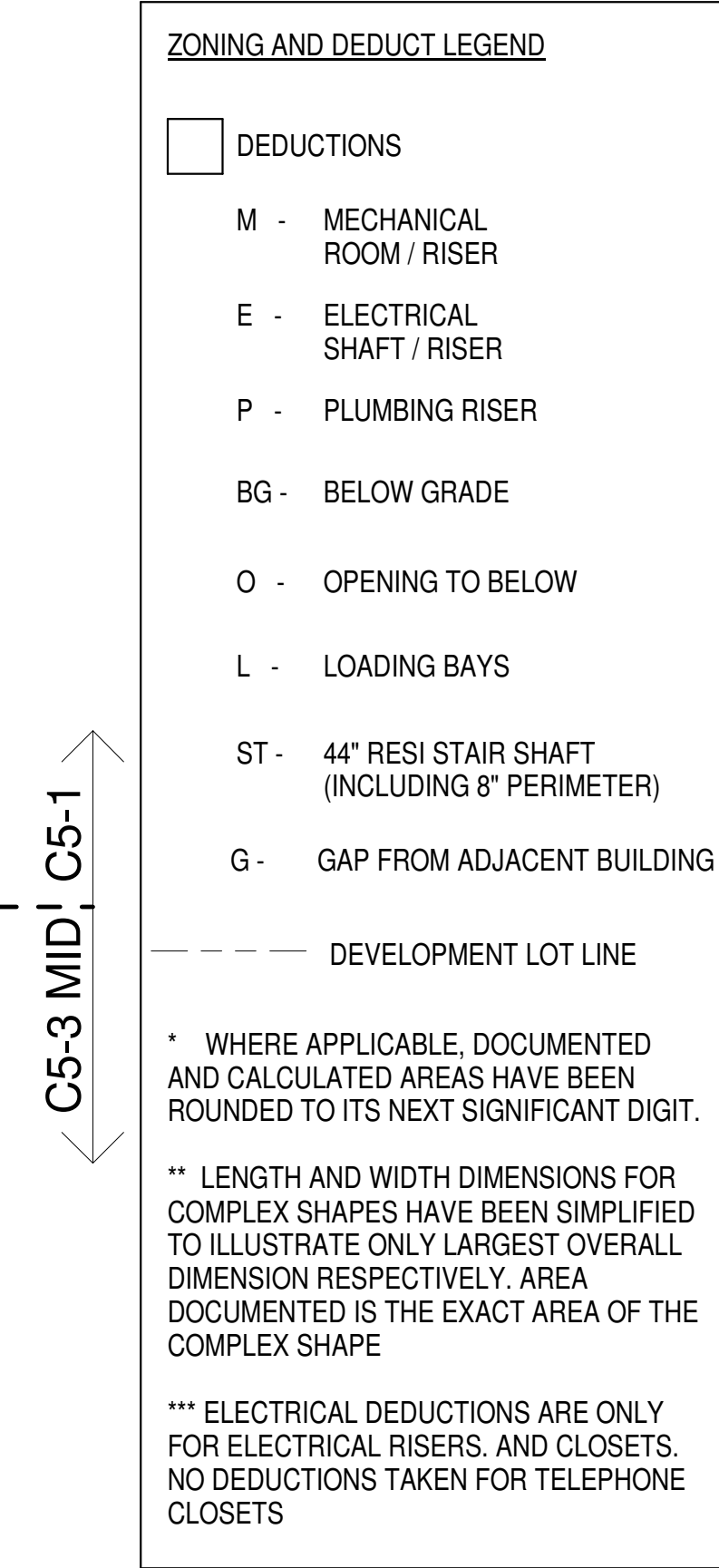
92ND FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	N	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	92.40	1'-6"	2'-11"	4.3
RESIDENTIAL	M	92.41	3'-5"	11'-8"	39.5
RESIDENTIAL	ST	92.42	0'-8"	10'-2"	8.0
RESIDENTIAL	P	92.43	0'-7"	0'-10"	0.5
RESIDENTIAL	M	92.44	3'-4"	6'-0"	19.9
RESIDENTIAL	M	92.45	2'-3"	5'-11"	13.3
RESIDENTIAL	P	92.46	3'-11"	1'-1"	5.5
RESIDENTIAL	P	92.47	4'-1"	4'-1"	5.5
RESIDENTIAL	M	92.48	1'-4"	3'-6"	4.8
RESIDENTIAL	M	92.49	4'-4"	10'-1"	24.4
RESIDENTIAL	M	92.50	1'-4"	3'-2"	4.2
RESIDENTIAL	M	92.51	1'-0"	3'-2"	3.1
RESIDENTIAL	M	92.52	1'-0"	2'-4"	2.4
SUBTOTAL					138.4



92ND FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		1,507	138	1,368
TOTAL		1,507	138	1,368

99TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	N	LENGTH	WIDTH	AREA/SF
RESIDENTIAL	P	89.1	4'-8"	5'-9"	25.1
RESIDENTIAL	ST	89.2	0'-8"	7'-2"	4.0
RESIDENTIAL	ST	89.3	0'-8"	34'-3"	22.2
RESIDENTIAL	M	89.4	4'-2"	4'-6"	18.0
RESIDENTIAL	M	89.5	3'-10"	4'-0"	18.0
RESIDENTIAL	M	89.6	3'-5"	3'-8"	12.1
RESIDENTIAL	M	89.7	1'-2"	2'-10"	3.0
RESIDENTIAL	M	89.8	4'-10"	5'-5"	26.1
RESIDENTIAL	P	89.9	4'-10"	4'-11"	17.0
RESIDENTIAL	M	89.10	2'-2"	6'-1"	9.0
RESIDENTIAL	ST	89.11	0'-8"	31'-2"	20.0
RESIDENTIAL	P	89.12	0'-11"	7'-9"	7.0
RESIDENTIAL	P	89.13	1'-0"	6'-3"	6.0
RESIDENTIAL	M	89.14	1'-8"	2'-10"	4.0
RESIDENTIAL	M	89.15	4'-5"	4'-8"	20.0
RESIDENTIAL	M	89.16	3'-10"	4'-6"	17.0
RESIDENTIAL	M	89.17	2'-10"	3'-4"	9.0
RESIDENTIAL	M	89.18	2'-8"	4'-0"	12.0
RESIDENTIAL	M	89.19	1'-5"	1'-8"	2.0
RESIDENTIAL	M	89.20	1'-8"	1'-8"	2.0
RESIDENTIAL	P	89.21	1'-7"	5'-6"	8.0
RESIDENTIAL	M	89.22	1'-6"	3'-2"	4.0
RESIDENTIAL	P	89.23	0'-10"	3'-3"	4.0
RESIDENTIAL	M	89.24	1'-8"	3'-4"	6.0
RESIDENTIAL	M	89.25	1'-3"	3'-5"	4.0
RESIDENTIAL	M	89.26	3'-5"	4'-7"	15.0
RESIDENTIAL	P	89.27	1'-1"	3'-5"	3.0
RESIDENTIAL	E	89.28	1'-11"	3'-5"	6.0
RESIDENTIAL	E	89.29	0'-9"	4'-6"	3.0
RESIDENTIAL	E	89.30	2'-9"	3'-8"	10.0
RESIDENTIAL	E	89.31	1'-1"	1'-8"	1.0
RESIDENTIAL	M	89.32	2'-3"	2'-11"	6.0
SUBTOTAL					343.0

90TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE-NO.	LENGTH	W/TH	AREA(SF)	
RESIDENTIAL	ST 89.33	0'-8"	8'-8"	5	1
RESIDENTIAL	M 89.34	1'-1"	3'-2"	3	1
RESIDENTIAL	ST 89.35	0'-8"	1'-6"	1	1
RESIDENTIAL	M 89.36	3'-0"	5'-3"	15	1
RESIDENTIAL	M 89.37	4'-5"	8'-7"	37	1
RESIDENTIAL	M 89.38	1'-8"	2'-6"	4	1
RESIDENTIAL	P 89.39	0'-10"	7'-0"	5	1
RESIDENTIAL	M 89.40	1'-2"	3'-4"	4	1
RESIDENTIAL	M 89.41	0'-11"	3'-5"	3	1
RESIDENTIAL	M 89.42	3'-1"	4'-11"	15	1
RESIDENTIAL	M 89.43	2'-10"	3'-4"	9	1
RESIDENTIAL	P 89.44	1'-9"	2'-11"	5	1
RESIDENTIAL	P 89.45	0'-7"	1'-0"	1	1
RESIDENTIAL	M 89.46	3'-9"	4'-3"	16	1
RESIDENTIAL	M 89.47	1'-10"	1'-10"	3	1
RESIDENTIAL	M 89.48	1'-10"	1'-10"	3	1
RESIDENTIAL	M 89.49	0'-5"	1'-1"	0	1
SUBTOTAL					134

89TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL		1,507	134	1,37
TOTAL		1,507	134	1,37



PROJECT NORTH		TRUE NORTH	
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ADRIAN SMITH + GORDON GILL ARCHITECTURE
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CHICAGO IL 60603
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New York, NY 10017 USA
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MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
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GEOTECHNICAL ENGINEERS:

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21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727

TEL: 212.470.5400 FAX: 212.470.5444

TEL: 212 479 5400 FAX: 212 479 5444
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Construction Consulting Associates
100 Church Street
New York, NY 10007

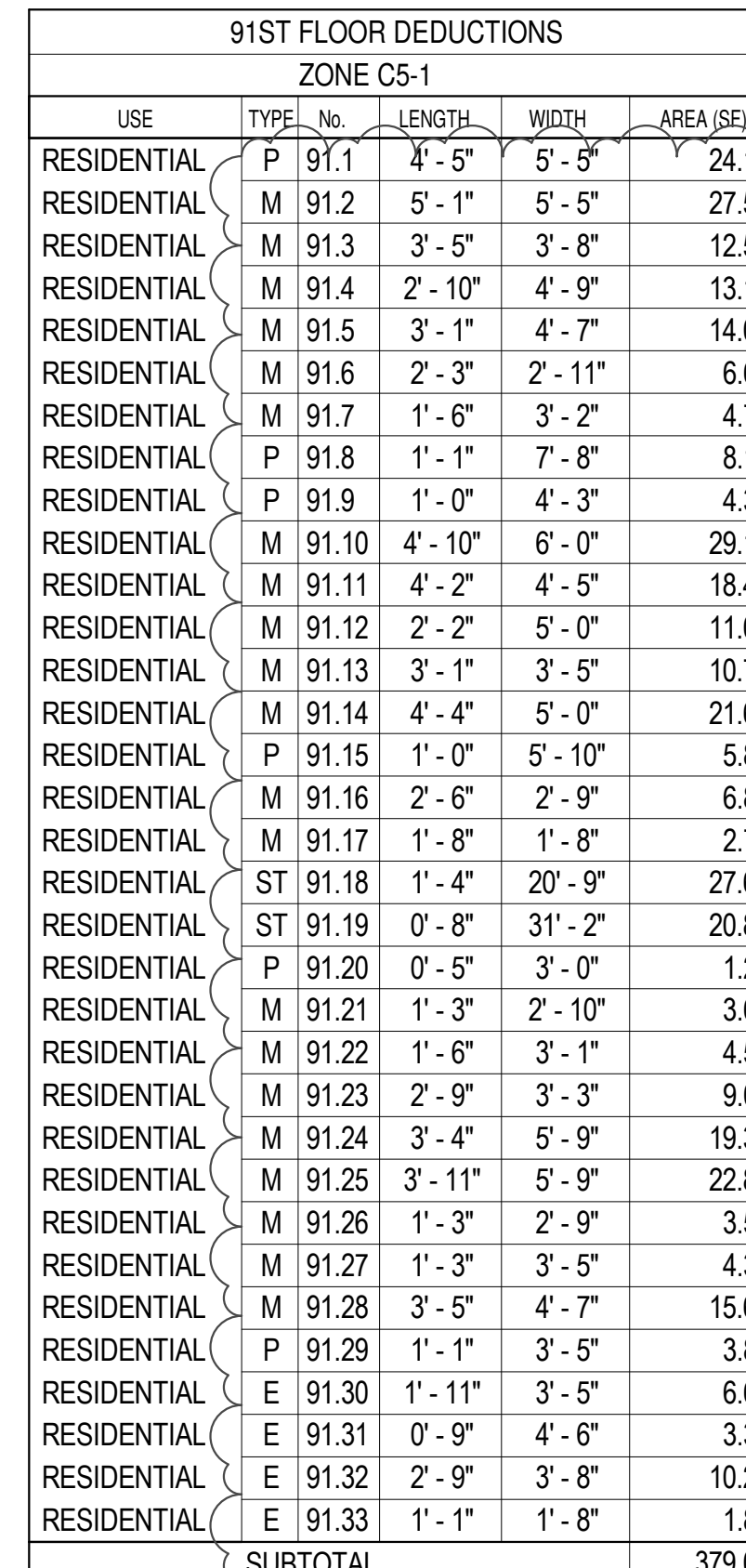
TEL: 212 385 1818 FAX: 212 385 1911
CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 626
New York, NY 10013

TEL: 212 757 5659 FAX: 646 219 8508
 LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
 11 Hanover Square, 18th Floor
 New York, NY 10019

New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A

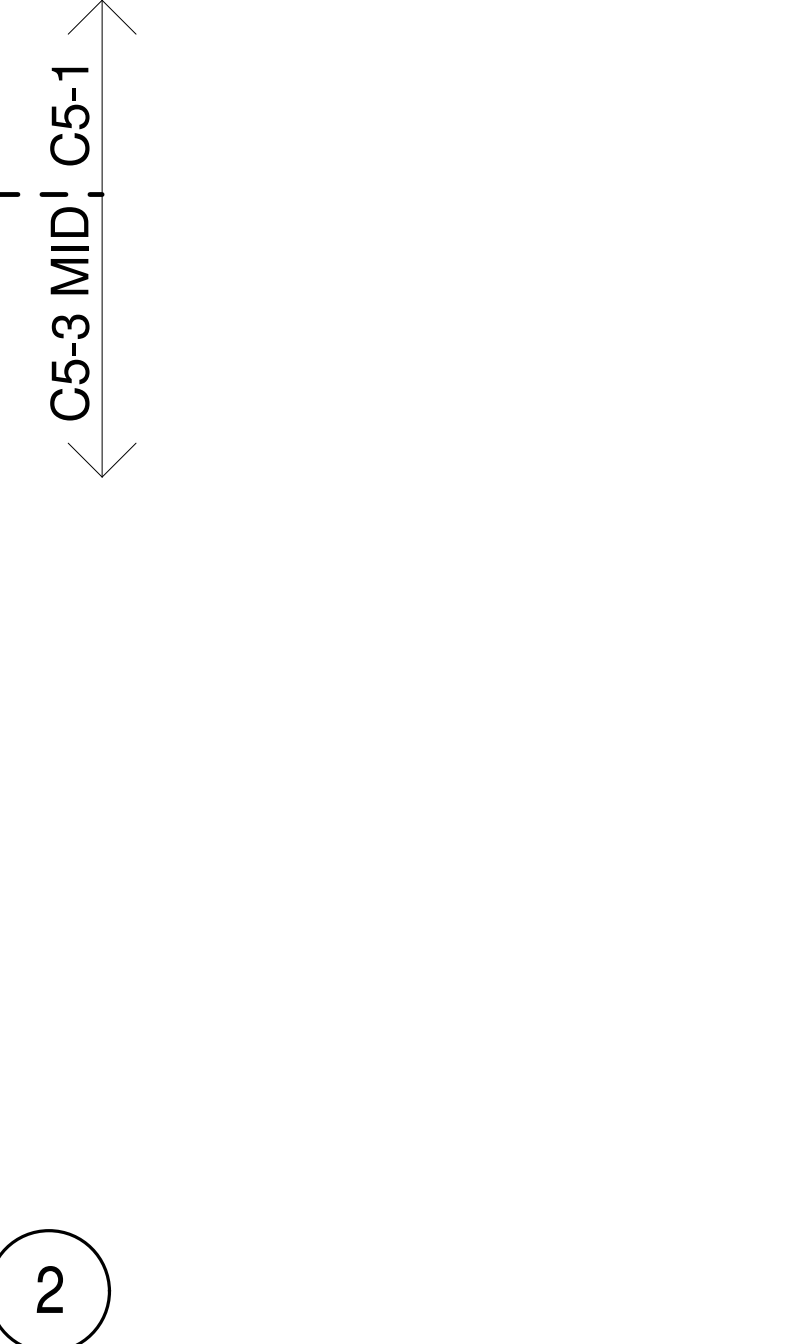
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1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14
	D.O.B. AMENDMENT 2	21 SEP 15
	D.O.B. AMENDMENT 3	03 OCT 16



91ST FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	P	91.34	1'-5"	2'-1"	2
RESIDENTIAL	M	91.35	4'-5"	8'-7"	37
RESIDENTIAL	P	91.36	0'-7"	1'-0"	0
RESIDENTIAL	M	91.37	2'-4"	5'-0"	11
RESIDENTIAL	M	91.38	2'-10"	3'-1"	8
RESIDENTIAL	M	91.39	1'-2"	3'-10"	4
RESIDENTIAL	ST	91.40	0'-8"	10'-2"	6
RESIDENTIAL	M	91.41	3'-1"	5'-7"	17
RESIDENTIAL	M	91.42	1'-1"	3'-2"	3
RESIDENTIAL	M	91.43	3'-9"	4'-4"	16
RESIDENTIAL	M	91.44	0'-10"	3'-8"	3
RESIDENTIAL	M	91.45	1'-1"	2'-5"	2
RESIDENTIAL	P	91.46	0'-10"	3'-9"	3
SUBTOTAL					118

91ST FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SE)
RESIDENTIAL		1,507	119	1,388
TOTAL		1,507	119	1,388

91ST FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		6,329	379	5,950
TOTAL		6,329	379	5,950



91ST FLOOR (MFD:129TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 2

90TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SQ. FT.)
RESIDENTIAL	P	92.30	2'-4"	11'-10"	11.0
RESIDENTIAL	M	92.31	2'-6"	3'-0"	7.4
RESIDENTIAL	P	92.32	5'-3"	6'-11"	36.6
RESIDENTIAL	M	92.33	3'-1"	3'-5"	4.3
RESIDENTIAL	P	92.34	3'-5"	4'-7"	15.3
RESIDENTIAL	P	92.35	1'-1"	2'-5"	3.8
RESIDENTIAL	E	92.36	1'-11"	3'-5"	6.6
RESIDENTIAL	P	92.37	0'-9"	4'-6"	3.3
RESIDENTIAL	E	92.38	2'-9"	3'-8"	10.2
RESIDENTIAL	E	92.39	1'-1"	1'-8"	1.8
SUBTOTAL					2,090.7

90TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	NO.	LENGTH	WIDTH	AREA (SQ. FT.)
RESIDENTIAL	P	92.40	Y'-6"	Y'-11"	4.3
RESIDENTIAL	M	92.41	3'-5"	11'-8"	39.1
RESIDENTIAL	ST	92.42	0'-8"	10'-2"	8.2
RESIDENTIAL	P	92.43	0'-7"	1'-0"	0.7
RESIDENTIAL	P	92.44	1'-1"	2'-5"	1.9
RESIDENTIAL	M	92.45	2'-3"	5'-11"	13.1
RESIDENTIAL	M	92.46	3'-1"	3'-1"	9.7
RESIDENTIAL	P	92.47	1'-4"	4'-1"	22.1
RESIDENTIAL	M	92.48	1'-4"	3'-6"	4.1
RESIDENTIAL	P	92.49	4'-10"	5'-1"	24.1
RESIDENTIAL	M	92.50	1'-4"	3'-2"	4.3
RESIDENTIAL	M	92.51	1'-0"	3'-2"	3.3
RESIDENTIAL	M	92.52	1'-0"	2'-4"	2.8
SUBTOTAL					138.8

90TH FLOOR AREA CALCULATIONS					
ZONE C5-1 AND C5-3 MID					

90TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZEA (SF)
RESIDENTIAL		6,329	2,091	4,238
TOTAL		6,329	2,091	4,238

90TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,507	138	1,369
TOTAL		1,507	138	1,369

90TH FLOOR (MFD:128TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS 3

0 10' - 8" 21' - 4" 42' - 8"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

A A T



AAI
ARCHITECTS, P.C.


PROJECT:


217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

ZONING FLOOR AREA PLAN AND

DEDUCTIONS
89TH, 90TH, 91ST, 92ND FLOOR

SEAL & SIGNATURE:	DATE: 05 DEC 14
	PROJECT No: 1216-00

	DRAWN: Author	REV:
	CHK: Checker	2
	SCALE: 3/64" = 1'-0"	



DWG No:
Z-038.02

DOB PAGE No: 35 of 454	
DOB EMPLOYEE STAMP:	DOB B-SCAN:

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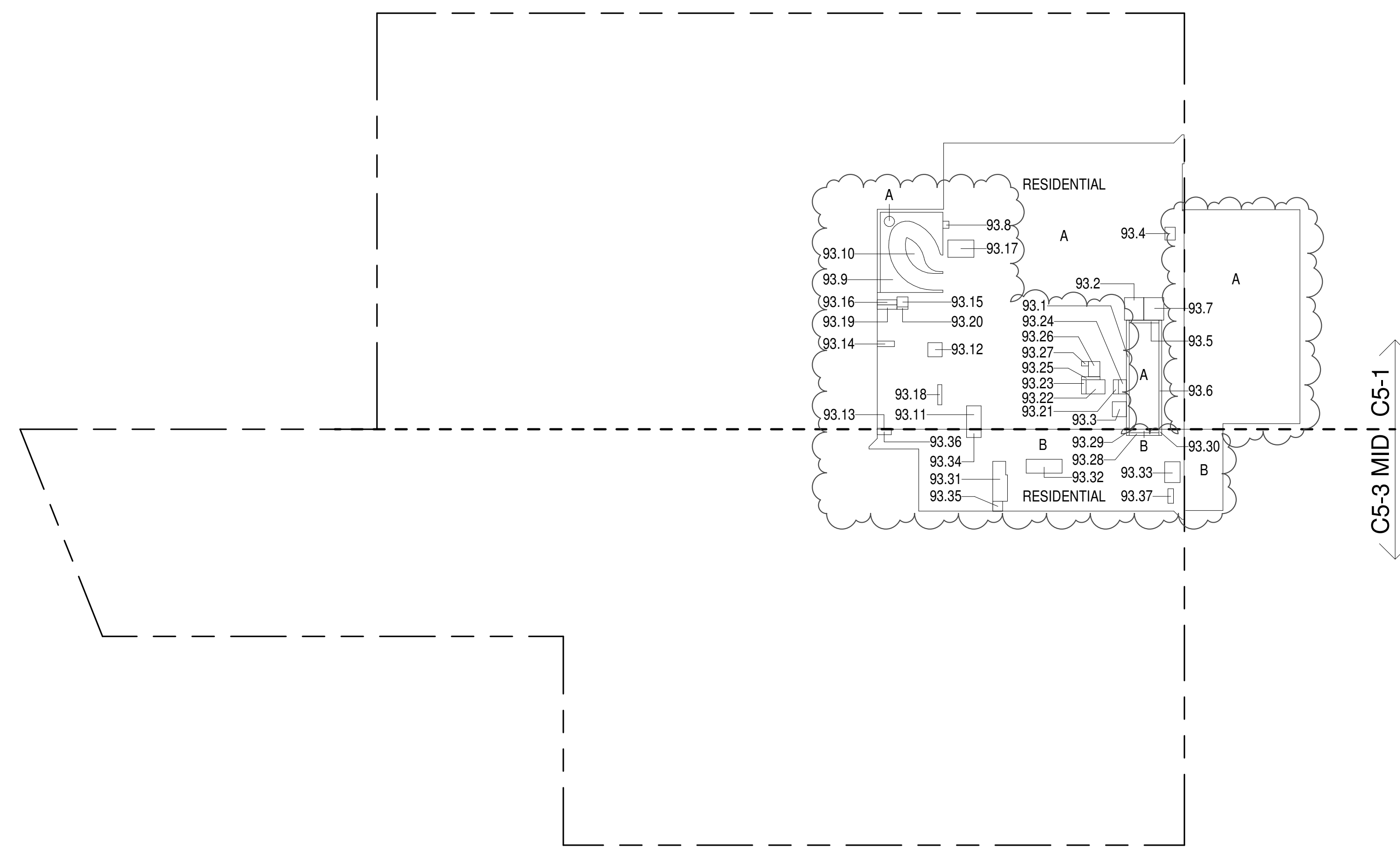
93RD FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		6,317	398	5,918
TOTAL		6,317	398	5,918

93RD FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	93.1	0'-8"	26'-4"	17.5
RESIDENTIAL	P	93.2	4'-8"	5'-5"	25.3
RESIDENTIAL	M	93.3	3'-5"	3'-8"	12.5
RESIDENTIAL	M	93.4	2'-0"	3'-11"	7.7
RESIDENTIAL	ST	93.5	0'-8"	7'-2"	4.8
RESIDENTIAL	ST	93.6	0'-8"	26'-4"	17.5
RESIDENTIAL	M	93.7	4'-10"	5'-5"	26.3
RESIDENTIAL	M	93.8	1'-6"	1'-8"	2.5
RESIDENTIAL	O	93.9	2'-7"	47'-10"	123.1
RESIDENTIAL	O	93.10	2'-4"	11'-10"	27.7
RESIDENTIAL	M	93.11	3'-6"	5'-8"	19.7
RESIDENTIAL	M	93.12	3'-5"	3'-6"	11.8
RESIDENTIAL	M	93.13	0'-3"	3'-5"	0.8
RESIDENTIAL	M	93.14	1'-4"	4'-2"	5.6
RESIDENTIAL	M	93.15	2'-5"	2'-8"	6.5
RESIDENTIAL	M	93.16	1'-3"	4'-9"	5.8
RESIDENTIAL	M	93.17	4'-2"	6'-4"	26.3
RESIDENTIAL	P	93.18	1'-0"	4'-11"	4.9
RESIDENTIAL	P	93.19	1'-1"	4'-9"	5.0
RESIDENTIAL	P	93.20	0'-7"	2'-8"	1.5
RESIDENTIAL	M	93.21	1'-3"	3'-5"	4.3
RESIDENTIAL	M	93.22	3'-5"	4'-7"	15.6
RESIDENTIAL	P	93.23	1'-1"	3'-5"	3.8
RESIDENTIAL	E	93.24	1'-11"	3'-5"	6.6
RESIDENTIAL	E	93.25	0'-9"	4'-6"	3.3
RESIDENTIAL	E	93.26	2'-9"	3'-8"	10.2
RESIDENTIAL	E	93.27	1'-1"	1'-8"	1.8
SUBTOTAL					398.4

93RD FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,504	109	1,394
TOTAL		1,504	109	1,394

93RD FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	ST	93.28	0'-7"	7'-2"	4.5
RESIDENTIAL	ST	93.29	0'-8"	1'-6"	1.0
RESIDENTIAL	ST	93.30	0'-8"	1'-6"	1.0
RESIDENTIAL	M	93.31	3'-4"	9'-10"	32.8
RESIDENTIAL	M	93.32	3'-4"	8'-8"	29.3
RESIDENTIAL	M	93.33	3'-9"	5'-0"	18.7
RESIDENTIAL	M	93.34	2'-0"	3'-6"	7.0
RESIDENTIAL	M	93.35	2'-4"	2'-4"	5.5
RESIDENTIAL	M	93.36	1'-4"	3'-5"	4.5
RESIDENTIAL	M	93.37	1'-5"	3'-6"	4.8
SUBTOTAL					109.1

93RD FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		7,820	507	7,313
TOTAL		7,820	507	7,313

93RD FLOOR (MFD:131ST FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' = 1'-0" 1

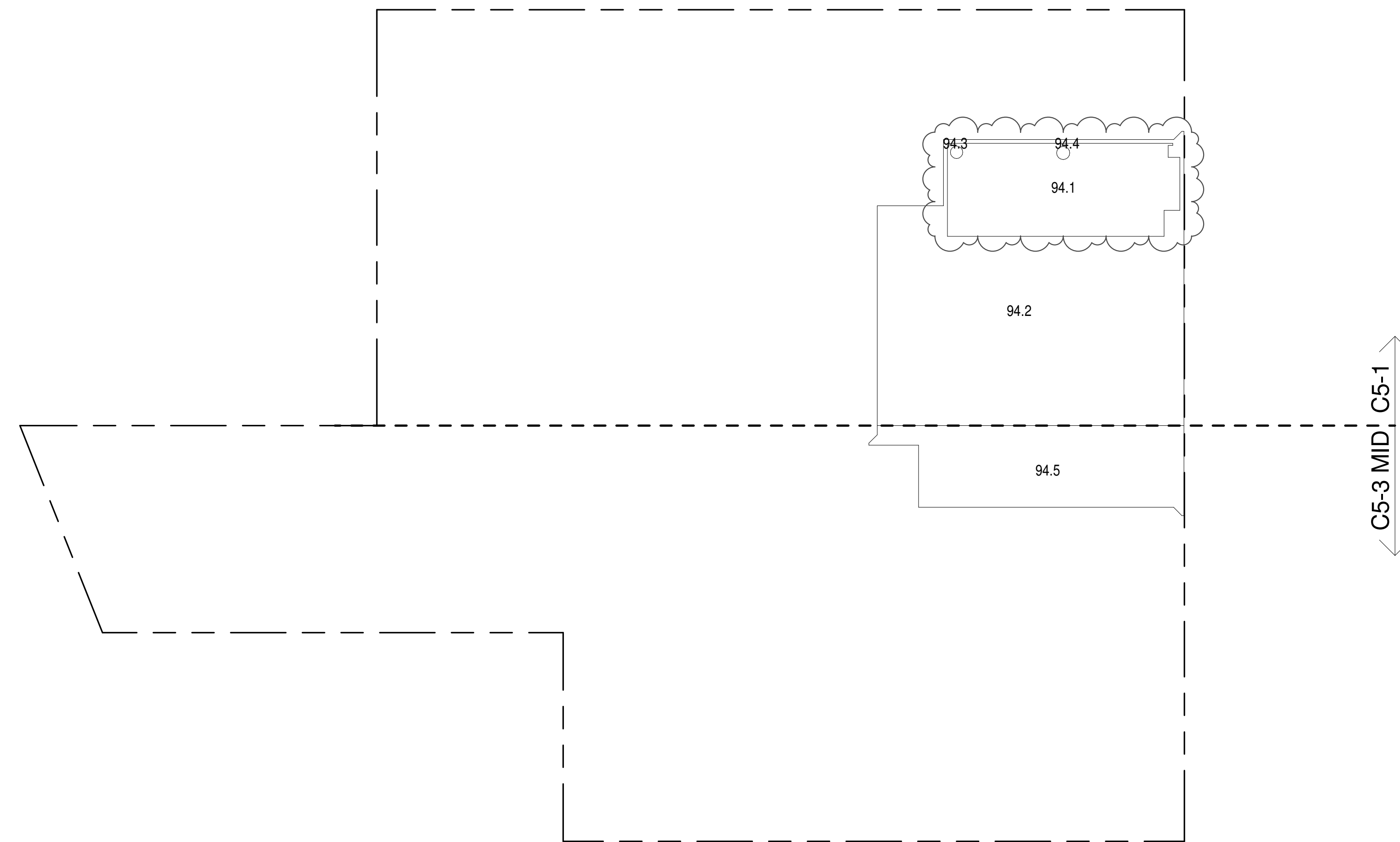
94TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		4,865	4,865	0
TOTAL		4,865	4,865	0

94TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SQ.)
RESIDENTIAL	O	94.1	20' - 6"	59' - 2"	1,214.5
RESIDENTIAL	M	94.2	32' - 5"	112' - 2"	3,635.5
RESIDENTIAL	M	94.3			7.1
RESIDENTIAL	M	94.4			7.9
SUBTOTAL					4,864.9

94TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,319	1,319	0
TOTAL		1,319	1,319	0

94TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	94.5	16' - 5"	80' - 3"	1,319.2
SUBTOTAL					1,319.2

94TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		6,184	6,184	0
TOTAL		6,184	6,184	0

94TH FLOOR MEP (MFD:132ND FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' = 1'-0" 2

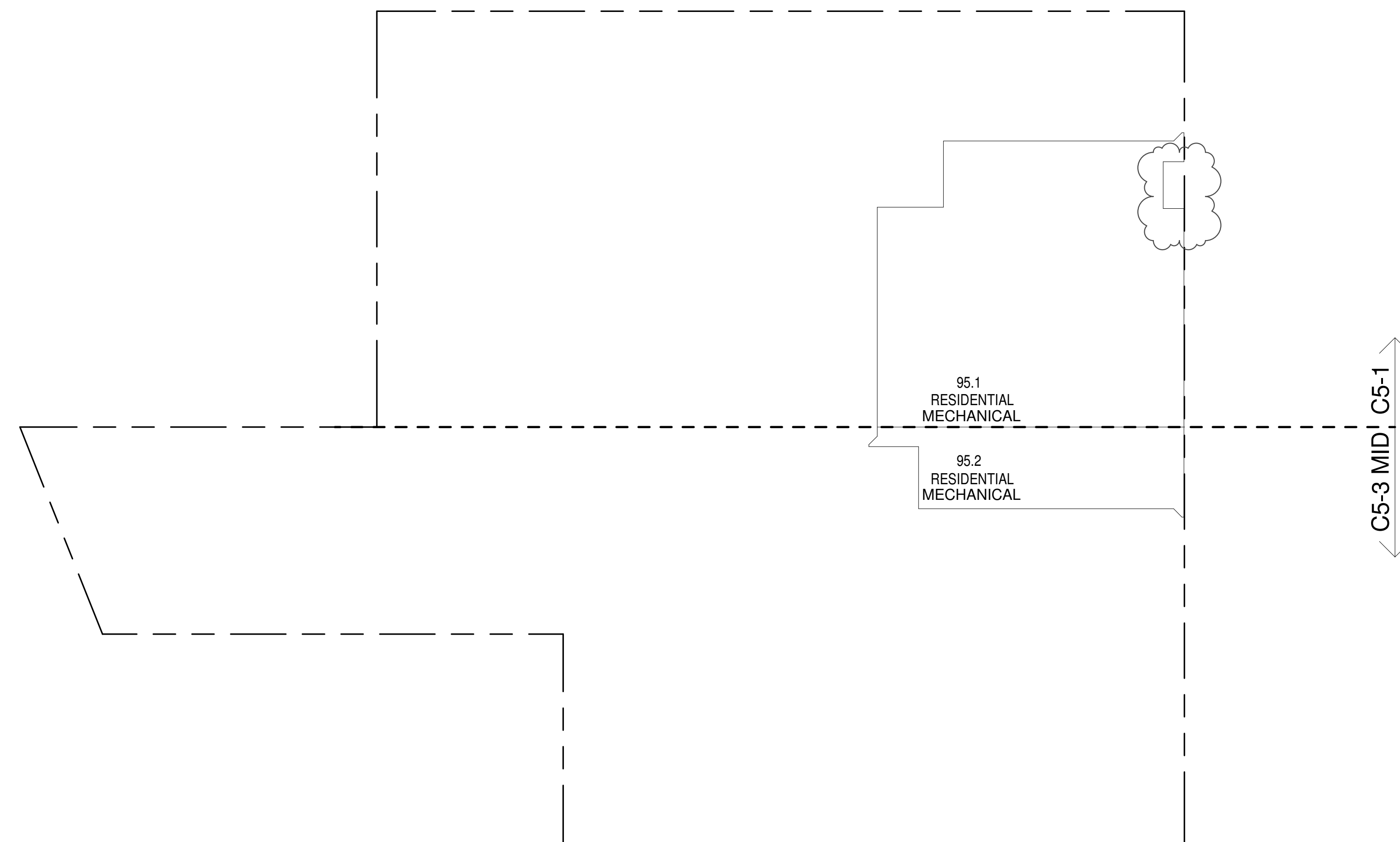
95TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		4,808	4,808	0
TOTAL		4,808	4,808	0

95TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	95.1	46' - 10"	102' - 9"	4,808.3
SUBTOTAL					4,808.3

95TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		1,319	1,319	0
TOTAL		1,319	1,319	0

95TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA (SF)
RESIDENTIAL	M	95.2	16' - 5"	80' - 2"	1,319.2
SUBTOTAL					1,319.2

95TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA (SF)
RESIDENTIAL		6,127	6,127	0
TOTAL		6,127	6,127	0

95TH FLOOR EMR (MFD:133RD FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
364' = 1'-0" 3

ZONING AND DEDUCT LEGEND

☐ DEDUCTIONS

M - MECHANICAL ROOM / RISER

E - ELECTRICAL SHAFT / RISER

P - PLUMBING RISER

BG - BELOW GRADE

O - OPENING TO BELOW

L - LOADING BAYS

ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)

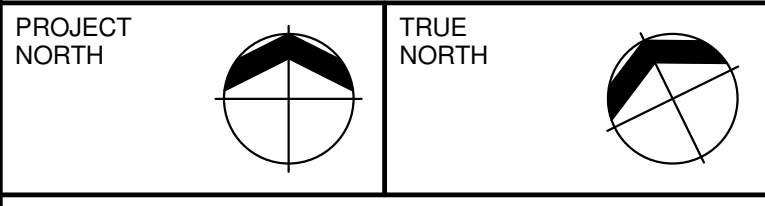
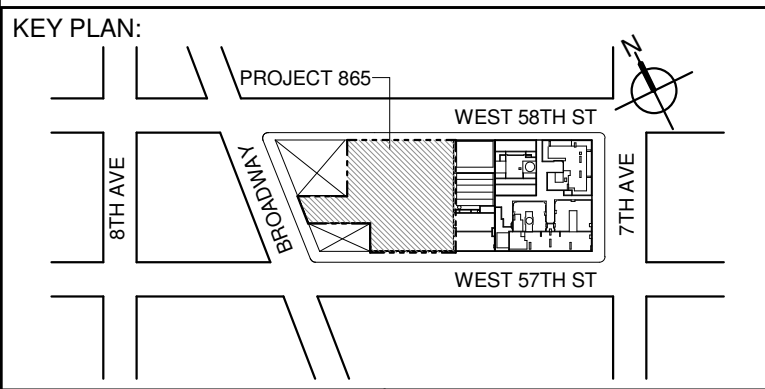
G - GAP FROM ADJACENT BUILDING

--- DEVELOPMENT LOT LINE

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** LENGTH AND WIDTH DIMENSIONS FOR COMPLEX SHAPES HAVE BEEN SIMPLIFIED TO ILLUSTRATE ONLY LARGEST OVERALL DIMENSION RESPECTIVELY. AREA DOCUMENTED IS THE EXACT AREA OF THE COMPLEX SHAPE

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TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
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No.	DESCRIPTION:	DATE:
1	D.O.B. SUBMISSION	05 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
	D.O.B. SUBMISSION	27 APR 14
	D.O.B. AMENDMENT 2	21 SEP 15
	D.O.B. AMENDMENT 3	03 OCT 16

0 10'-8" 21'-4" 42'-8"

D.O.B. SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
ZONING FLOOR AREA PLAN AND DEDUCTIONS
93RD, 94TH, 95TH FLOOR

SEAL & SIGNATURE:

DATE: 05 DEC 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 3/64" = 1'-0"
DWG No:
Z-039.02

DOB PAGE No: 36 of 454
DOB EMPLOYEE STAMP:
DOB B-SCAN:

99TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	155	155	155	0
TOTAL		155	155	0

99TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	143	143	143	0
TOTAL		143	143	0

99TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA(SF)	
RESIDENTIAL	298	298	298	0
TOTAL	298	298	298	0

99TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	ST	99.1	1'-4"	24'-8"	32.9
RESIDENTIAL	M	99.2	6'-9"	16'-8"	111.5
RESIDENTIAL	ST	99.3	0'-8"	9'-7"	6.4
RESIDENTIAL	M	99.4	0'-7"	7'-2"	3.9
SUBTOTAL					154.7

99TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	M	99.5	7'-2"	16'-2"	116.2
RESIDENTIAL	ST	99.6	0'-8"	40'-11"	27.3
SUBTOTAL					143.4

99TH FLOOR ROOF (MFD:137ST FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0"

3

96TH FLOOR AREA CALCULATIONS				
ZONE C5-1				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	96.1	4,808	4,808	0
TOTAL		4,808	4,808	0

96TH FLOOR AREA CALCULATIONS				
ZONE C5-3 MID				
USE	No.	*GFA	*DEDUCTIONS	*ZFA(SF)
RESIDENTIAL	96.2	1,319	1,319	0
TOTAL		1,319	1,319	0

96TH FLOOR AREA CALCULATIONS				
ZONE C5-1 AND C5-3 MID				
USE	*GFA	*DEDUCTIONS	*ZFA(SF)	
RESIDENTIAL	6,127	6,127	6,127	0
TOTAL	6,127	6,127	6,127	0

96TH FLOOR DEDUCTIONS					
ZONE C5-1					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	M	96.1	46'-10"	102'-9"	4,808.3
SUBTOTAL					4,808.3

96TH FLOOR DEDUCTIONS					
ZONE C5-3 MID					
USE	TYPE	No.	LENGTH	WIDTH	AREA(SF)
RESIDENTIAL	M	96.2	16'-5"	80'-2"	1,319.2
SUBTOTAL					1,319.2

96TH FLOOR (MFD:134TH FLOOR) GROSS FLOOR AREA PLAN AND DEDUCTIONS
3/64" = 1'-0"

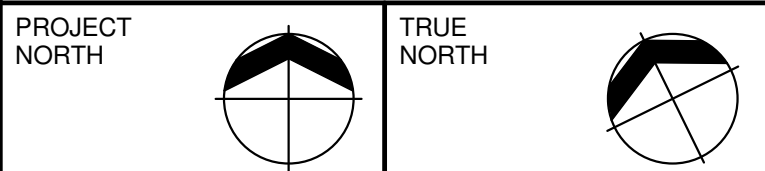
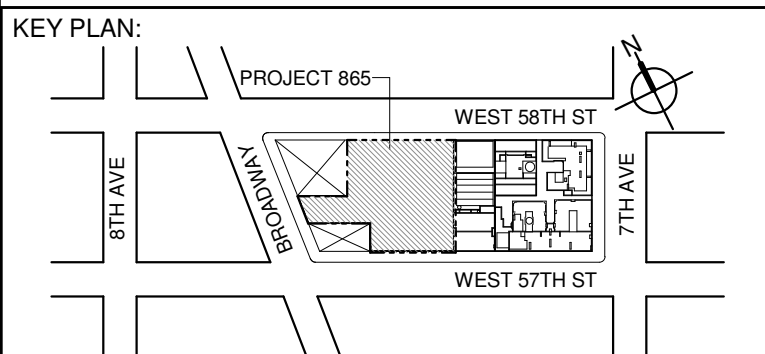
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- ZONING AND DEDUCT LEGEND**
- ☐ DEDUCTIONS
- M - MECHANICAL ROOM / RISER
- E - ELECTRICAL SHAFT / RISER
- P - PLUMBING RISER
- BG - BELOW GRADE
- O - OPENING TO BELOW
- L - LOADING BAYS
- ST - 44" RESI STAIR SHAFT (INCLUDING 6" PERIMETER)
- G - GAP FROM ADJACENT BUILDING
- DEVELOPMENT LOT LINE

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0 10' - 8" 21' - 4" 42' - 8"

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

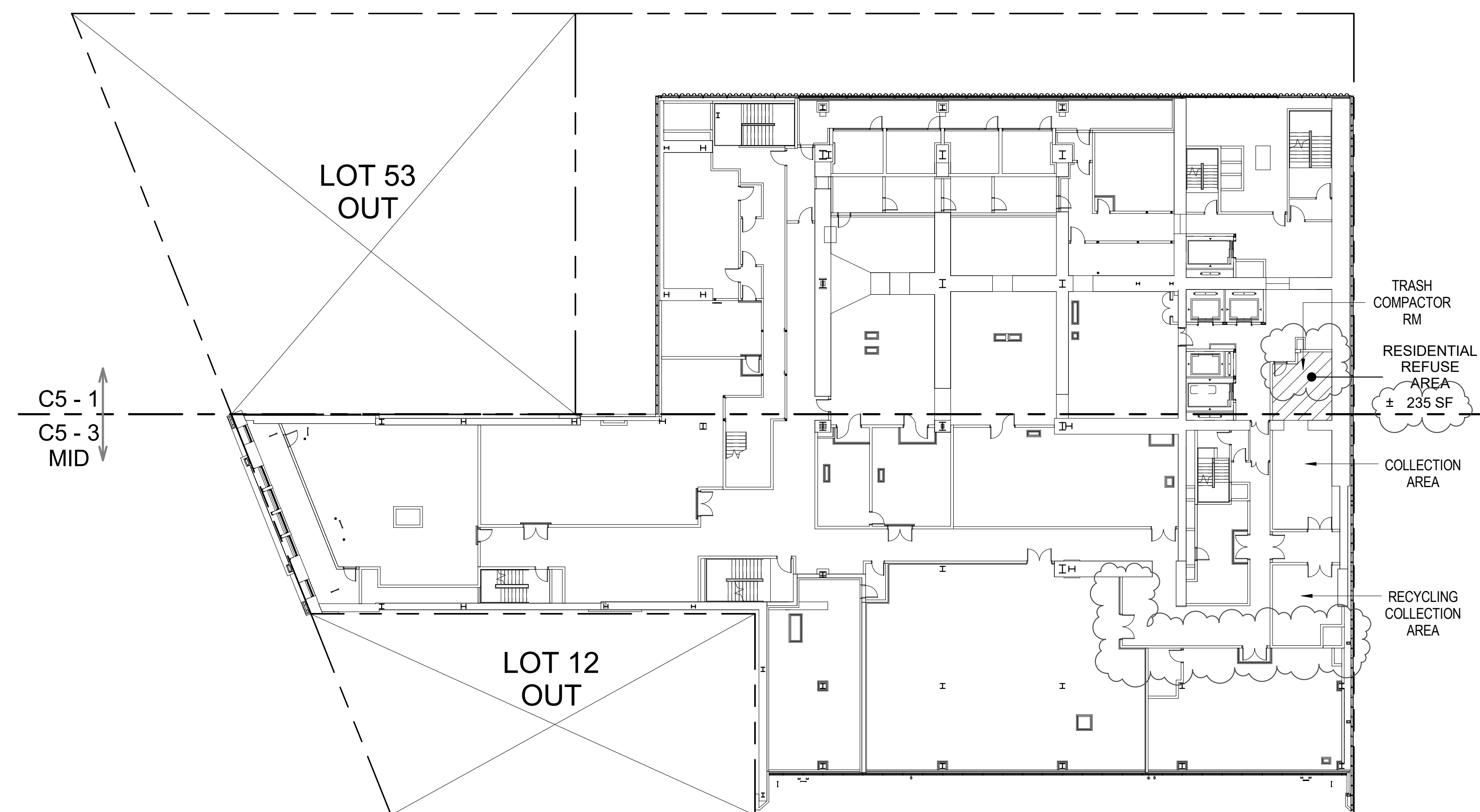
DRAWING TITLE:
ZONING FLOOR AREA PLAN AND DEDUCTIONS
96TH, 97TH, 98TH, 99TH (ROOF) FLOOR

SEAL & SIGNATURE:	DATE:	05 DEC 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	2

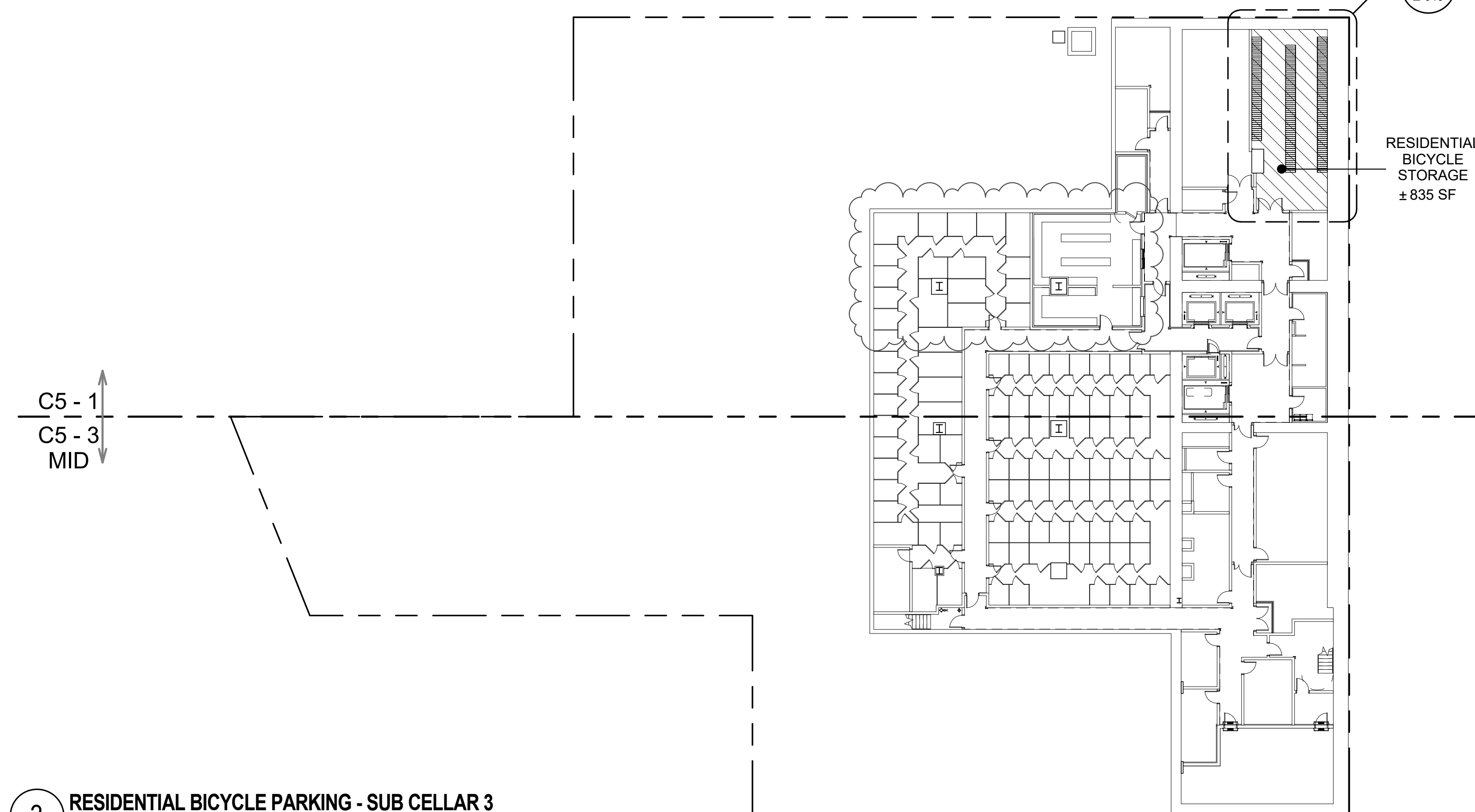
DWG No:
Z-040.02

DOB PAGE No: 37 of 454

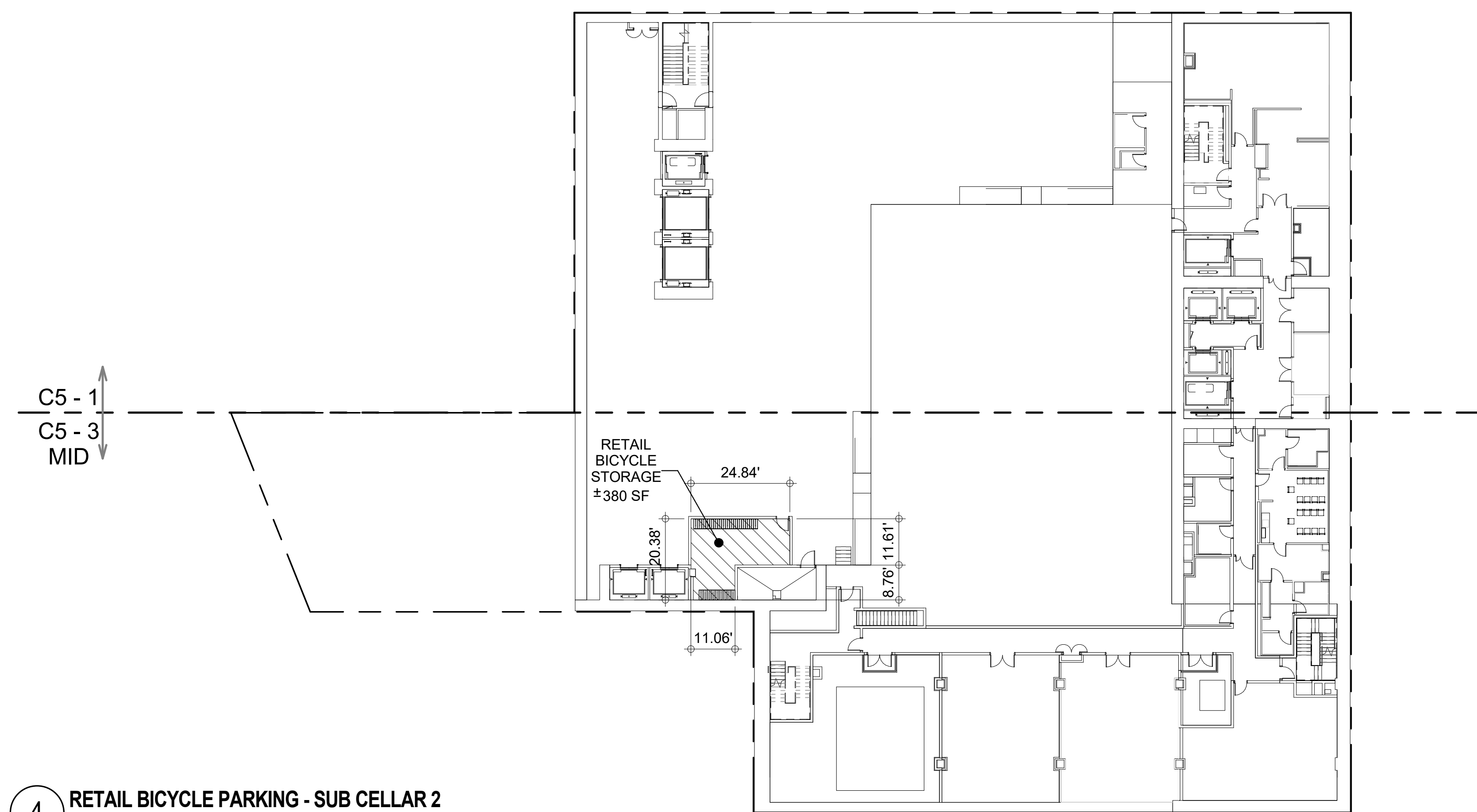
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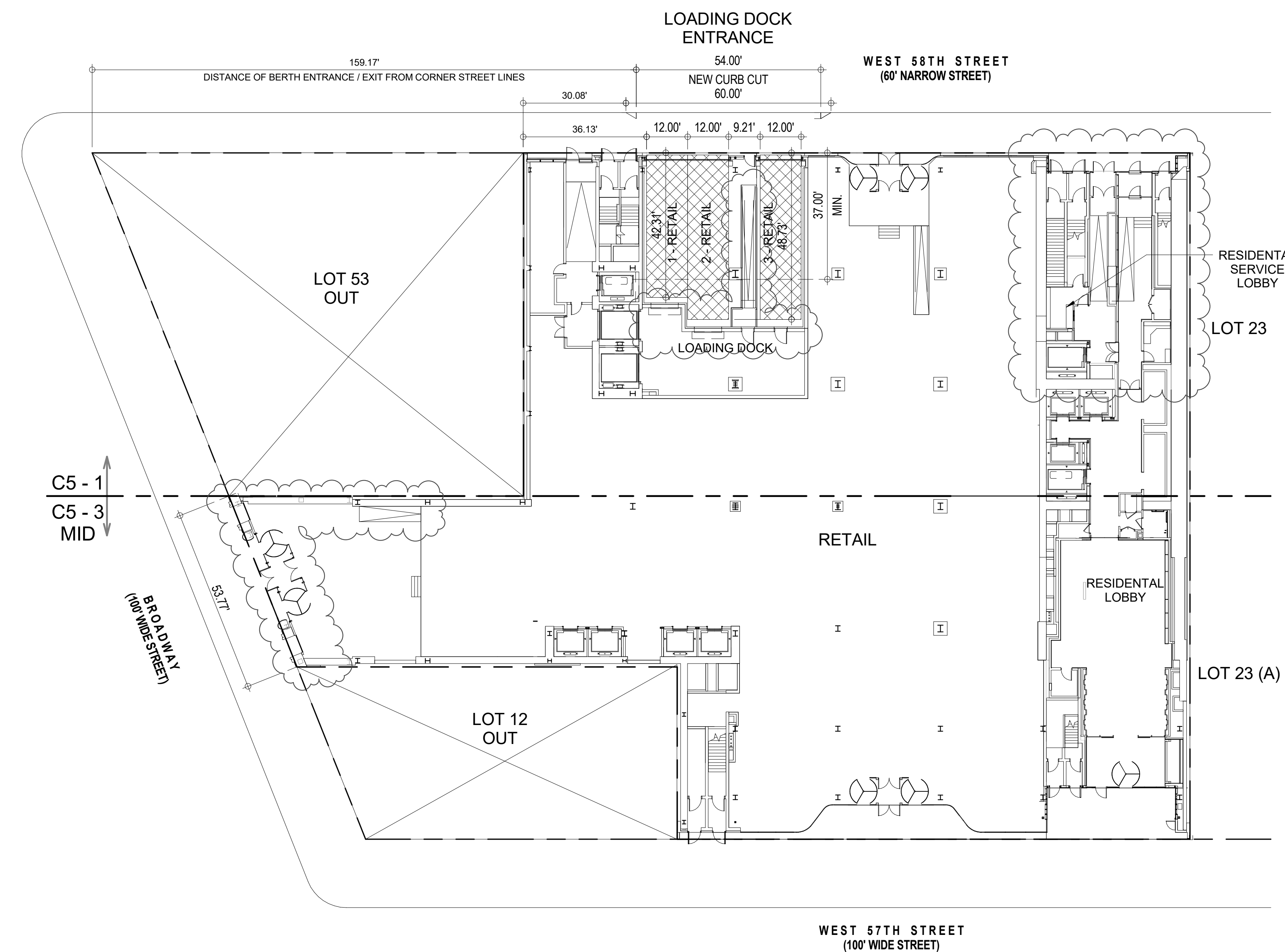
2 CENTRAL REFUSE STORAGE AREA - 7TH FLOOR
3/64" = 1'-0"



3 RESIDENTIAL BICYCLE PARKING - SUB CELLAR 3
3/64" = 1'-0"



4 RETAIL BICYCLE PARKING - SUB CELLAR 2
3/64" = 1'-0"

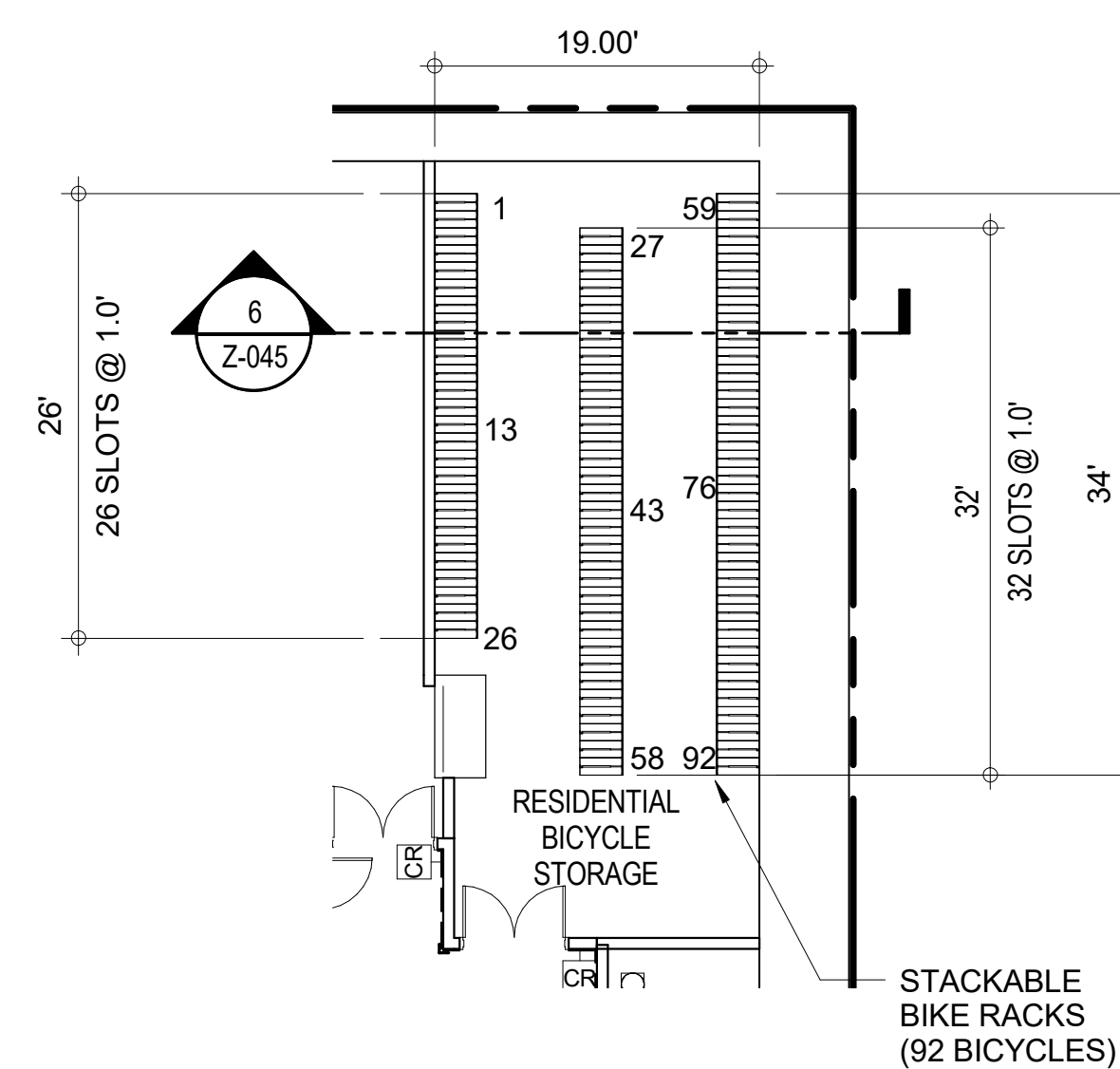


1 CURB CUT AND REQUIRED LOADING BERTHS - GROUND FLOOR
3/64" = 1'-0"

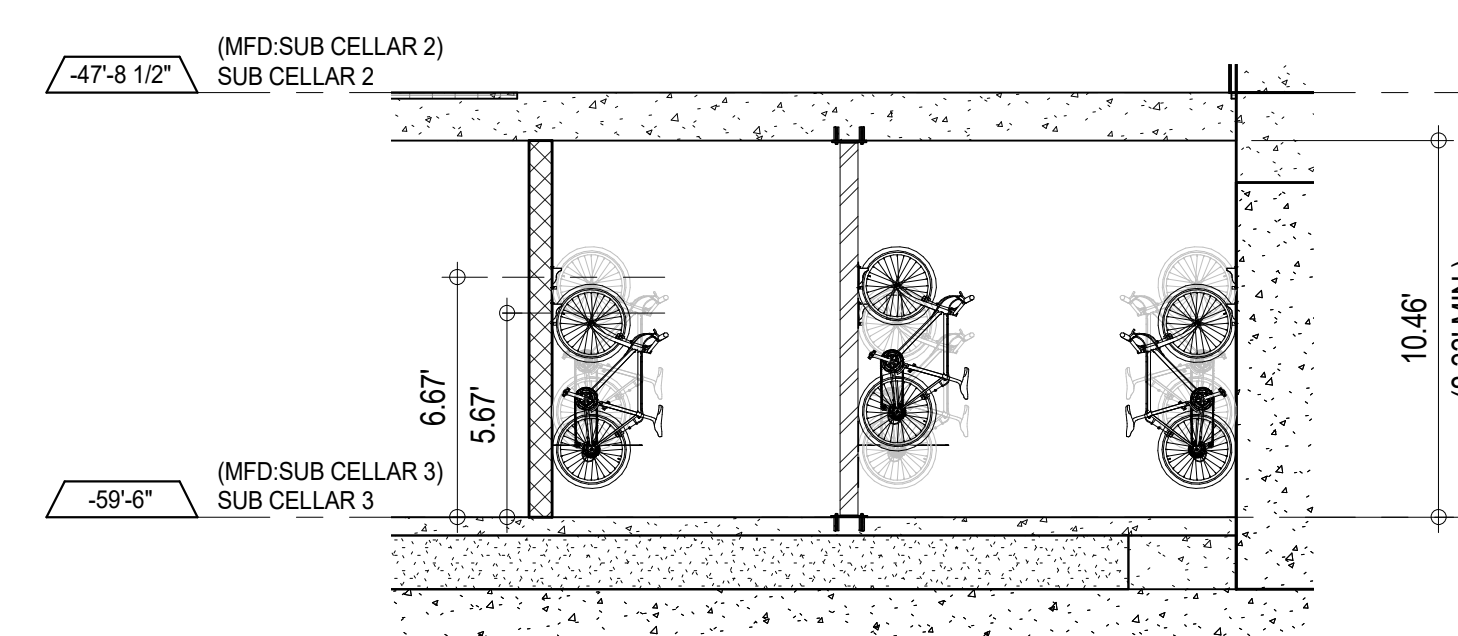
SPECIAL URBAN DESIGN REGULATIONS			
26-00 37-00	CURB CUTS No curb cut on wide streets, one curb cut per zoning lot on Narrow Street. One Curb Cut provided for Narrow Street (West 58th) for Required Loading	(see 1 / Z-045)	COMPLIES
26-16	CENTRAL REFUSE STORAGE AREA Compressed Garbage Area Requirements Refuse Area Required Refuse Area Provided	50 SF x (Lot Area / 10,000 SF) 50 SF x (44,686 SF / 10,000 SF) = 223 SF 235 SF (see 2 / Z-045)	COMPLIES
36-681	SIZE AND LOCATION OF REQUIRED BERTHS Size of Berths for Commercial Uses Retail Berths Provided	Length X Width 37' X 12' (see 1 / Z-045)	COMPLIES
36-682	Location of Berth entrance and exit shall be more than 50 FT from the intersection of any two street lines Distance of Berth to intersection provided	159.17' (see 1 / Z-045)	COMPLIES
36-70 36-73	ENCLOSED BICYCLE PARKING Required Bicycle Parking Required Bicycle Parking With Stackable Bike Racks i) Residential : 1 Bicycle per 2 Dwelling Units Residential Bicycle Parking Provided (With Stackable Racks - see 6 / Z-045) ii) Retail : 1 Bicycle / 10,000 SF Retail Bicycle Parking Provided	15 SF / Bicycle 9 SF / Bicycle 179 D.U. / 2 = 90 BICYCLES (90 X 9 SF) = 810 SF 835 SF (see 3 / Z-045) 238,836 SF / 10,000 = 24 BICYCLES (24 X 15 SF) = 360 SF 380 SF (see 4 / Z-045)	COMPLIES
	Total Bicycle Parking Space Required Total Bicycle Parking Space Provided	(90 X 9 SF) + (24 X 15 SF) = 1170 SF 835 SF + 380 SF = 1215 SF	COMPLIES

LEGEND

- BICYCLE STORAGE
- REFUSE AREA
- LOADING BERTHS

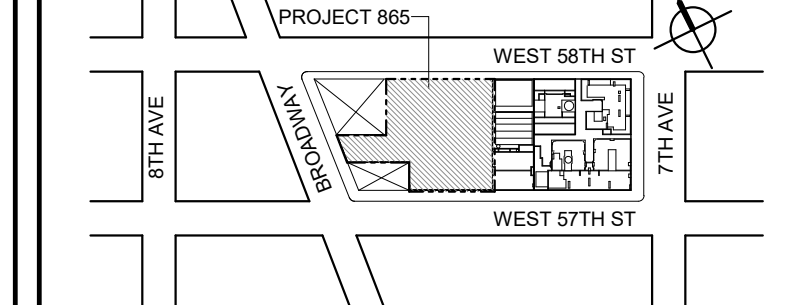


5 PLAN DETAIL - RESIDENTIAL BICYCLE PARKING
3/32" = 1'-0"



6 SECTION - RESIDENTIAL BICYCLE PARKING
3/16" = 1'-0"

KEY PLAN



DEVELOPER:
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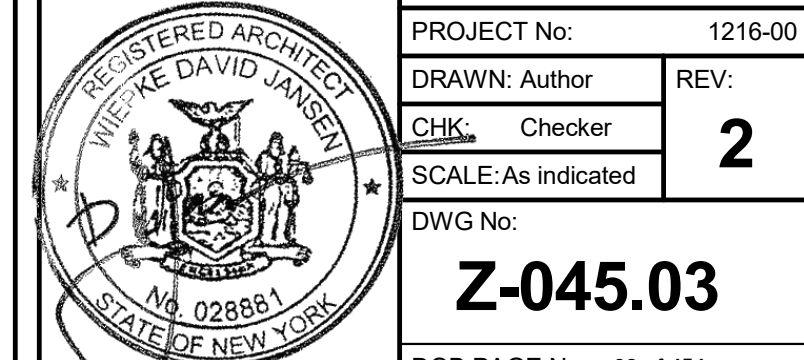
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

**SPECIAL URBAN DESIGN
REGULATIONS C5-1**

SEAL & SIGNATURE:




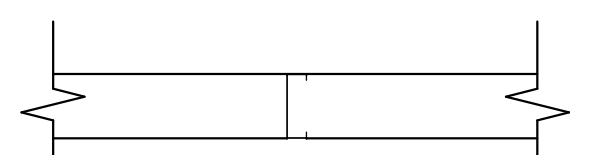


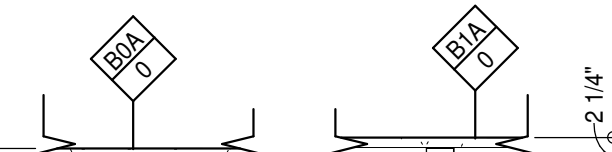
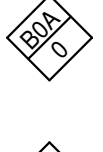
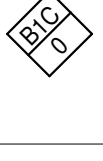

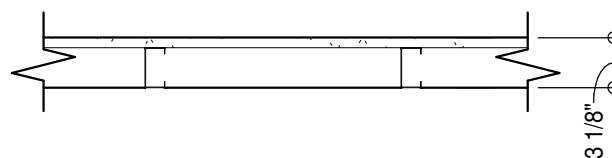


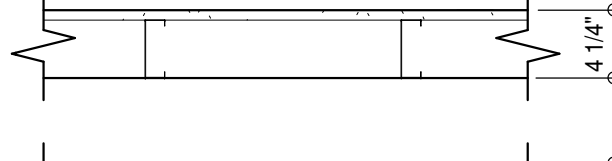
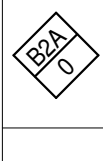


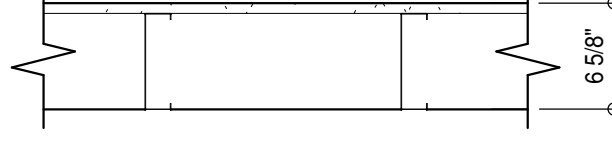
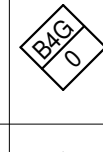

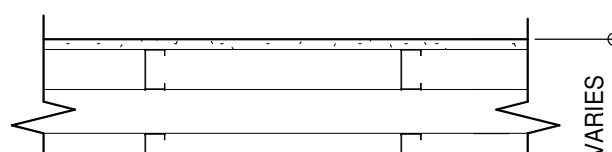
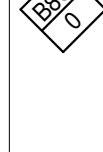


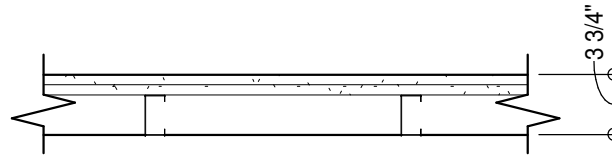


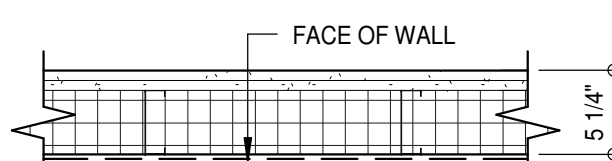
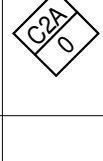




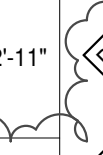
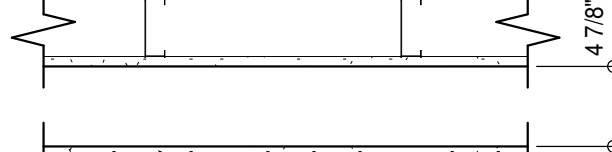
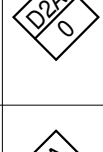
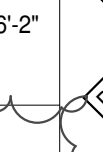

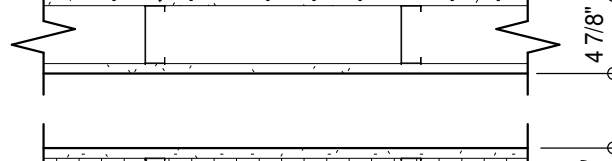
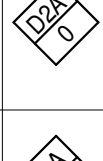

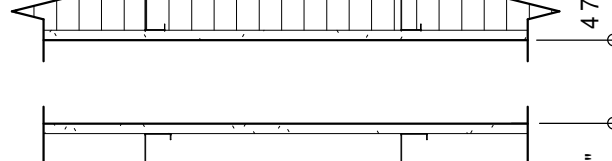
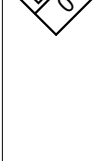


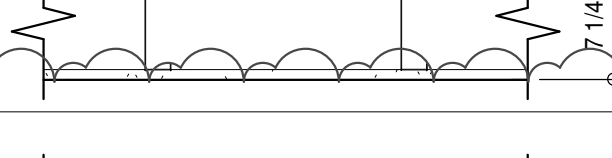


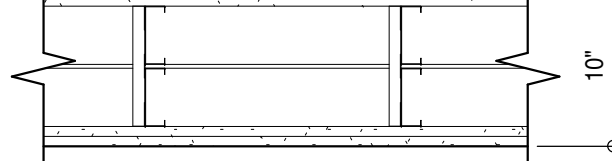
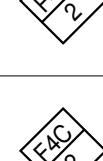


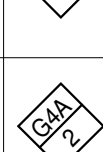

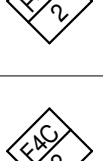




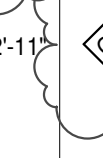
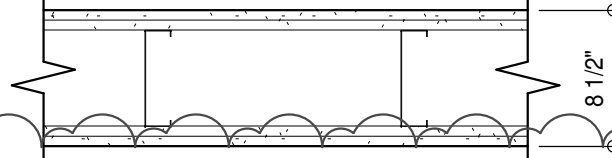

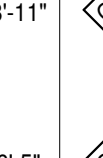

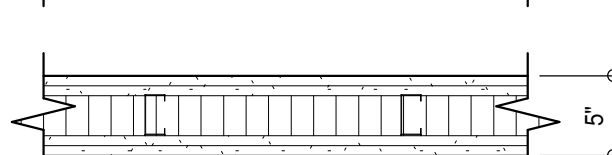

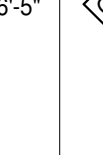
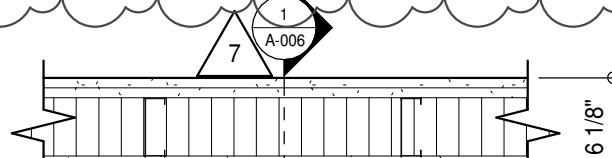

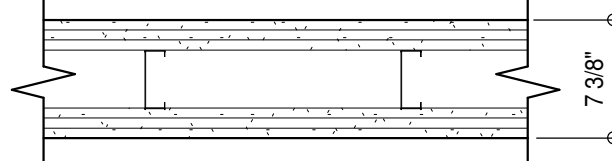
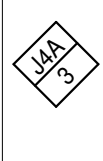

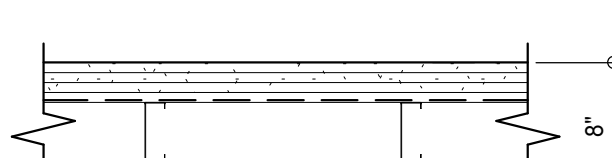

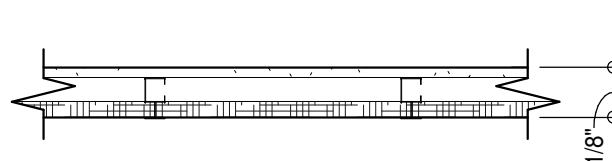
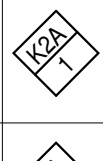

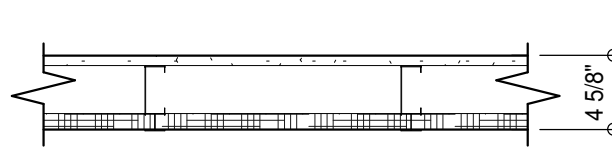
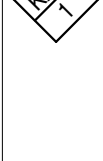


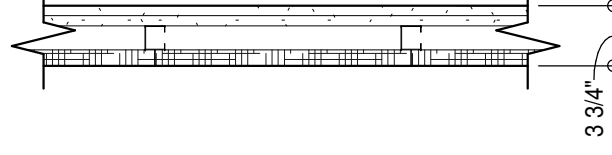
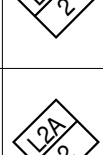
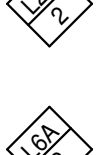
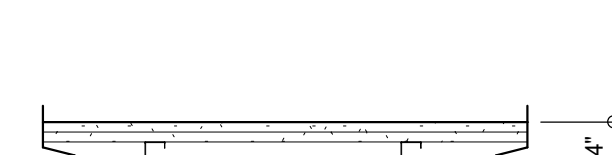
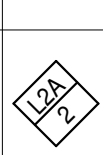


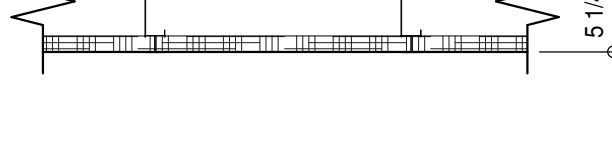
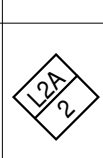

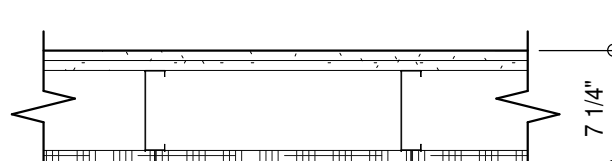
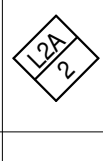



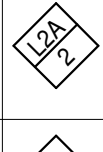

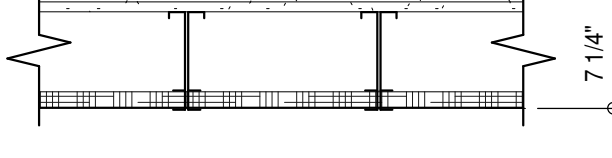
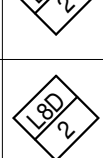


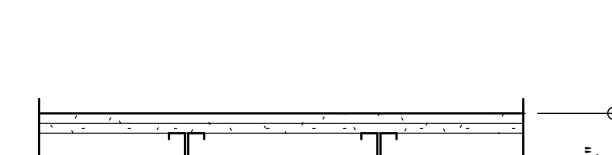
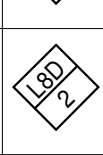
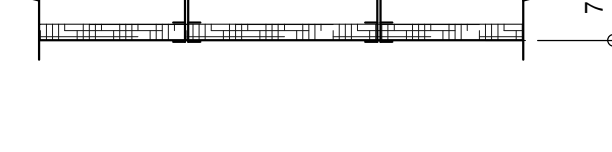
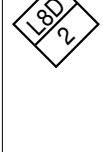

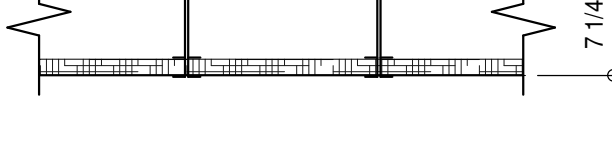
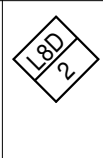

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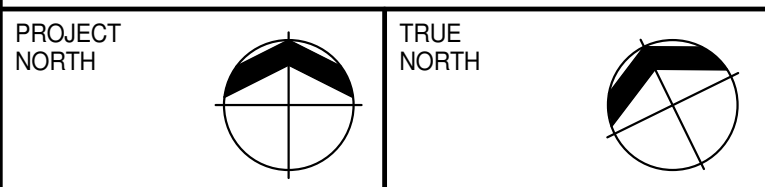
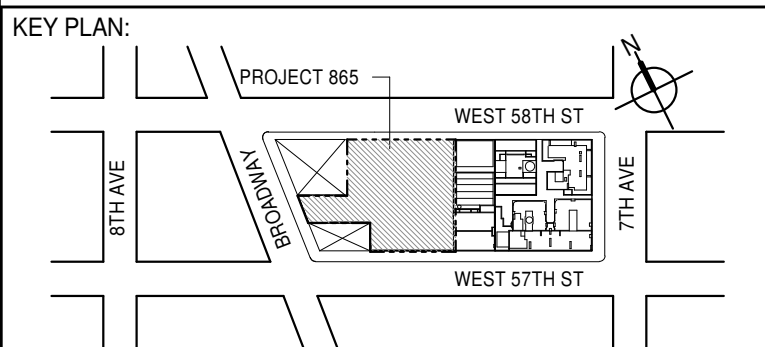
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DOB B-SCAN:

GYPSUM BOARD PARTITION NUMBERING STRATEGY

ASSEMBLY TYPE	STUD / CHANNEL SIZE	SPECIAL
A	X NONE 0 1 5/8" 1 1 5/8" 2 2 1/2" 3 3 1/2" 4 3 5/8" 5 4" 6 4" 7 4" 8 6" 9 6"	A NONE B 1 LAYER 5/8" ALUMINUM FOIL BACKED C 1 LAYER 5/8" V.H. ABUSE-RESISTANT GYPSUM BOARD ON OCCUPANT SIDE D DOUBLE STUD SPACING INDICATED WITH 1 LAYER 5/8" V.H. ABUSE-RESISTANT GYPSUM BOARD ON OCCUPANT SIDE E WALLS SUPPORTING STONE CLADDING MIN. 16 GA. STEEL STUDS F WALLS SUPPORTING STONE CLADDING MIN. 16 GA. STEEL STUDS AT 1'-0" O.C. G USE GLASS MAT PANELS, MOLD TOUGH, V.H. FIRECODE X H POCKET DOOR CAVITY WITH MINERAL WOOL BATT INSULATION I SOUND ATTENUATION BLANKET THICKNESS MATCHING STUD CAVITY, PROVIDE SEALANTS AS PER DETAIL 1/A-006 J THERMALLY INSULATED 3" CW VAPOR BARRIER TO SAUNA SIDE K 2" or 3" SOUND ATTENUATION BLANKET IN CAVITY WITH (3) LAYER OF 5/8" GYPSUM BOARD L THERMALLY INSULATED 1" R-BATT INSULATION M 2" or 3" SOUND ATTENUATION BLANKET IN CAVITY WITH 1 LAYER 5/8" V.H. ABUSE-RESISTANT GYPSUM BOARD ON OCCUPANT SIDE N FIRE-RATED STAIR SOFFIT ASSEMBLY O FIRE-RATED HORIZONTAL GYPSUM ENCLOSURE ASSEMBLY
B		
C		
D		
E		
F		
G		
H		
I		
J		
K		
L		
M		
N		
O		
P		
Q		
R		
GYPSUM BOARD PARTITION CEILING NOTES		
GYPSUM BOARD PARTITION SYMBOL		
GENERAL NOTES		
PARTITION & WALL PRIORITY LEGEND		
SECTION DETAIL - TYP. UNIT DEMISING WALL		
PLAN DET. - TYP. FINISH ON ALL OVAL/ROUND COLUMNS		

GYPSUM BOARD PARTITION SCHEDULE

PARTITION DESIGNATION	FIRE RATING	FIRE RESISTANCE REPORT No.	ASSEMBLY DIAGRAM	DESCRIPTION	HEIGHT LIMITATIONS			STEEL FRAMING
					AIR PRESSURE	ALLOWABLE DEFLECTION	LIMITING HEIGHT	
	NOT RATED	N/A		1 LAYER 1" CEDAR WOOD ONE SIDE.	5 psf	L/360	 13'-6"	 3 5/8" - 16 GA. STEEL STUDS @ 16" O.C.
	NOT RATED	N/A		1 LAYER 5/8" GYPSUM BOARD ONE SIDE.				 7/8" FURRING CHANNEL  1 5/8" METAL CHANNEL
	NOT RATED	N/A		1 LAYER 5/8" GYPSUM BOARD ONE SIDE.	5 psf	L/240	 11'-7"	 2 1/2" - 20 GA. STEEL STUDS @ 16" O.C.
	NOT RATED	N/A		1 LAYER 5/8" GYPSUM BOARD ONE SIDE.	5 psf	L/360	 10'-2"	 3 5/8" - 20 GA. STEEL STUDS @ 16" O.C.
	NOT RATED	N/A		1 LAYER 5/8" GYPSUM BOARD ONE SIDE.			 16'-3"	 3 5/8" - 16 GA. STEEL STUDS @ 16" O.C.
	NOT RATED	N/A		POCKET DOOR CAVITY 1 LAYER 5/8" GYPSUM BOARD ONE SIDE. 1 1/2" MINERAL WOOL BATT INSULATION. POCKET DOOR SPACE. 1 1/2" MINERAL WOOL BATT INSULATION. 1 LAYER 5/8" GYPSUM BOARD ONE SIDE.			 26'-2"	 6" - 20 GA. STEEL STUDS @ 16" O.C.
	NOT RATED	N/A		2 LAYER 5/8" GYPSUM BOARD ONE SIDE.	5 psf	L/240	 11'-7"	 2 1/2" - 20 GA. STEEL STUDS @ 16" O.C.
	NOT RATED	N/A		2 LAYER 5/8" WATER RESISTANT GYPSUM BOARD ONE SIDE. 4" INSULATION WATER PROOF MEMBRANE ON CONCRETE OR CONCRETE BLOCK WALL		L/360	 10'-2"	 4" - 20 GA. STEEL STUDS @ 16" O.C.
	NOT RATED	N/A		1 LAYER 5/8" GYPSUM BOARD BOTH SIDES.	5 psf	L/240	 11'-7"	 2 1/2" - 20 GA. STEEL STUDS @ 16" O.C.
	1 HOUR	U419		1 LAYER 5/8" GYPSUM BOARD, FIRECODE CORE BOARD BOTH SIDES.	5 psf	L/360	 10'-2"	 2 1/2" - 16 GA. STEEL STUDS @ 12" O.C.
	NOT RATED	N/A		1 LAYER 5/8" GYPSUM BOARD BOTH SIDES.	7.5 psf	L/240	 10'-2"	 3 5/8" - 20 GA. STEEL STUDS @ 16" O.C.
	NOT RATED	N/A		1 LAYER 5/8" GYPSUM BOARD BOTH SIDES. 1 1/2" MINERAL WOOL BATT INSULATION.	10 psf	L/240	 9'-2"	 6" - 20 GA. STEEL STUDS @ 16" O.C.
	1 HOUR	U419		1 LAYER 5/8" GYPSUM BOARD, FIRECODE CORE BOARD BOTH SIDES.			 12'-3"	 5" - 16 GA. STEEL STUDS @ 16" O.C.
	2 HOUR	U436		CORE STAIR DIVIDING WALL 2 LAYERS 5/8" GYPSUM BOARD, FIRECODE CORE BOTH SIDES, OUTER LAYER V.H. ABUSE-RESISTANT 2 ROWS 3/8" STL STUDS SPACED 1/4" APART WITH 3/8" STL STUD BRACING MAX 60" O.C. SPACING FASTENED TO EACH STUD.	10 psf	L/120 L/240 L/360	 12'-5"  12'-3"  16'-4"  15'-10"  12'-1"	 3 5/8" - 20 GA. STEEL STUDS @ 16" O.C.  3 5/8" - 18 GA. STEEL STUDS @ 16" O.C.
	2 HOUR	U423		2 LAYERS 5/8" GYPSUM BOARD, FIRECODE CORE BOTH SIDES.	5 psf	L/240	 10'-7"	 2 1/2" - 20 GA. STEEL STUDS @ 24" O.C.
	2 HOUR	U423		2 LAYERS 5/8" GYPSUM BOARD, FIRECODE CORE BOTH SIDES.	7.5 psf	L/240	 13'-6"	 3 5/8" - 20 GA. STEEL STUDS @ 16" O.C.
	NOT RATED	U419		2 LAYERS 5/8" GYPSUM BOARD, FIRECODE CORE BOTH SIDES. 24" O.C. STEEL STUD SPACING w/ 2 1/2" MINERAL WOOL BATT INSULATION.	10 psf	L/240	 12'-3"	 6" - 20 GA. STEEL STUDS @ 16" O.C.
	1 HOUR	U419		DEMISING WALL 2 LAYERS 5/8" GYPSUM BOARD, FIRECODE CORE BOTH SIDES. 24" O.C. STEEL STUD SPACING w/ 3 5/8" MINERAL WOOL BATT INSULATION.				
	3 HOURS	UL DESIGN U419		3 LAYERS 5/8" GYPSUM BOARD, FIRECODE CORE BOTH SIDES.	5 psf	L/240	 15'-6"	 3 5/8" - 20 GA. STEEL STUDS @ 16" O.C.
	3 HOURS	UL DESIGN U419 (OR U450)		3 LAYERS 5/8" WATER RESISTANT GYPSUM BOARD, FIRECODE "C" CORE, ON OUTER SIDE RC-1 CHANNEL OR EQUIVALENT ONE SIDE, SPACED @ 24" O.C. 3" THERMAPRIMER 1 LAYER 5/8" ALUMINUM FOIL BACKED GYPSUM BOARD, FIRECODE "C" CORE 2 LAYERS 5/8" GYPSUM BOARD, FIRECODE "C" CORE, ON INNER SIDE.				
	1 HOUR	U415		CAVITY SHAFT WALL 1 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	5 psf	L/240	 12'-3"	 2 1/2" - 20 GA. (C-H) STUDS @ 24" O.C.
	1 HOUR	U415		CAVITY SHAFT WALL 1 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.		L/360	 10'-10"	 15'-3"
	2 HOUR	UL DESIGN U415		CAVITY SHAFT WALL 2 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	5 psf	L/240	 12'-10"	 2 1/2" - 20 GA. (C-H) STUDS @ 24" O.C.
	2 HOUR	UL DESIGN U415		CAVITY SHAFT WALL 2 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.		L/360	 11'-7"	 16'-2"
	2 HOUR	UL DESIGN U415		CAVITY SHAFT WALL 2 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	7.5 psf	L/240	 11'-3"	 15'-9"
	2 HOUR	UL DESIGN U415		CAVITY SHAFT WALL 2 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	10 psf	L/240	 10'-2"	 14'-4"
	2 HOUR	UL DESIGN U415		CAVITY SHAFT WALL 2 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.		L/360	 9'-2"	 12'-10"
	2 HOURS			CAVITY SHAFT WALL WITH 6" (DOUBLE-EI) STUDS 2 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	5 psf	L/240	 28'-0"	 6" - 20 GA. (DOUBLE-EI) STUDS @ 12" O.C.
	2 HOURS			CAVITY SHAFT WALL WITH 6" (DOUBLE-EI) STUDS 1 LAYER 5/8" V.H. ABUSE-RESISTANT GYPSUM BOARD LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	7.5 psf	L/240	 26'-3"	
	2 HOURS			CAVITY SHAFT WALL WITH 6" (DOUBLE-EI) STUDS 1 LAYER 5/8" V.H. ABUSE-RESISTANT GYPSUM BOARD LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	10 psf	L/240	 24'-0"	
	2 HOURS			CAVITY SHAFT WALL WITH 6" (DOUBLE-EI) STUDS 1 LAYER 5/8" V.H. ABUSE-RESISTANT GYPSUM BOARD LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	15 psf	L/240	 20'-0"	
	2 HOURS			CAVITY SHAFT WALL WITH 6" (DOUBLE-EI) STUDS 1 LAYER 5/8" V.H. ABUSE-RESISTANT GYPSUM BOARD LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.				



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CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 808
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LANDMARK/PRESERVATION CONSULTANT: **Jan Hind Pokorny Associates, Inc.**
39 West 37th Street, 12A
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No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 4	15 JUL 16
13	CD BULLETIN ISSUE - 7	14 SEP 16
14	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE: **PARTITION SCHEDULE - 1**

SEAL & SIGNATURE: **DAVID L. LAM** DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV: 12

CHECKED: Checker





















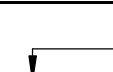
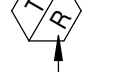
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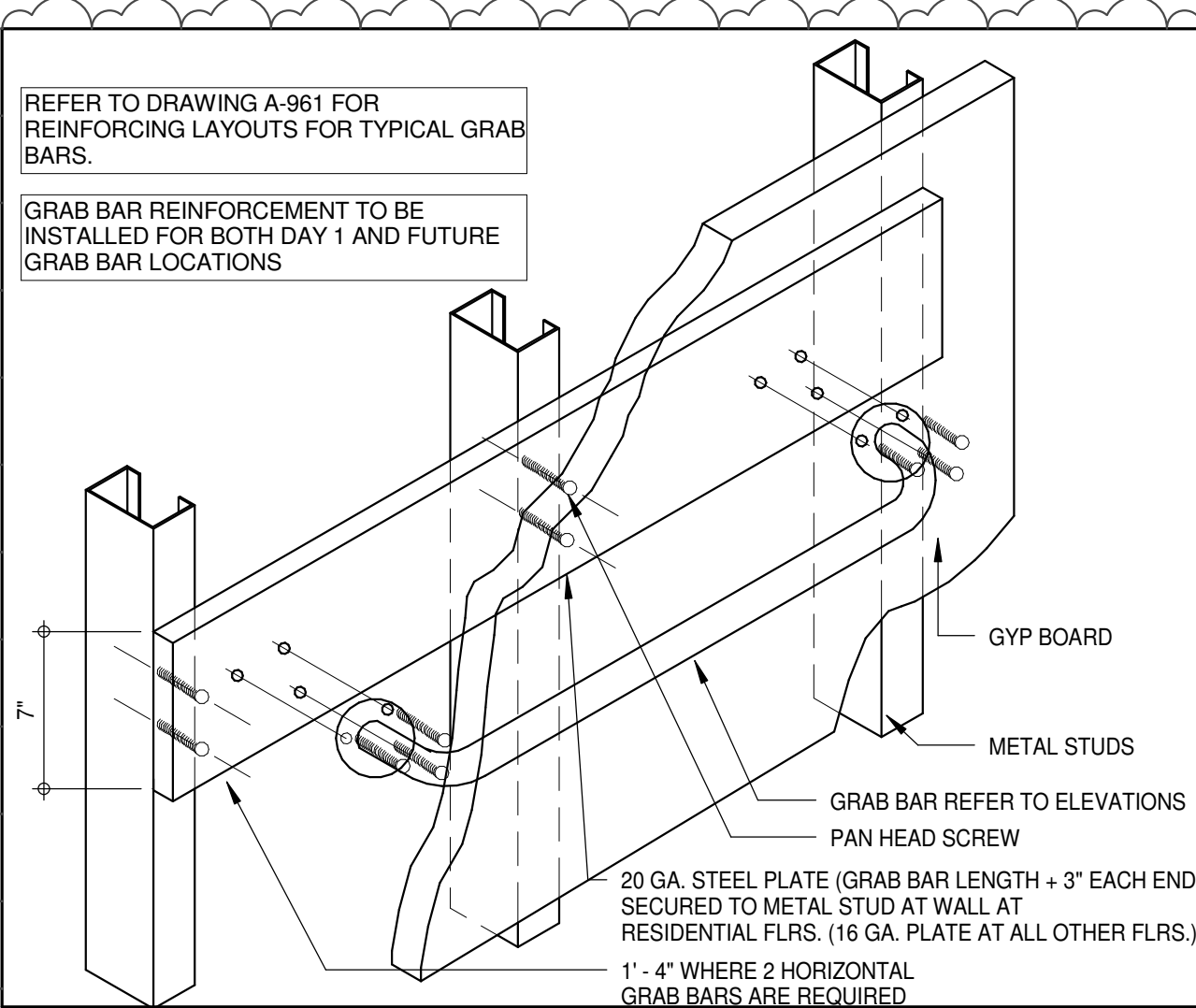
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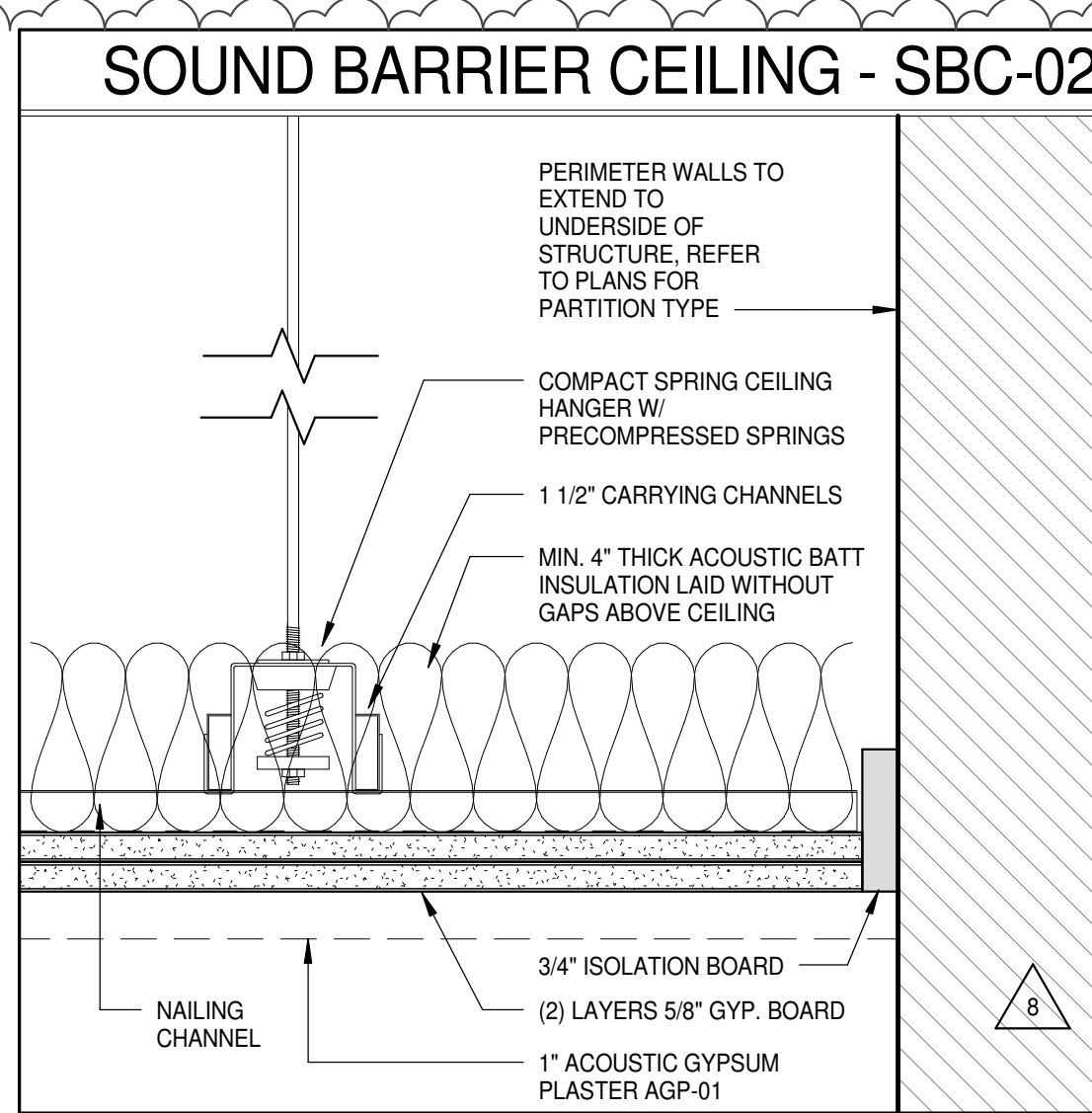
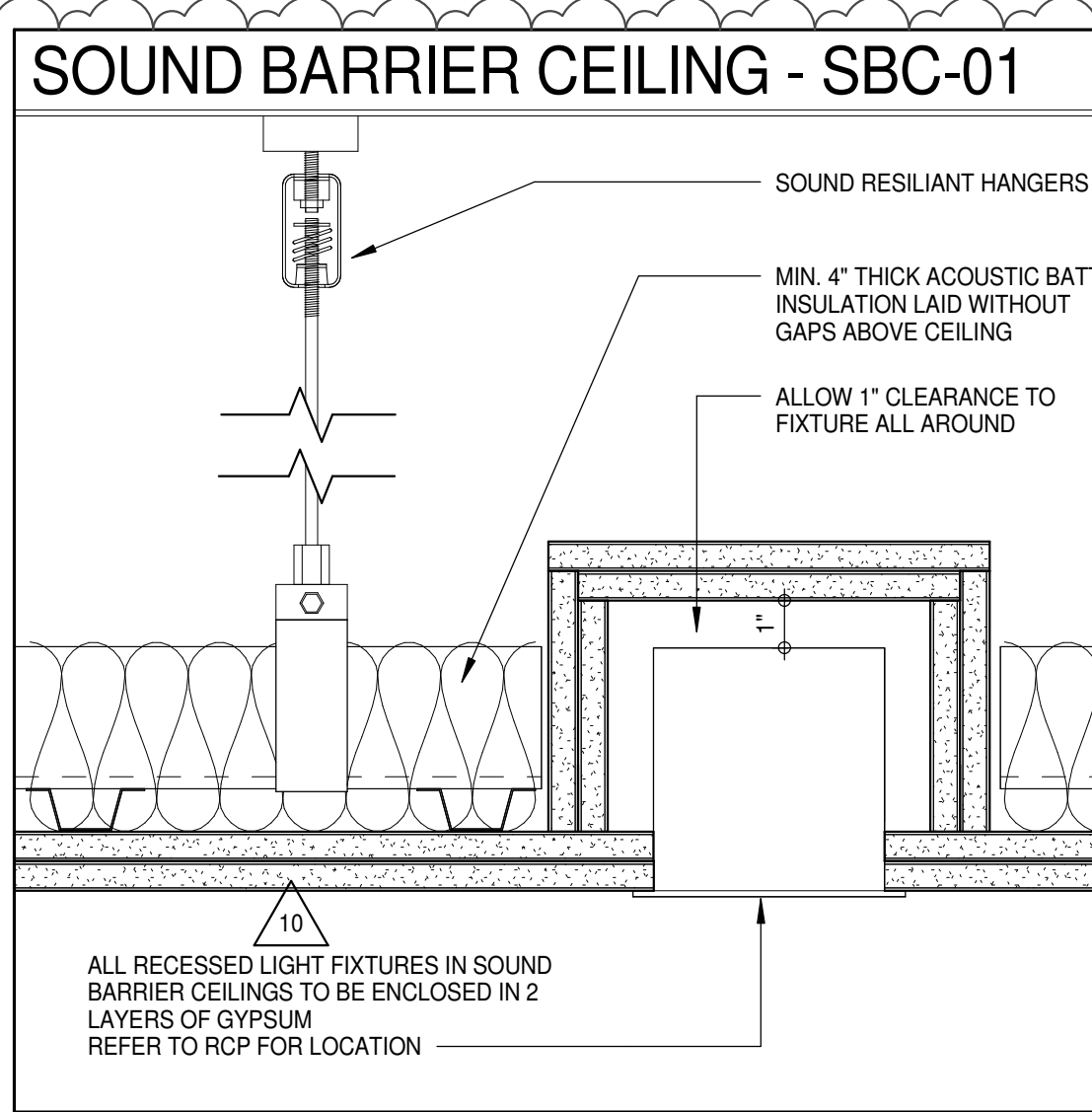
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BLOCK WALL PARTITION SCHEDULE

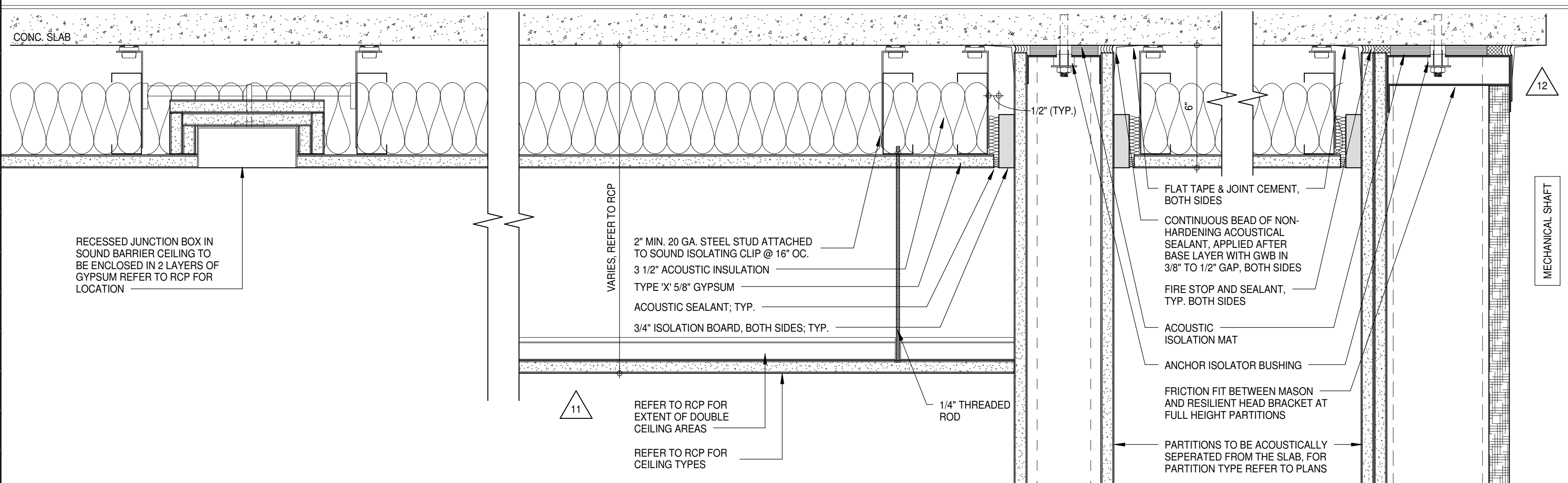
WALL TYPE	THICKNESS (T)	FIRE RESISTANCE		TYPE OF UNIT			UL TEST NUMBER	MEA/BSA NUMBER	REMARKS
		NORMAL WEIGHT	LIGHT WEIGHT	HOLLOW UNIT	75% SOLID	SOLID UNIT			
4" UNIT									
	3.5" (4")		0	■					
	3.5" (4")		1	■					
6" UNIT									
	5.5" (6")		0	■					
	5.5" (6")		1	■			U906	MEA 87-47-am	
	5.5" (6")		2	■	■		U906	MEA 87-47-am	
8" UNIT									
	7.5" (8")		0	■					
	7.5" (8")		1	■			U905	MEA 87-47-am	
	7.5" (8")		2	■			U905	MEA 87-47-am	
	7.5" (8")		3	■	■		U907	MEA 87-47-am	
	7.5" (8")		4	■	■		U901	MEA 87-47-am	
10" UNIT									
	9.5" (10")		0	■					
	9.5" (10")		1	■			U906	MEA 87-47-am	
	9.5" (10")		2	■			U906	MEA 87-47-am	
	9.5" (10")		3	■			U904	MEA 87-47-am	
	9.5" (10")		4	■	■		U901	MEA 87-47-am	
12" UNIT									
	11.5" (12")		0	■					
	11.5" (12")		1	■			U905	MEA 87-47-am	
	11.5" (12")		2	■			U905	MEA 87-47-am	
	11.5" (12")		3	■			U904	MEA 87-47-am	
	11.5" (12")		4	■	■		U901	MEA 87-47-am	
MASONRY SYMBOLS									REMARKS:
		NOMINAL BLOCK THICKNESS (T)							• FOR MASONRY UNIT SCHEDULE REFER TO STRUCTURAL
		FIRE RESISTANCE RATING							• FOR DEFLECTION AND LATERAL STEEL SUPPORT REFER TO STRUCTURAL
									• FOR HEIGHT LIMITS AND REINFORCING REQUIREMENTS REFER TO STRUCTURAL DRAWINGS.




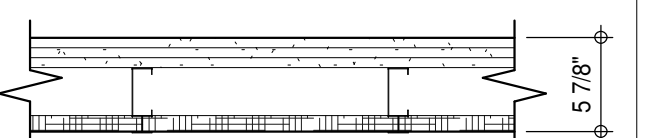




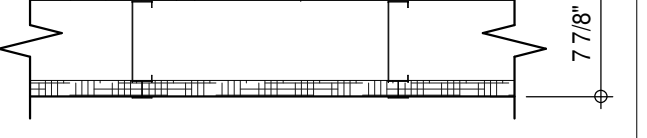


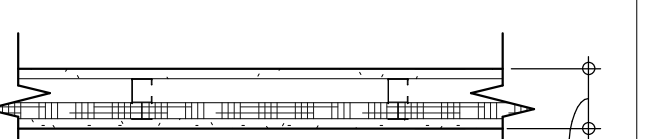







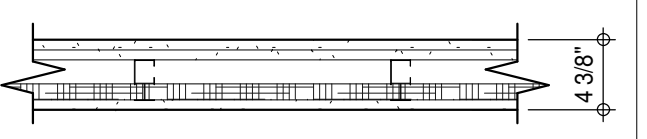





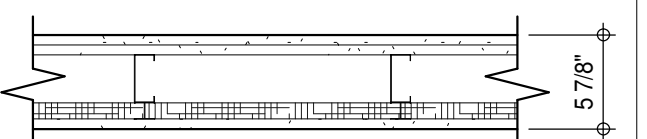





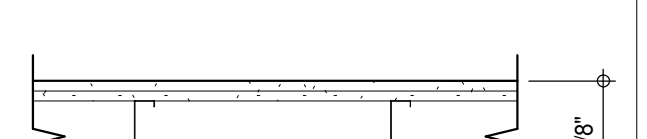





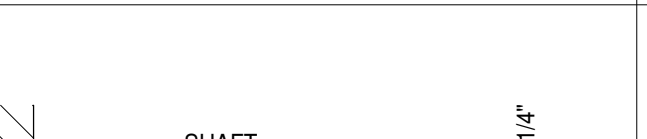





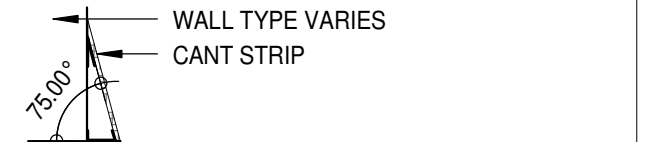

TYPICAL DETAIL AXO. - GRAB BAR REINFORCEMENT
















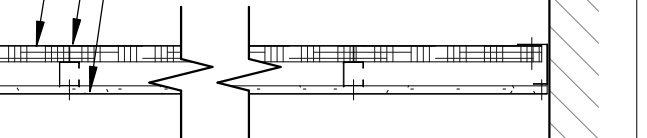



















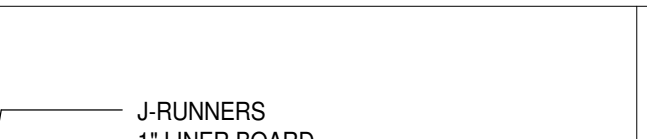




SOUND BARRIER CEILING - SBC-03



GYPSUM BOARD PARTITION SCHEDULE

PARTITION DESIGNATION	FIRE RATING	FIRE RESISTANCE REPORT No.	ASSEMBLY DIAGRAM	DESCRIPTION	HEIGHT LIMITATIONS			STEEL FRAMING
					AIR PRESSURE	ALLOWABLE DEFLECTION	LIMITING HEIGHT	
	3 HOUR	UL DESIGN U415		CAVITY SHAFT WALL 3 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.	7.5 psf	L240	 19'-9"  19'-0"	 4" - 20 GA. (C-H) STUDS @ 24" O.C.
	3 HOUR	UL DESIGN U415		CAVITY SHAFT WALL 3 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS.				 6" - 20 GA. (C-H) STUDS @ 24" O.C.
	2 HOURS	UL DESIGN U415		CAVITY SHAFT WALL 1 LAYER 5/8" GYPSUM BOARD BOTH SIDES. 1" LINER BOARD BETWEEN STUDS	5 psf	L240	 13'-0"	 2 1/2" 20 GA. (C-H) STUDS @ 24" O.C.
						L360	 11'-6"	
					7.5 psf	L240	 11'-5"	
					10 psf	L240	 10'-4"	
						L360	 9'-1"	
	2 HOURS	UL DESIGN U415		CAVITY SHAFT WALL (STAIRS) 2 LAYERS 5/8" GYPSUM BOARD ONE SIDE 1" LINER BOARD BETWEEN STUDS 1 LAYER 5/8" GYPSUM BOARD ONE LINER SIDE.	5 psf	L240	 12'-10"  18'-1"  21'-9"	 2 1/2" - 20 GA. (C-H) STUDS @ 24" O.C.
	2 HOURS	UL DESIGN U415		IMPACT RESISTANT CAVITY SHAFT WALL (STAIRS) 1 LAYER 5/8" VH ABUSE-RESISTANT GYPSUM BOARD 1 LAYER 5/8" GYPSUM BOARD FIRE CORE STUDS 1 LAYER 5/8" VH ABUSE-RESISTANT GYPSUM BOARD	7.5 psf	L240	 11'-7"  16'-2"  20'-0"	 4" - 20 GA. (C-H) STUDS @ 24" O.C.
	2 HOURS	UL DESIGN U415		IMPACT RESISTANT CAVITY SHAFT WALL (STAIRS) 1 LAYER 5/8" VH ABUSE-RESISTANT GYPSUM BOARD 1 LAYER 5/8" GYPSUM BOARD FIRE CORE STUDS 1 LAYER 5/8" VH ABUSE-RESISTANT GYPSUM BOARD	10 psf	L240	 10'-2"  14'-4"  17'-4"	 6" - 20 GA. (C-H) STUDS @ 24" O.C.
	2 HOUR	UL DESIGN U505 BSA98-47-SM EQUIVALENT TO MEA		SOLID VERTICAL SHAFT WALL 1 LAYER 5/8" GYPSUM BOARD, FIRECODE CORE. 1 LAYER 1" GYPSUM LINER BOARD. 1 LAYER 5/8" GYPSUM BOARD, FIRECODE CORE.	5 psf	L240	 12'-0"	 1" x 2" PERIMETER ANGLE 25 GA.
								 1" x 2" PERIMETER ANGLE 25 GA.
	NOT RATED	N/A		CANT STRIP 5/8" GYPSUM BOARD CANT STRIP AT 75° ANGLE NOTE: TYPICAL IN ELEVATOR SHAFTS WHERE ANY PROJECTION EXCEEDS 3" IN DEPTH.				 20 GA. BENT PLATES

CEILING TYPE SCHEDULE

MEMBRANE DESIGNATION	FIRE RATING	FIRE RESISTANCE REPORT No.	ASSEMBLY DIAGRAM	DESCRIPTION	SPAN LIMITATIONS		STEEL FRAMING
					ALLOWABLE DEFLECTION	LIMITING SPAN	
	1 HOURS	UL DESIGN U489 AER-09038		CORRIDOR CEILING AND STAIR SOFFIT 1 LAYERS 1/2" GYPSUM BOARD FIRECODE C CORE. C-H STUDS @ 24" O.C. 1" LINER BOARD BETWEEN STUDS.	L240	 8'-6"  10'-4"  9'-3"  14'-11"  18'-6"	 2 1/2" - 25 GA. (C-H) STUDS @ 24" O.C. (212CH25-18)  2 1/2" - 20 GA. (C-H) STUDS @ 24" O.C. (212CH20-34)  4" - 25 GA. (C-H) STUDS @ 24" O.C. (400CH25-18)  4" - 20 GA. (C-H) STUDS @ 24" O.C. (400CH20-34)  6" - 20 GA. (C-H) STUDS @ 24" O.C. (600CH20-34)
	2 HOURS	UL DESIGN U438 AER-09038		CORRIDOR CEILING AND STAIR SOFFIT 2 LAYERS 1/2" GYPSUM BOARD FIRECODE C CORE. C-H STUDS @ 24" O.C. 1" LINER BOARD BETWEEN STUDS.	L240	 7'-10"  9'-8"  7'-7"  14'-0"  15'-3"	 2 1/2" - 25 GA. (C-H) STUDS @ 24" O.C. (212CH25-18)  2 1/2" - 20 GA. (C-H) STUDS @ 24" O.C. (212CH20-34)  4" - 25 GA. (C-H) STUDS @ 24" O.C. (400CH25-18)  4" - 20 GA. (C-H) STUDS @ 24" O.C. (400CH20-34)  6" - 20 GA. (C-H) STUDS @ 24" O.C. (600CH20-34)
	2 HOURS	NER-258 AER-09038 USO TESTED ASSEMBLY		HORIZONTAL MEMBRANE AND METAL DUCT ENCLOSURE HORIZONTAL ASSEMBLY 3 LAYERS 1/2" GYPSUM BOARD FIRECODE C CORE C-H STUDS @ 24" O.C. 1" LINER BOARD BETWEEN STUDS VERTICAL ASSEMBLY 2 LAYERS 1/2" GYPSUM BOARD FIRECODE C CORE C-H STUDS @ 24" O.C. 1" LINER BOARD BETWEEN STUDS	L240	 9'-2"  13'-2"  15'-10"	 2 1/2" - 20 GA. (C-H) STUDS @ 24" O.C.  4" - 20 GA. (C-H) STUDS @ 24" O.C.  6" - 20 GA. (C-H) STUDS @ 24" O.C.
	NOT RATED	N/A		1 LAYER 5/8" GYPSUM BOARD STEEL STUDS @ 16" O.C.	L240	 13'-7"  15'-8"	 3 5/8" - 20 GA. STEEL STUDS @ 16" O.C.  6" - 20 GA. STEEL STUDS @ 16" O.C.

NON-RATED STUD FRAMED CEILING

KEY PLAN

PROJECT #95

WEST 9TH ST

WEST 57TH ST

7TH AVE

1TH AVE

PROJECT NORTH

TRUE NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **VSP CANTOR SEINUK**
228 East 45th Street
New York, NY 10017 USA
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
105 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **JULP Consulting**
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD PROGRESS ISSUE 8	29 JAN 16
12	CD BULLETIN ISSUE - 4	31 MAR 16
13	CD BULLETIN ISSUE - 7	15 JUL 16
14	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

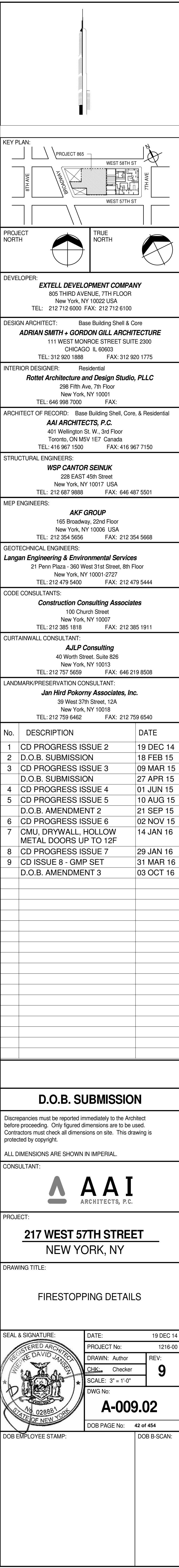
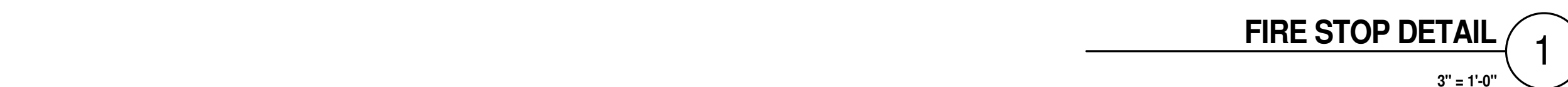
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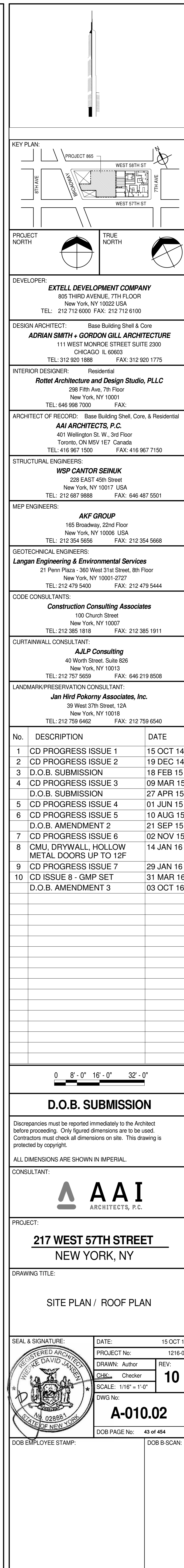
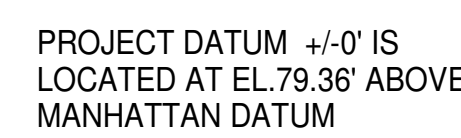
CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **PARTITION SCHEDULE - 2**

SEAL & SIGNATURE: **DAVID L. LAM**
REGISTERED ARCHITECT
NEW YORK STATE
DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: As indicated
DWG No: **A-007.02**
DOB PAGE No: 41 of 464
DOB 5-SCAN:





CODE NOTES

CHAPTER 20 - 26
ALL NEW CONSTRUCTION TO MEET BUILDING MATERIALS DESIGN CRITERIA

CHAPTER 27 - 28
SEE MECHANICAL AND ELECTRICAL DRAWINGS

CHAPTER 29 - PLUMBING SYSTEMS
SEE PLUMBING DRAWINGS
THE NYC PLUMBING CODE AS AMENDED BY NYC FOR OCCUPANCY GROUP B (BUSINESS) COMMENTS
(BC 2902.1) THE COUNT OF PLUMBING FIXTURES PROVIDED IS IN ACCORDANCE WITH TABLE 403.1 OF THE NEW YORK CITY PLUMBING CODE.

CHAPTER 30 - ELEVATORS
ALL NEW CONSTRUCTION TO MEET ELEVATORS DESIGN CRITERIA
* ALL ELEVATORS SHALL CONFORM WITH ALL APPLICABLE REGULATIONS SET FORTH IN THE LATEST EDITIONS OF:
ASME A17.1 AND LATEST AMENDMENTS AND SUPPLEMENTS
NEW YORK CITY BUILDING CODE
CITY OF NEW YORK-RS16 STANDARDS AND LOCAL LAWS
NFPA CODES
NFPA FIRE DOORS-HOISTWAY ENTRANCES
ASME A17.5/CSA - B44.1 - ELEVATOR AND ESCALATOR ELECTRICAL EQUIPMENT
ADAAG
(BC 3002.4) ELEVATOR CAR TO ACCOMMODATE AMBULANCE STRETCHER - AT LEAST ONE ELEVATOR IS PROVIDED FOR FIRE DEPARTMENT EMERGENCY ACCESS TO ALL FLOORS HAVING ELEVATOR CAR WITH SUCH A SIZE AND ARRANGEMENT TO ACCOMMODATE A 24-INCH BY 76-INCH AMBULANCE STRETCHER IN THE HORIZONTAL, OPEN POSITION.

CHAPTER 31 - SPECIAL CONSTRUCTION
(BC 3103.3) (LOCAL LAW 28 OF 2012) SUN CONTROL DEVICES ARE DESIGNED AND CONSTRUCTED TO WITHSTAND WIND OR OTHER LATERAL LOADS AND LIVE LOADS AS REQUIRED BY CHAPTER 16 WITH DUE ALLOWANCE FOR SHAPE, OPEN CONSTRUCTION AND SIMILAR FEATURES THAT RELIEVE THE PRESSURES OR LOADS. STRUCTURAL MEMBERS ARE PROTECTED TO PREVENT DETERIORATION. SUN CONTROL DEVICES ARE CONSTRUCTED OF NONCOMBUSTIBLE MATERIALS.
(BC 3109.4) OUTDOOR AMENITY SWIMMING POOL SHALL BE PROVIDED WITH POWER SAFETY COVER COMPLYING WITH ASTM F 1346, SO NO ENCLOSEING FENCE IS REQUIRED.
(BC 3109.5) PRIVATE SWIMMING POOL SHALL BE COMPLETELY ENCLOSED BY A FENCE, WALL OR BUILDING AT LEAST 4 FEET IN HEIGHT. OPENINGS IN THE ENCLOSURE SHALL NOT PERMIT THE PASSAGE OF 4-INCH-DIAMETER SPHERE. THE ENCLOSURE SHALL BE EQUIPPED WITH SELF-CLOSING AND SELF-LATCHING GATES. THE DOOR PROVIDING ACCESS TO THE PRIVATE SWIMMING POOL FROM THE DWELLING SHALL OPEN INWARD, AWAY FROM THE SWIMMING POOL, AND SHALL BE SELF-CLOSING AND HAVE A SELF-LATCHING DEVICE. THE RELEASE MECHANISM OF THE SELF-LATCHING DEVICE SHALL BE LOCATED NO LESS THAN 54 INCHES FROM THE BOTTOM OF THE DOOR.
(BC 3109.4.2) IN ADDITION TO THE REQUIREMENTS OF NYC BUILDING CODE, ANY OTHER, MORE STRINGENT REQUIREMENTS FOR THE CONSTRUCTION AND DESIGN OF SWIMMING POOL, AND BARRIERS PROVIDED FOR IN ARTICLE 165 OF THE NEW YORK CITY HEALTH CODE, SHALL ALSO BE APPLICABLE.
(BC 3109.3.2) THE SUPPLY, CIRCULATION, TREATMENT, AND DRAINAGE OF WATER FOR SWIMMING POOLS SHALL MEET THE REQUIREMENTS OF THE NEW YORK CITY PLUMBING CODE.
(BC 3109.3.3) NO OVERHEAD ELECTRICAL CONDUCTORS SHALL BE INSTALLED WITHIN 15 FEET OF THE SWIMMING POOL.

CHAPTER 32 - ENROACHMENTS INTO THE PUBLIC RIGHT-OF-WAY
(BC 3202.2.1) ENTRANCE DOORS WHEN FULLY OPEN, SHALL NOT BE CONSTRUCTED TO PROJECT BEYOND THE STREET LINE NOT MORE THAN 18 INCHES.
(BC 3202.2.1.2) ARCHITECTURAL DETAILS CONSTRUCTED SHALL NOT PROJECT MORE THAN 4 INCHES BEYOND THE STREET LINE WHEN LESS THAN 10 FEET ABOVE THE GROUND OR SIDEWALK LEVEL AND NOT MORE THAN 10 INCHES BEYOND THE STREET LINE WHEN MORE THAN 10 FEET ABOVE THE GROUND OR SIDEWALK LEVEL.
(BC 3202.2.1.9) (LOCAL LAW 28 OF 2012) SUN CONTROL DEVICES ARE FIXED AND CONSTRUCTED IN ACCORDANCE WITH SECTION 3105 AND SUPPORTED ENTIRELY FROM THE BUILDING DO NOT PROJECT BEYOND THE STREET LINE MORE THAN 2 FEET 6 INCHES, AND NO PART OF THE SUN CONTROL DEVICE IS LESS THAN 6 FEET ABOVE THE GROUND OR SIDEWALK LEVEL. NO PORTION OF SUN CONTROL DEVICE IS LOCATED OVER A SIDEWALK VAULT.

CHAPTER 33 - EXCAVATION
(BC 3304.3.1) NOTIFICATION TO DEPARTMENT OF BUILDINGS 24-48 HOURS PRIOR TO COMMENCEMENT OF EARTHWORK.

APPENDIX F RODENT-PROOFING
(BC F101.1) BUILDING DESIGNED TO COMPLY WITH BC F101 RODENT PROOFING REQUIREMENTS.

APPENDIX G - FLOOD HAZARD ZONE REQUIREMENTS
(G102.2) BUILDING SITE IS NOT IN A FLOOD ZONE PER FLOOD HAZARD MAP FEMA FIS 36049 AND FEMA FIRMs 360497.

CODE NOTES (CONTINUED)

LIST OF SEPARATE APPLICATIONS TO BE FILED

FENCE
EXCAVATION
FOUNDATION
SUPPORT OF EXCAVATION
UNDERGROUND PLUMBING
STRUCTURAL
TEST PIT
MECHANICAL
PLUMBING
SPRINKLER
STANDPIPE
TEMPORARY STANDPIPE
GENERATOR
FIRE ALARM
BOILER
FIRE PROTECTION PLAN
BUILDING PAVEMENT PLAN
CURB CUT
AIR RIGHTS
SIGNAGE
PUBLIC ASSEMBLY
GENERATORS (EMERGENCY POWER SYSTEM)
COMMERCIAL COOKING INSTALLATION

LIST OF CONTROL INSPECTIONS 28-104.7

SPECIAL INSPECTIONS

FIRE ALARM TEST
CONCRETE - CAST-IN-PLACE
MASONRY
SOILS - SITE PREPARATION
SOILS - INVESTIGATIONS (BORINGS/TEST PITS)
PILE FOUNDATIONS & DRILLED PIER INSTALLATION
UNDERPINNING
WALL PANELS, CURTAIN WALLS & VENEERS
SMOKE CONTROL SYSTEMS
MECHANICAL SYSTEMS
FUEL OIL STORAGE & FUEL OIL PIPING SYSTEMS
STRUCTURAL SAFETY - STRUCTURAL STABILITY
EXCAVATION - SHEETING, SHORING, AND BRACING
SITE STORM DRAINAGE DISPOSAL & DETENTION SYSTEM INSTALLATION
SPRINKLER SYSTEMS
STANDPIPE SYSTEMS
HEATING SYSTEMS
FIREFIGHT DRAFTSTOP & FIREBLOCKING SYSTEMS
CONCRETE TEST CYLINDERS TR-2
CONCRETE DESIGN MIX TR-3

NYC ENERGY CONSERVATION CODE NOTES

NYC ENERGY CONSERVATION CODE INSPECTIONS

FOOTING AND FOUNDATION
EN-1
PROTECTION OF FOUNDATION INSULATION
INSULATION PLACEMENT AND R VALUE
FENESTRATION THERMAL VALUES AND RATINGS
FENESTRATION RATINGS FOR AIR LEAKAGE
FENESTRATION AREAS
AIRE SEALING AND INSULATION - VISUAL
AIRE SEALING AND INSULATION - TESTING
LOADING DECK WEATHER SEALS
VESTIBULES
FIREPLACES
HVAC AND SERVICE WATER HEATING EQUIPMENT
HVAC AND SERVICE WATER HEATING SYSTEMS CONTROLS
DUCT PLENUM AND PIPING INSULATION AND SEALING
DUCT LEAKAGE TESTING
ELECTRICAL METERING
LIGHTING IN DWELLING UNITS
SIGNAGE
EXTERIOR LIGHTING POWER
LIGHTING CONTROLS
EXIT SIGNS
TANDEM WIRING
ELECTRICAL MOTORS
MAINTENANCE INFORMATION
FIRE-RESISTANCE RATED CONSTRUCTION
PUBLIC ASSEMBLY EMERGENCY LIGHTING

NYC ENERGY CONSERVATION CODE

CHAPTER 5: COMMERCIAL ENERGY EFFICIENCY

(ECC 502.2.4) BELOW-GRADE WALLS ARE COMPLETELY BELOW GRADE. AS THERE IS NO GROUP - R RESIDENTIAL USE BELOW GRADE, THERMAL INSULATION IS NOT REQUIRED PER ECC TABLE 502.2(1).

(ECC 502.2.6) ALL SLABS ON GRADE S ARE UNHEATED AND LOCATED BELOW GRADE. AS THERE IS NO GROUP - R RESIDENTIAL USE BELOW GRADE, THERMAL INSULATION IS NOT REQUIRED PER ECC TABLE 502.2(1).

(ECC 502.4.1) AIR LEAKAGE OF WINDOW AND SLIDING OR SWINGING DOOR ASSEMBLIES THAT ARE PART OF THE BUILDING ENVELOPE SHALL BE DETERMINED IN ACCORDANCE WITH AMAMQDMA/CSA 1011 S.2(A440), OR NFRC 400 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LABELED AND CERTIFIED BY THE MANUFACTURER AND SHALL NOT EXCEED 0.3 CFM PER SQUARE FOOT, AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT, EXCEPT SITE-CONSTRUCTED WINDOWS AND DOORS SHALL BE WEATHERSTRIPPED OR SEALED IN ACCORDANCE WITH SECTION ECC 502.4.3.

(ECC 502.4.2) CURTAIN WALL, STOREFRONT GLAZING AND COMMERCIAL-GLAZED SWINGING ENTRANCE DOORS AND REVOLVING DOORS SHALL BE TESTED FOR AIR LEAKAGE AT 1.57 POUNDS PER SQUARE FOOT (psf) (75 Pa) IN ACCORDANCE WITH ASTM E 283. FOR CURTAIN WALLS AND STOREFRONT GLAZING, THE LEAKAGE RATE SHALL NOT EXCEED 0.3 CUBIC FOOT PER MINUTE PER SQUARE FOOT (cfm/ft2) OF FENESTRATION AREA FOR COMMERCIAL GLAZED SWINGING ENTRANCE DOORS AND REVOLVING DOORS, AIR LEAKAGE RATE SHALL NOT EXCEED 1.00 cfm/ft2 OF DOOR AREA WHEN TESTED IN ACCORDANCE WITH ASTM E 283.

(ECC 502.4.3) CONTINUOUS AIR BARRIER SHALL BE INSTALLED, SEALING ALL SEAMS, OPENINGS, AND PENETRATIONS OF THE BUILDING AND SHALL BE SEALED WITH CAULKING MATERIALS OR CLOSED WITH GASKETING SYSTEMS COMPATIBLE WITH THE CONSTRUCTION MATERIALS AND LOCATION. JOINTS AND SEAMS SHALL BE SEALED IN THE SAME MANNER OR TAPED OR COVERED WITH A MOISTURE VAPOR PERMEABLE WRAPPING MATERIAL, SEALING MATERIALS SPANNING JOINTS BETWEEN CONSTRUCTION MATERIALS SHALL ALLOW FOR EXPANSION AND CONTRACTION OF THE CONSTRUCTION MATERIALS. AIR BARRIER SHALL BE CONTINUOUS THROUGHOUT THE ENVELOPE WITH ALL JOINTS AND SEAMS SEALED AND WITH SEALED CONNECTIONS BETWEEN ALL TRANSITIONS IN PLANES AND CHANGES IN MATERIALS AND AT ALL PENETRATIONS. AIR BARRIER SHALL BE JOINED AND SEALED IN A FLEXIBLE MANNER TO THE AIR BARRIER COMPONENT OF ADJACENT ASSEMBLIES, ALLOWING FOR THE RELATIVE MOVEMENT OF THESE ASSEMBLIES AND COMPONENTS. AIR BARRIER INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND IN SUCH A MANNER AS TO ACHIEVE THE PERFORMANCE REQUIREMENTS. PENETRATIONS OF THE CONTINUOUS AIR BARRIER SHALL BE MADE IN A WAY SUCH THAT THE INTEGRITY OF THE CONTINUOUS AIR BARRIER IS MAINTAINED.

(ECC 502.4.3.1) AIR BARRIERS SHALL COMPLY EITHER USING INDIVIDUAL MATERIALS THAT HAVE AN AIR PERMEABILITY NOT TO EXCEED 0.004 cfm/ft2 UNDER A PRESSURE DIFFERENTIAL OF 0.3 IN. WATER (1.57 lb/ft2) WHEN TESTED IN ACCORDANCE WITH ASTM E 2178, OR ASSEMBLIES OF MATERIALS AND COMPONENTS SHALL HAVE AN AVERAGE AIR LEAKAGE NOT TO EXCEED 0.04 cfm/ft2 UNDER A PRESSURE DIFFERENTIAL OF 0.3 IN. WATER (1.57 lb/ft2) WHEN TESTED IN ACCORDANCE WITH ASTM E 2387 OR ASTM E 1677. IN ADDITION THESE ASSEMBLIES SHALL MEET THE REQUIREMENT FOR JOINTS PER SECTION ECC 502.4.3.

(ECC 502.4.5) CARGO DOORS AND LOADING DOCK DOORS SHALL BE EQUIPPED WITH WEATHERSEALS TO RESTRICT INFILTRATION WHEN VEHICLES ARE PARKED IN THE DOORWAY.

(ECC 502.4.6) BUILDING ENTRANCE DOORS THAT SEPARATE CONDITIONED SPACE FROM THE EXTERIOR ARE PROTECTED WITH AN ENCLOSED VESTIBULE, WITH ALL DOORS OPENING INTO AND OUT OF THE VESTIBULE EQUIPPED WITH SELF-CLOSING DEVICES. VESTIBULES ARE DESIGNED SO THAT IN PASSING THROUGH THE VESTIBULE IT IS NOT NECESSARY FOR THE INTERIOR AND EXTERIOR DOORS TO OPEN AT THE SAME TIME. VESTIBULES ARE NOT REQUIRED TO BE PROVIDED FOR DOORS NOT INTENDED TO BE USED AS A BUILDING ENTRANCE DOOR, SUCH AS DOORS TO MECHANICAL OR ELECTRICAL EQUIPMENT ROOMS, DOORS OPENING DIRECTLY FROM A SLEEPING UNIT OR DWELLING UNIT, DOORS THAT OPEN DIRECTLY FROM A SPACE LESS THAN 3,000 SQUARE FEET IN AREA, REVOLVING DOORS, AND DOORS USED PRIMARILY TO FACILITATE VEHICULAR MOVEMENT OR MATERIAL HANDLING AND ADJACENT PERSONNEL DOORS.

5

MULTI DWELLING LAW
(MULTI DWELLING CLASSIFICATION - CLASS A)

ALL LOT LINE WINDOWS TO COMPLY WITH SEC. 277.1(b) MDL AND TABLE 601 THE BUILDING CODE.

WET PIPE SPRINKLER SYSTEM TO COMPLY WITH MDL 277.4
THIS IS A FIRE PROOF BUILDING.
FLOOR/CEILING IS OF 2 HR. CONSTR. AND COMPLIES WITH MDL 277.6
COMPLY WITH LIGHT AND AIR FOR UNITS AS PER SEC.277.7 OF THE MDL
HARD WIRED SMOKE DETECTOR OUTSIDE EACH SLEEPING OR BEDROOM AREA IS PROVIDED AS PER SEC.277.7g OF THE MDL
ALL STAIRWAYS MUST HAVE SKYLIGHTS AND VENTS AS PER MDL 277.10
ALL SHAFTS MUST COMPLY WITH MDL 277.11 (2HR)
KITCHEN MUST COMPLY WITH MDL 277.12 AND MDL 33
BUILDING MUST COMPLY WITH MDL 277.13
EXISTING INTERIOR COLUMNS ARE PROTECTED AS PER MDL 277.14
ELEVATOR SHAFTS, DOORS AND VESTIBULES MUST COMPLY WITH MDL 277.15
BUILDING MUST COMPLY WITH MDL 278

MULTI DWELLING LAW AND
HOUSING MAINTENANCE CODE NOTES

MD1. THE WORK SHALL COMPLY WITH ALL THE RULES AND REGULATIONS OF THE DEPARTMENT OF BUILDINGS OF THE CITY OF NEW YORK AND ALL OTHER APPLICABLE LOCAL, STATE, FEDERAL, DEPARTMENTS AND CODES HAVING JURISDICTION.

MD2. BUILDING TO COMPLY WITH ART.7 M.D.L. & HOUSING AND MAINTENANCE CODE.

MD3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES AND DEVIATIONS OF THE APPROVED PLANS.

MD4. BATH VENTS: 12X12 DUCTS, 18 GA. MTL. WITH CORNER CHANNELS SECURED AT ALL FLOORS AND ROOF. FIRE RETARD WITH 2" VERMICULITE PL ON MTL ENTIRE LENGTH OF DUCT; EXTENDED 4" ABOVE ROOF. PROVIDE REGISTER, GRAVITY DAMPER WITH FUSIBLE LINK. FAN ON ROOF TO PROVIDE 4 AIR CHANGES/HR.25 CFM VELOCITY AND TO RUN FROM 6:00 A.M. TO 12 MIDNIGHT.

MD5. KITCHEN AND KITCHENETTE VENT: 8X8 DUCTS SIMILAR TO BATH VENTS EXCEPT FAN ON ROOF TO PROVIDE 6 CHANGES/HR. 150 CFM TO RUN CONTINUOUSLY 16 GA. METAL. SEE ALSO KITCHENS AND KITCHENETTES: SEC.3 M.D.L. AND ART.32 H.M.C.

A. EVERY KITCHEN AND KITCHENETTE SHALL BE PROVIDED WITH FACILITIES FOR COOKING AND SHALL BE EQUIPPED FOR ARTIFICIAL LIGHTING.

B. EVERY KITCHEN AND KITCHENETTE SHALL BE PROVIDED WITH SINK HAVING A MIN. 2" WASTE AND TRAP.

C. LIGHTING AND VENTILATION OF KITCHENETTES SHALL BE PROVIDED UNDER SEC.30 M.D.L. AND ART.30 H.M.C. (SEE NOTE #1)

D. CEILING AND WALL, EXCLUSIVE OF DOORS, OF ALL KITCHENETTES SHALL BE FIRE RETARDED WITH MATERIALS HAVING A ONE HOUR FIRE RATING WITH ONE LAYER PLASTER. F. F.C.60.

E. ALL COMBUSTIBLE MATERIALS IMMEDIATELY UNDERNEATH AND WITHIN ONE FOOT OF COOKING APPARATUS SHALL BE PROPERLY FIRE RETARDED AND A MIN. OF TWO FEET CLEARANCE MAINTAINED ABOVE. EXPOSED COOKING SURFACES COMBUSTIBLE MATERIALS BETWEEN TWO AND THREE FEET ABOVE EXPOSED COOKING SURFACES SHALL BE FIRE RETARDED. SE 5/8" PL. BD. FC. 60.

F. GAS RANGES TO BE APPROVED AS PER SEC. 64 M.D.L. & AGA (SEE NOTES #55).

MD6. SPRINKLERS SHALL COMPLY WITH SEC. 187 MDL.

MD7. BOILER ROOMS: SHALL COMPLY WITH SEC. 65 M.D.L. FIRE RETARDED CEILING ENCLOSED IN FIRE FIREPROOF CONSTRUCTION WITH FIREPROOF DOOR TO BE SELF-CLOSING AND SHALL BE 3 HR. RATED WITH USA APPROVED LABEL.

MD8. NATURAL LIGHTING AND VENTILATION FOR ALL OCCUPIED ROOMS SHALL CONFORM WITH LIGHTING AND VENTILATION: SEC. 30 M.D.L. AND ART.30 H.M.C.

A. WINDOWS IN ALL ROOM, EXCEPT BATHROOMS AND KITCHENETTES SHALL BE AT LEAST ONE-TENTH THE AREA OF THE ROOM AND BE AT LEAST 12 S.F. IN AREA B.S.B. AND 50% OPERABLE.

B. ROOMS HAVING ONLY ONE WINDOW LESS THAN 18 S.F. IN AREA SHALL HAVE A TRANSOM OR LOUVER, OVER THE DOOR HAVING A MIN. AREA OF 144 SQ. IN.

MD9. PEEPHOLES: SEC. 51-A. M.D.L. AND ART.20 H.M.C.

A. PEEPHOLES SHALL BE PROVIDED IN ENTRANCE DOORS OF EACH DWELLING UNIT, LOCATED AS PRESCRIBED BY THE DEPARTMENT. B.S.A. APPROVED ASSEMBLY.

MD10. ARTIFICIAL LIGHTING: SEC. 26 & 35 M.D.L. AND ART.19 H.M.C.

A. PROPER ELECTRIC LIGHTING AND EQUIPMENT SHALL BE PROVIDED AND MAINTAINED WITHIN ALL DWELLINGS AND ASSEMBLY.

B. PROPER ELECTRIC LIGHTING SHALL BE INSTALLED AND MAINTAINED AT OR NEAR THE OUTSIDE FRONT ENTRANCE WAY AND IN EVERY REAR YARD, SIDE YARD, FRONT YARD, AND COURTS. MIN. OF 50 WATTS INCANDESCENT ILLUMINATION OR EQUIVALENT AT FRONT ENTRANCE WAY AND A MIN. OF 4 WATTS IN YARDS AND COURTS AND SHALL BE KEPT BURNING FROM SUNSET EACH DAY TO SUNRISE ON THE FOLLOWING DAY.

C. MAIN ENTRANCE AND VESTIBULE DOORS SHALL HAVE NOT LESS THAN FIVE PROPER ELECTRIC LIGHTINGS SHALL BE INSTALLED AND MAINTAINED AT OR NEAR THE OUTSIDE FRONT ENTRANCE WAY AND IN EVERY REAR YARD, SIDE YARD, FRONT YARDS, AND COURTS. MIN. OF 50 WATTS INCANDESCENT ILLUMINATION OR EQUIVALENT AT FRONT ENTRANCE WAY AND MIN. OF 40 WATTS IN YARDS AND COURTS SHALL BE KEPT BURNING FROM SUNSET TO SUNRISE ON THE FOLLOWING DAY.

D. MAIN ENTRANCE AND VESTIBULE DOORS SHALL HAVE NOT LESS THAN FIVE S.F. OF GLAZED SURFACES.

MD11. ENTRANCE DOORS: SEC. 50-A. M.D.L. AND ART.20 H.M.C.

A. BUILDING ENTRANCES AND ALL OTHER EXTERIOR ENTRANCES SHALL BE EQUIPPED WITH APPROVED TYPE AUTOMATIC SELF-CLOSING AND SELF-LOCKING DOORS.

B. ENTRANCE DOORS TO EACH APARTMENT UNIT SHALL HAVE KEY LOCK WITH AT LEAST ONE KEY TO BE PROVIDED BY OWNER, HEAVY DUTY LATCH, SET WITH DEAD BOLT AND DOOR CHAIN GUARD.

MD12. GAS METERS AND GAS APPLIANCES: SEC.64 M.D.L. AND ART.18 H.M.C.

A. GAS METERS SHALL COMPLY WITH SEC.64 M.D.L.

B. GAS APPLIANCES SHALL IN ADDITION TO THESE SECTIONS, COMPLY WITH THE BOARD OF STANDARD APPEAL.

C. YEARLY INSPECTION OF GAS APPLIANCES BY QUALIFIED PERSON SHALL BE MADE IN OLT.

MD13. HEAT AND HOT WATER: SEC.79 M.D.L. AND ART.17 H.M.C.

A. YEARLY INSPECTION SHALL BE MADE BY QUALIFIED PERSON.

B. MINIMUM TEMPERATURE OF HEATING AND HOT WATER SHALL BE MAINTAINED.

MD14. SINGLE STATION SMOKE DETECTORS SHALL BE INSTALLED IMMEDIATELY OUTSIDE OF SLEEPING OR BEDROOM WITH NO INTERVENING WALL SWITCH AS PER SEC. 277.7G.

HOUSING MAINTENANCE CODE

THE OWNER SHALL COMPLY WITH AND PROVIDE PROVISIONS OF THE HOUSING MAINTENANCE CODE:

- | | | |
|-----|---------------------------------|---|
| 1. | 27-2005 | OWNER AND TENANT OBLIGATION |
| 2. | 27-2010, 2011, 2012 | CLEANING |
| 3. | 27-2013 | PAINTING |
| 4. | 27-2018 | RODENT AND INSECT ERADICATION |
| 5. | 27-2021 | RECEPTACLE FOR WASTE |
| 6. | 27-2023 | COLLECTION OF WASTE |
| 7. | 27-2024 | WATER SUPPLY |
| 8. | 27-2026, 2027 | PLUMBING AND DRAINAGE |
| 9. | 27-2028, 2029, 2030, 2031, 2033 | HEAT AND HOT WATER |
| 10. | 27-2034, 2035, 2036 | GAS APPLIANCES |
| 11. | 27-2037, 2038, 2039, 2040 | ARTIFICIAL LIGHTING |
| 12. | 27-2041, 2042, 2043, 2045 | PEEPHOLES AND LOOKS |
| 13. | 27-2049 | STREET NUMBER |
| 14. | 27-2047 | APPROVED TYPE MAIL RECEPTACLE AND DIRECTORY |
| 15. | 27-2048 | AND REGULATION OF POST OFFICE DEPARTMENT |
| 16. | 27-2053 | FLOOR SIGNS IN PUBLIC HALL STAIR |
| 17. | 27-2057 | JANITORIAL SERVICES |
| 18. | 27-2063 | LIGHTING AND VENTILATION |
| 19. | 27-2070 | SANITARY FACILITIES |
| 20. | 27-2074 | KITCHEN AND KITCHENETTES |
| 21. | 27-2081 | MAXIMUM PERMITTED OCCUPANCY |
| 22. | 27-2097 | OCCUPANCY OF CELLARS AND BASEMENTS |
| 23. | 27-2104 | REGISTRATION STATEMENT |
| | | POSTING OF REGISTRATION IDENTIFICATION SIGN |
| | | CONTAINING DWELLING SERIAL NUMBER. |

COMPLIANCE

FAIR HOUSING ACT

THESE DOCUMENTS COMPLY WITH THE FAIR HOUSING ACT DESIGN MANUAL.



OCCUPANT LOADS SUMMARY SUBCELLAR 3 FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
TENANT LAUNDRY ROOM	F-2	290 SF	50 SF	6
AC MER	F-2	287 SF	300 SF	1
DAS EQUIPMENT ROOM	F-2	588 SF	300 SF	2
EJECTOR ROOM	F-2	457 SF	300 SF	3
ELECTRICAL ROOM	F-2	56 SF	300 SF	1
FUEL OIL PUMP ROOM	F-2	203 SF	300 SF	1
MER ROOM	F-2	418 SF	300 SF	2
FUEL OIL TANK ROOM	H-2	662 SF	300 SF	3
AMENITIES PROGRAM STORAGE	S-1	695 SF	300 SF	3
RESIDENTIAL BIKE STORAGE	S-1	848 SF	300 SF	3
RESIDENTIAL STORAGE	S-1	5,425 SF	300 SF	19
STORAGE	S-1	492 SF	300 SF	3
COLD STORAGE	S-2	115 SF	300 SF	1
JANITOR	S-2	65 SF	300 SF	1
PACKAGE ROOM	S-2	790 SF	300 SF	3
Grand total				52

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (52)
STAIR - K	44"	0.3	146	26
STAIR - G	44"	0.3	146	26

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (52)
STAIR - K - DOOR	34"	0.2	170	26
STAIR - G - DOOR	34"	0.2	170	26

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (N)	RISER (N)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - K	11"	6.75"	21	74.13"
STAIR - G	11"	6.75"	21	141.50"

1780 BROADWAY
EXISTING BUILDING
(NO EXCAVATION)

* RESTROOM FACILITIES ARE LOCATED ON SUB CELLAR 2 FLOOR

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'
H-2	100'	25'	20'
S-1	200'	100'	20'
S-2	250'	100'	20'

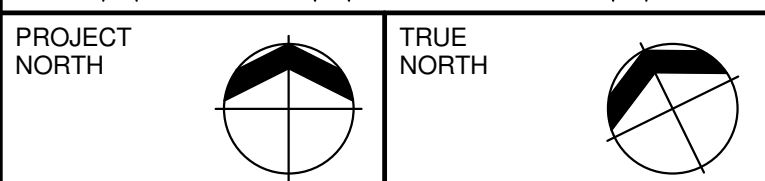
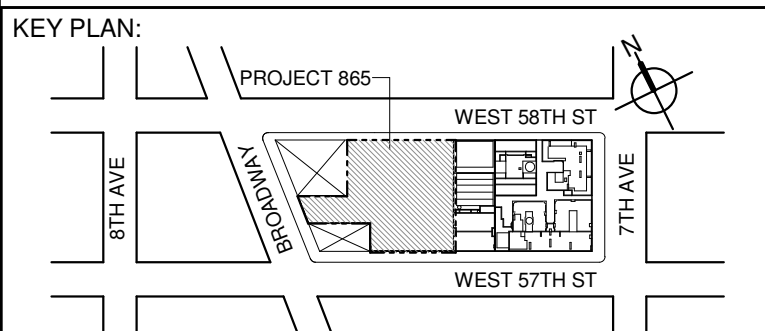
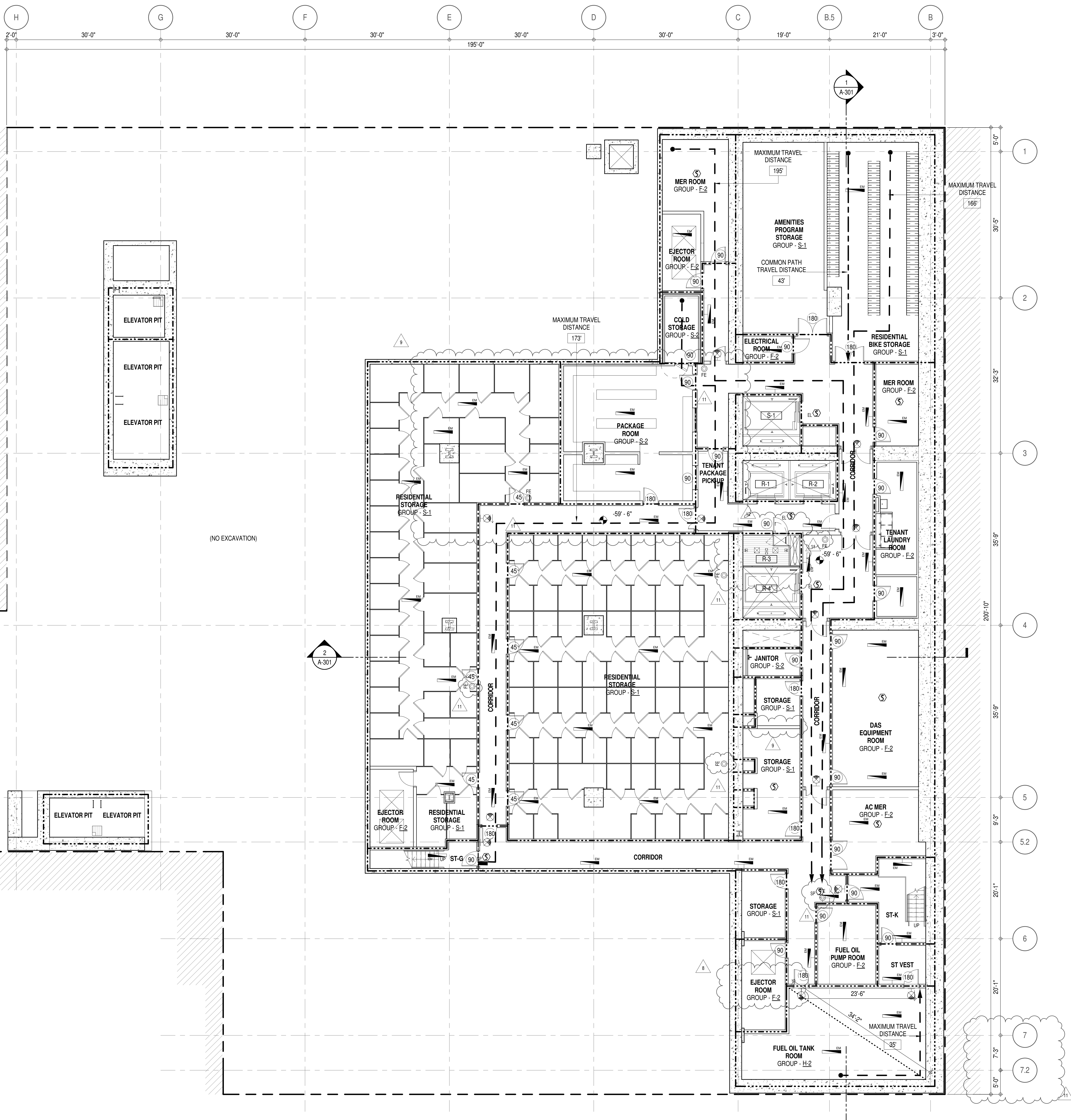
EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)

SMOKE DETECTOR	SMOKE / CARBON MONOXIDE DETECTOR	CEILING MOUNTED EMERGENCY LIGHT	WALL MOUNTED EMERGENCY LIGHT
DOOR RATING (MINUTES)			



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No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	14 JAN 16
12	CD PROGRESS ISSUE 8	29 JAN 16
13	CD PROGRESS ISSUE 9	31 MAR 16
14	CD PROGRESS ISSUE 10	14 SEP 16
15	CD PROGRESS ISSUE 11	03 OCT 16

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CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
SUB CELLAR 3 FLOOR PLAN
BUILDING CODE NOTES (B.O.H. SUPPORT) (MFD-SUB CELLAR 3)

SEAL & SIGNATURE:	DATE:	15 OCT 14
PROJECT No:	1216.00	
DRAWN: Author	REV:	
CHECK: Checker	12	
SCALE: 1/8" = 1'-0"		
DWG No:		
DOB PAGE No:	46 of 464	
DOB B-SCAN:		

DOB EMPLOYEE STAMP:

DOB B-SCAN:

OCCUPANT LOADS SUMMARY 7TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
AC AND FAN ROOM	F-2	1,424 SF	300 SF	5
AC AND PUMP ROOM	F-2	1,847 SF	300 SF	6
AC ROOM	F-2	346 SF	300 SF	2
AC UNIT AND FAN ROOM	F-2	1,363 SF	300 SF	5
BOILER ROOM W/ PUMPS	F-2	1,849 SF	300 SF	7
CON ED VAULT	F-2	640 SF	300 SF	4
EMR	F-2	690 SF	300 SF	3
EMR AHU ROOM	F-2	381 SF	300 SF	2
FAN AND DW HEATER ROOM	F-2	414 SF	300 SF	2
FAN ROOM	F-2	472 SF	300 SF	2
GENERATOR ROOM	F-2	3,468 SF	300 SF	12
LS ELECTRICAL ROOM	F-2	336 SF	300 SF	2
NETWORK ROOM	F-2	565 SF	300 SF	4
OS/EM SWITCHGEAR ROOM	F-2	509 SF	300 SF	2
POOL EQUIPMENT ROOM	F-2	108 SF	300 SF	1
SWITCHBOARD ROOM	F-2	3,754 SF	300 SF	13
RECYCLING COLLECTION ROOM	S-1	361 SF	300 SF	2
REFUSE COLLECTION ROOM	S-1	397 SF	300 SF	2
TRASH COMPACTOR ROOM	S-1	242 SF	300 SF	2
Grand total				77

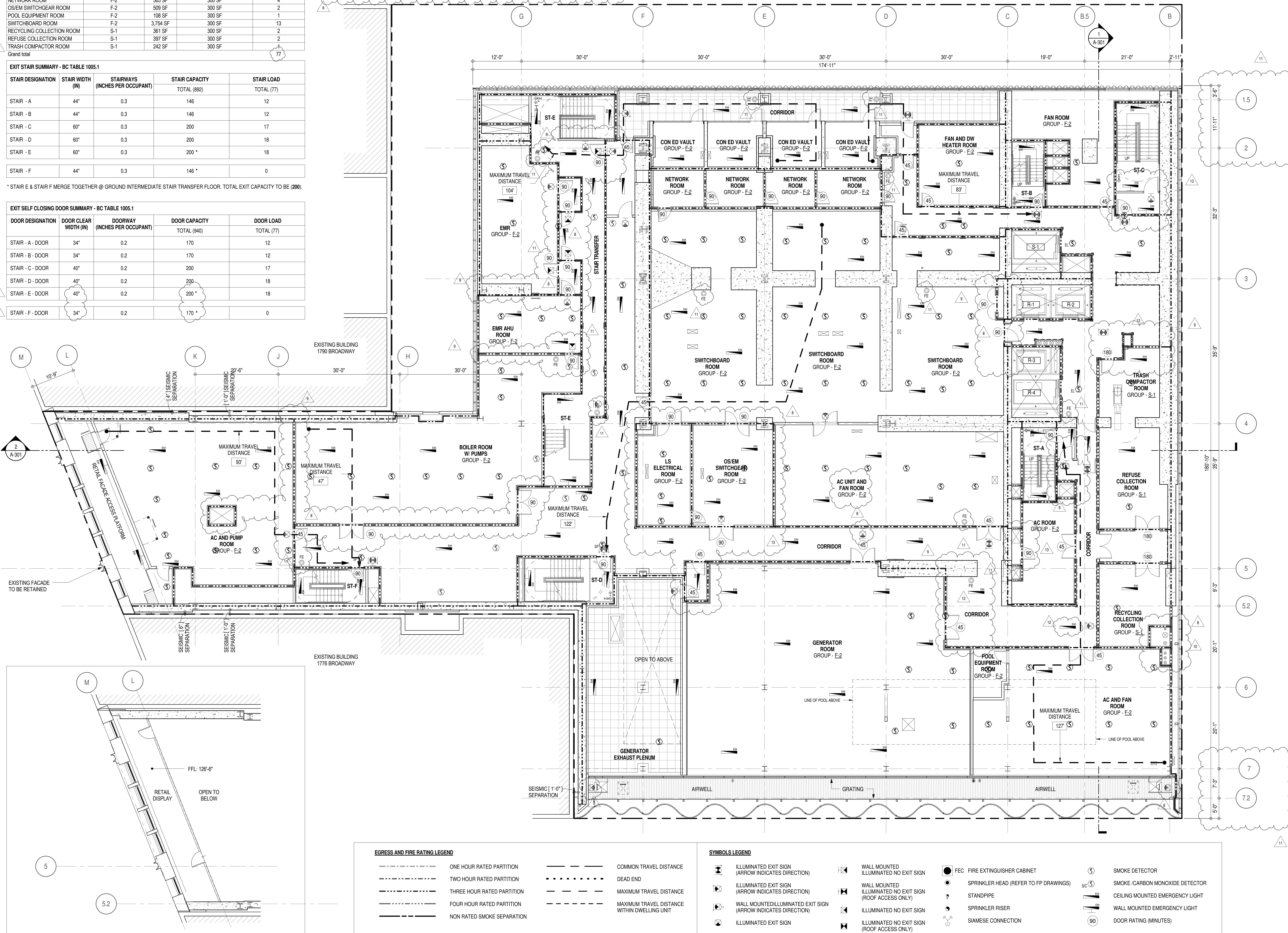
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (892)	STAIR LOAD TOTAL (77)
STAIR - A	44"	0.3	146	12
STAIR - B	44"	0.3	146	12
STAIR - C	60"	0.3	200	17
STAIR - D	60"	0.3	200	18
STAIR - E	60"	0.3	200 *	18
STAIR - F	44"	0.3	146 *	0

* STAIR E & STAIR F MERGE TOGETHER @ GROUND INTERMEDIATE STAIR TRANSFER FLOOR. TOTAL EXIT CAPACITY TO BE (200).

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (940)	DOOR LOAD TOTAL (77)
STAIR - A - DOOR	34"	0.2	170	12
STAIR - B - DOOR	34"	0.2	170	12
STAIR - C - DOOR	40"	0.2	200	17
STAIR - D - DOOR	40"	0.2	200	18
STAIR - E - DOOR	40"	0.2	200 *	18
STAIR - F - DOOR	34"	0.2	170 *	0

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (N)	RISER (N)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.44"	34	66.69"
STAIR - B	9.5"	7.44"	34	66.69"
STAIR - C	11"	7"	36	84.00"
STAIR - D	11"	7"	36	63.00"
STAIR - E	11"	7"	36	70.00"
STAIR - F	11"	7"	36	70.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'



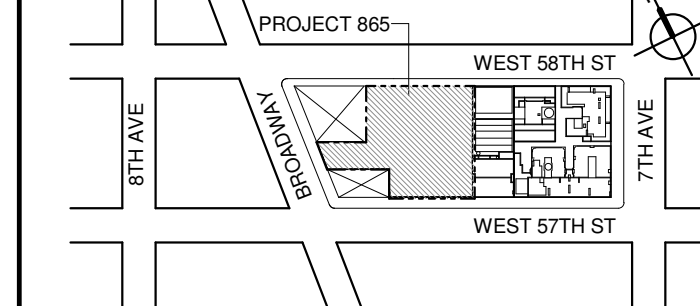
EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

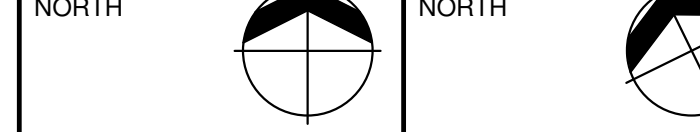
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO PP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)

KEY PLAN:



PROJECT NORTH



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5	CD PROGRESS ISSUE 3	09 MAR 15
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7	CD PROGRESS ISSUE 4	07 JUN 15
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13	CD PROGRESS ISSUE 9	31 MAR 16
14	CD PROGRESS ISSUE 10	22 APR 16
15	CD PROGRESS ISSUE 11	14 SEP 16
16	CD PROGRESS ISSUE 12	03 OCT 16

0 4'-0" 8'-0" 16'-0"

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

7TH FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL) (MFD-7TH FLOOR)

SEAL & SIGNATURE:

DATE: 15 OCT 14
PROJECT No: 1216.00
DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-042.02**

DOB PAGE No: 46 of 154

DOB B-SCAN:

DOB EMPLOYEE STAMP:

DOB EMPLOYEE STAMP:

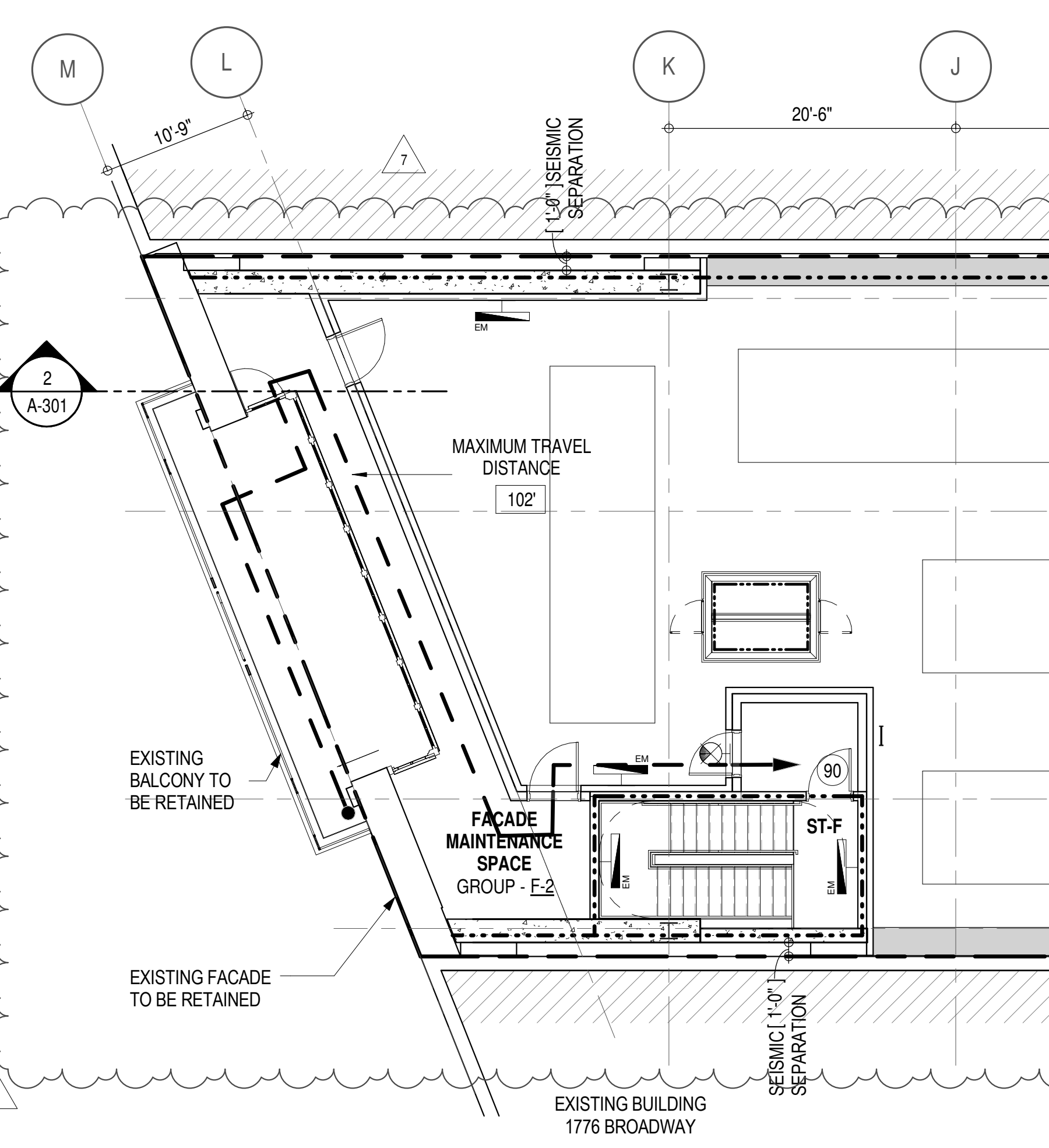
OCCUPANT LOADS SUMMARY 8TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
LOUNGE	A-2	1,262 SF	15 SF	85*
RECEPTION	A-2	757 SF	15 SF	51*
RESIDENTIAL AMENITY POOL	A-2	1,050 SF	50 SF	21
RESIDENTIAL OUTDOOR AMENITY SPACE	A-2	8,367 SF	15 SF	558
SCREENING ROOM	A-2	1,311 SF	15 SF	88*
CONFERENCE ROOM	B	257 SF	15 SF	18*
OFFICE	B	119 SF	100 SF	2*
FACADE MAINTENANCE SPACE	F-2	282 SF	300 SF	1*
STAFF BATHROOM	F-2	77 SF	300 SF	1
F-2 (ACCESSORY SPACE)				2
PANTRY	R-2	282 SF	200 SF	2*
TWEEN LOUNGE	R-2	407 SF	15 SF	28*
Grand total				855

* INTERIOR SPACES: ONLY TO USE EXIT STAIRS A AND B. TOTAL INTERIOR OCCUPANT LOAD = 275

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (892)	STAIR LOAD TOTAL (855)
STAIR - A	44"	0.3	146	136
STAIR - B	44"	0.3	146	137
STAIR - C	60"	0.3	200	194
STAIR - D	60"	0.3	200	194
STAIR - E	60"	0.3	200	194
STAIR - F	44"	0.3	146	

* STAIR E & STAIR F MERGE TOGETHER @ GROUND INTERMEDIATE STAIR TRANSFER FLOOR. TOTAL EXIT CAPACITY TO BE (200).

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (940)	DOOR LOAD TOTAL (855)
STAIR - A - DOOR	34"	0.2	170	136
STAIR - B - DOOR	34"	0.2	170	137
STAIR - C - DOOR	40"	0.2	200	194
STAIR - D - DOOR	40"	0.2	200	194
STAIR - E - DOOR	40"	0.2	200	194
STAIR - F - DOOR	34"	0.2	170	0



PLUMBING FIXTURES - PER PC TABLE 403.1 (BASED ON NON-SIMULTANEOUS SEASONAL OUTDOOR OCCUPANCY)									
OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS	REQUIRED WATER CLOSETS	REQUIRED LAVATORIES	PROVIDED WATER CLOSETS	PROVIDED LAVATORIES			
RESIDENTIAL OUTDOOR AMENITY SPACE	A-2	250	250	4	8	2	2	6	10
LOUNGE / SCREENING RM. RECEPTION	A-2	110	110	2	2	1	1	6	10
ASSEMBLY	A-2 (TOTALS)	6	10	3	3	6	10	3	4
ACCESSORY	R-2	15	15	1	1	1	1		

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
DRINKING FOUNTAINS (1 PER 500 P.) 2 REQUIRED, 2 PROVIDED
SERVICE SINK 1 REQUIRED, 1 PROVIDED

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.69"	33	76.69"
STAIR - B	9.5"	7.69"	33	76.69"
STAIR - C	11"	7"	36	126.00"
STAIR - D	11"	6.81"	37	81.73"
STAIR - E	11"	6.81"	37	68.11"
STAIR - F	11"	6.81"	37	73.33"

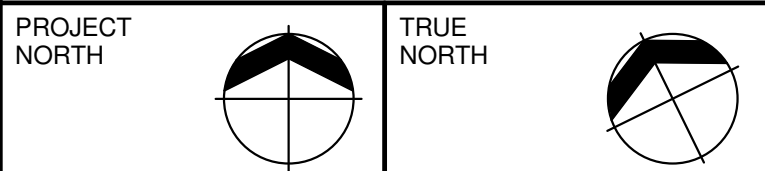
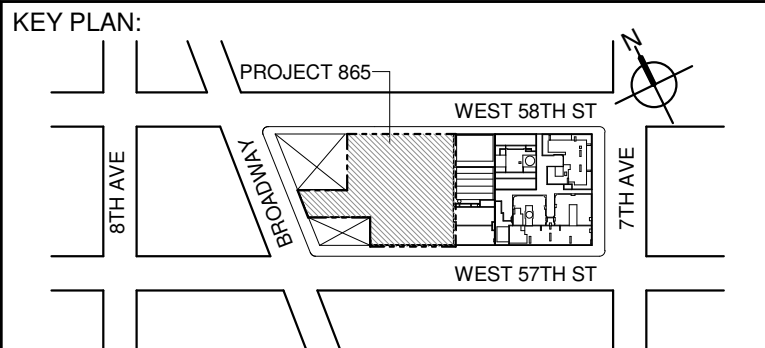
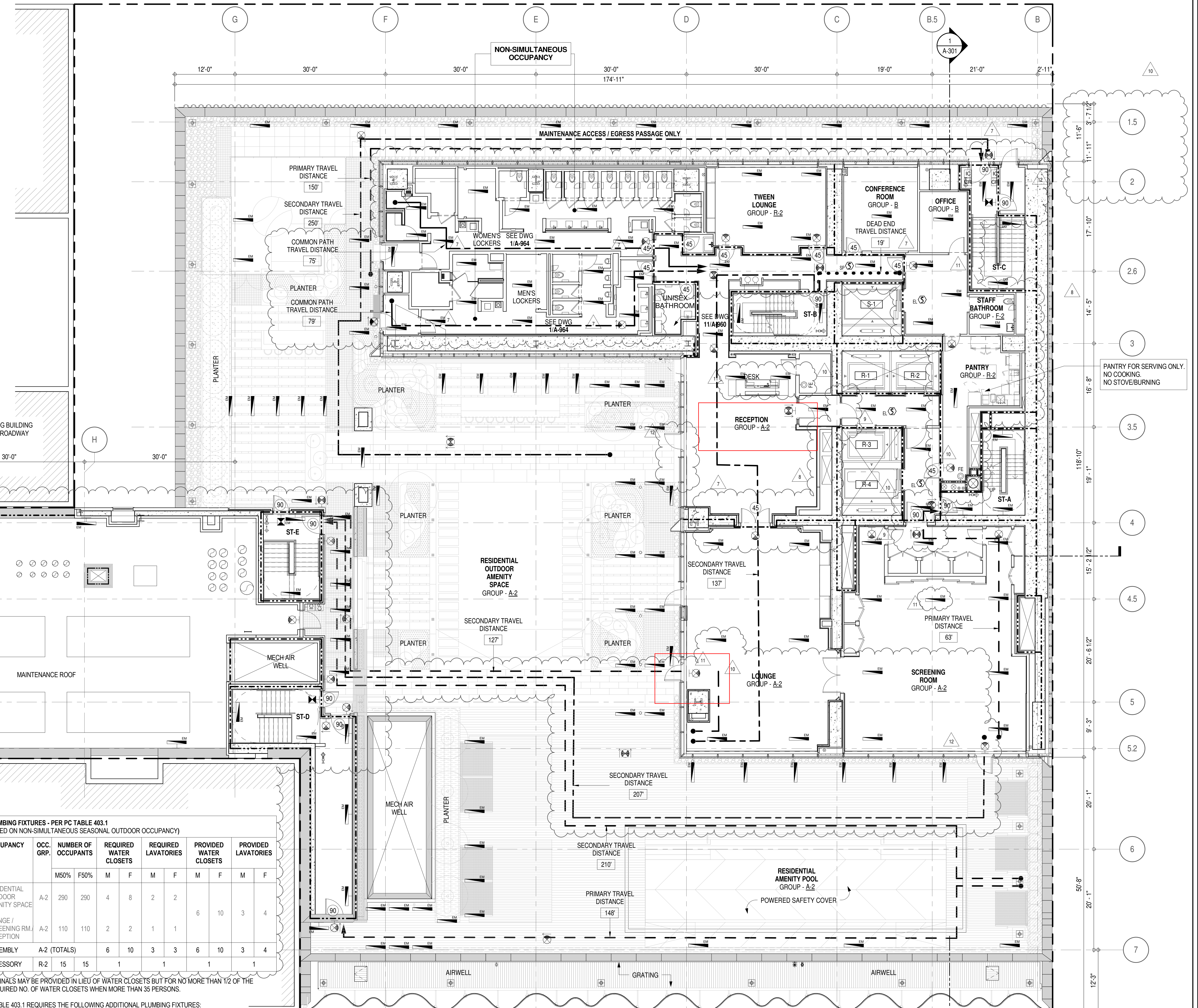
LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'
S-2	250'	100'	20'
A-2	PRIMARY = 150'	SECONDARY = 250'	20'

EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

⬇	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬇	WALL MOUNTED ILLUMINATED NO EXIT SIGN	●	FEC FIRE EXTINGUISHER CABINET	Ⓢ	SMOKE DETECTOR
⬇	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬇	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	●	SPRINKLER HEAD (REFER TO FP DRAWINGS)	Ⓢ	SMOKE / CARBON MONOXIDE DETECTOR
⬇	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬇	ILLUMINATED NO EXIT SIGN	●	STANDPIPE	Ⓢ	CEILING MOUNTED EMERGENCY LIGHT
⬇	ILLUMINATED EXIT SIGN	⬇	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	●	SIAMESE CONNECTION	Ⓢ	WALL MOUNTED EMERGENCY LIGHT
				●		Ⓢ	DOOR RATING (MINUTES)



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No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**8TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL AMENITIES)
(MFD-14TH FLOOR)**

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00
DRAWN: Author
CHK: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-043.02**

DOB EMPLOYEE STAMP: DOB PAGE No: 47 of 454 DOB B-SCAN:

OCCUPANT LOADS SUMMARY 9TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
POOL MECHANICAL EQUIPMENT ROOM	F-2	1,180 SF	300 SF	4
EMR	F-2	207 SF	300 SF	1
MECHANICAL	F-2	972 SF	300 SF	4
MECHANICAL	F-2	121 SF	300 SF	1
Grand total				10

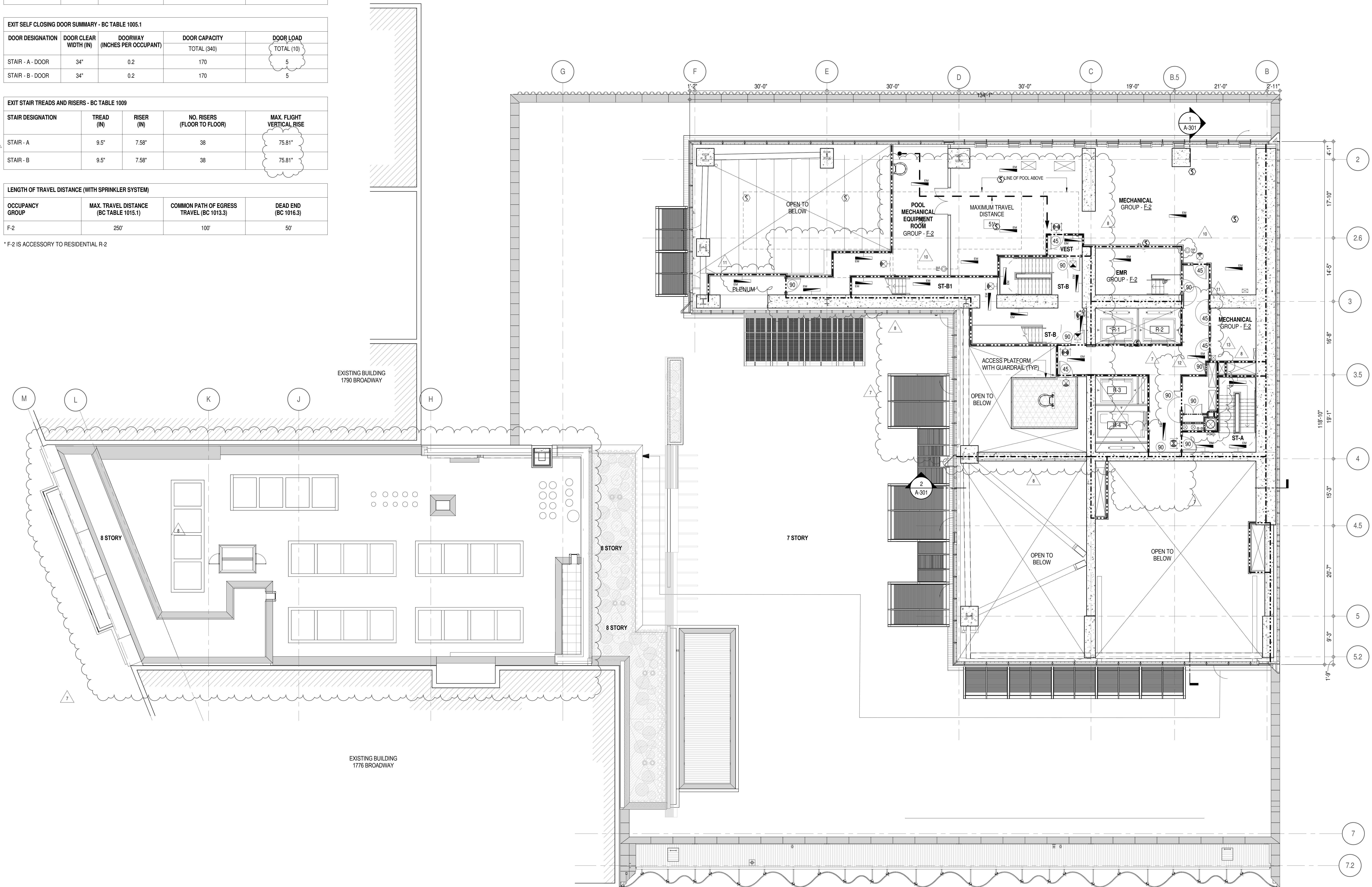
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (10)
STAIR - A	44"	0.3	146	5
STAIR - B	44"	0.3	146	5

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (10)
STAIR - A - DOOR	34"	0.2	170	5
STAIR - B - DOOR	34"	0.2	170	5

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.58"	38	75.81"
STAIR - B	9.5"	7.58"	38	75.81"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

* F-2 IS ACCESSORY TO RESIDENTIAL R-2



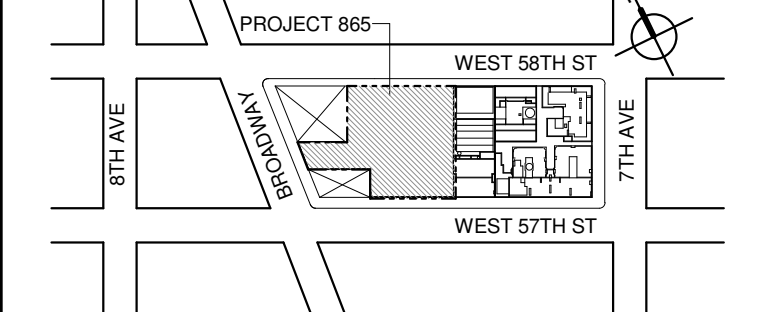
EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)

KEY PLAN:



PROJECT NORTH

TRUE NORTH

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LANDMARK/PRESERVATION CONSULTANT:
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD ISSUE 8 - GMP SET	29 JAN 16
12	CD BULLETIN ISSUE - 1	31 MAR 16
13	CD BULLETIN ISSUE - 2	22 APR 16
14	D.O.B. AMENDMENT 3	11 MAY 16
15	CD BULLETIN ISSUE - 7	14 SEP 16
16	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

9TH FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL) (MFD-15TH FLOOR)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHECKED: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-044.02

DOB PAGE No: 48 of 154

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 10TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
WADING POOL	A-3	104 SF	50 SF	3
POOL		867 SF	50 SF	18
POOL DECK		1,747 SF	15 SF	117
A-3				138
EXERCISE ROOM	R-2	1,482 SF	50 SF	30
SITTING AREA	R-2	126 SF	50 SF	3
COUPLES TREATMENT ROOM	R-2	571 SF	50 SF	12
EXERCISE ROOM	R-2	587 SF	50 SF	12
EXERCISE ROOM	R-2	573 SF	50 SF	12
R-2				69
Grand total				207

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292) *	STAIR LOAD TOTAL (207)
STAIR - A	44"	0.3	146	103
STAIR - B	44"	0.3	146 *	104

* STAIR B & STAIR B1 MERGE TOGETHER @ 8TH FLOOR INTERMEDIATE STAIR TRANSFER FLOOR. TOTAL EXIT CAPACITY TO BE (146)

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340) *	DOOR LOAD TOTAL (207)
STAIR - A - DOOR	34"	0.2	170	103
STAIR - B - DOOR	34"	0.2	170 *	104
STAIR - B1 - DOOR	34"	0.2	170 *	0

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.62"	45	76.44"
STAIR - B	9.5"	7.62"	45	114.69"
STAIR - B1	9.5"	7.62"	45	114.69"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'
S-1	200'	100'	20'

PLUMBING FIXTURES - PER PC TABLE 403.1

OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS		PROVIDED LAVATORIES	
		M50%	F50%	M	F	M	F	M	F	M	F
POOL / WADING POOL / POOL DECK	A-3	69	69	1	2	1	1	2	3	2	2
EXERCISE / SITTING	R-2	29	29	1	1	1	1				
ASSEMBLY A-2, R-2 ACCESSORY (TOTALS)				2	3	2	2	2	3	2	2
COUPLES TREATMENT ROOMS	R-2	12		1		1		1**		2**	
R-2 ACCESSORY (TOTALS)				1		1		1**		2**	

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
DRINKING FOUNTAINS (1 PER 1,000 P.): 1 REQUIRED, 4 PROVIDED
SERVICE SINK: 1 REQUIRED, 1 PROVIDED

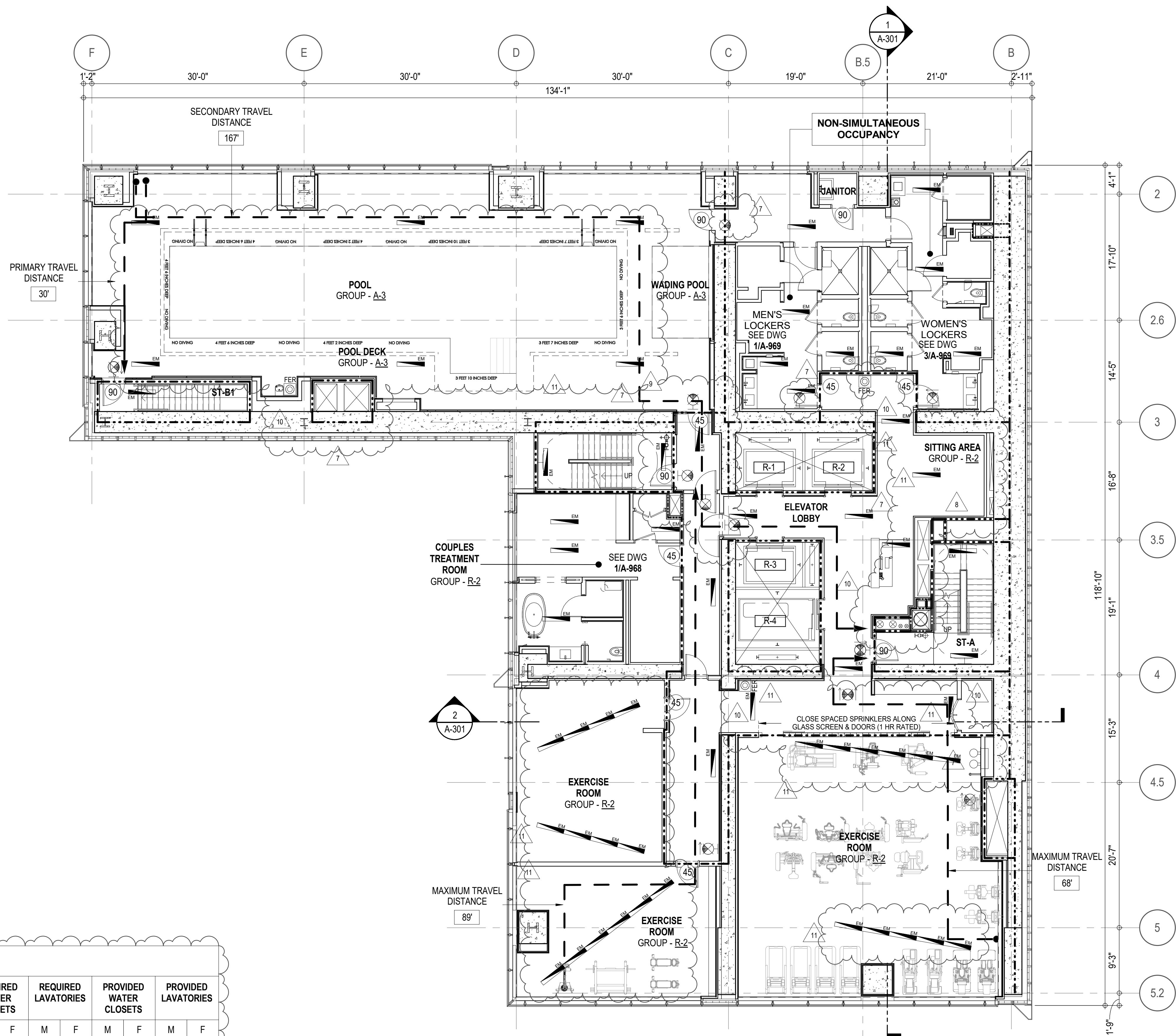
** UNISEX WASHROOM PROVIDED

EGRESS AND FIRE RATING LEGEND

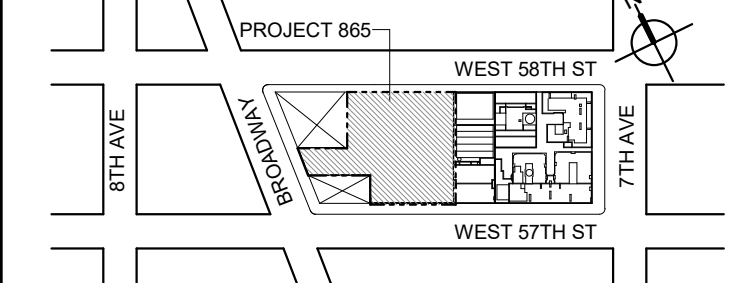
-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

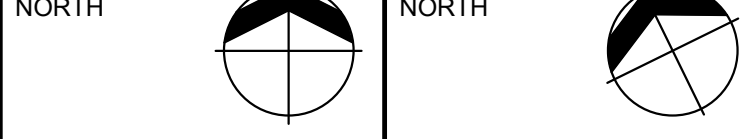
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)



KEY PLAN



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
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Construction Consulting Associates
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10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD ISSUE 8 - GMP SET	22 APR 16
12	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

10TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL AMENITIES)
(MFD-16TH FLOOR)

SEAL & SIGNATURE:

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHK: Checker

SCALE: 1/8" = 1'-0"

DWG No:

DOB PAGE No: 48 of 154

DOB EMPLOYEE STAMP:

DOB B-SCAN:

A-045.02

DOB PAGE No: 48 of 154

DOB B-SCAN:

NO OCCUPANCY USE.

EXIT STAIR SUMMARY - BC TABLE 1005.1

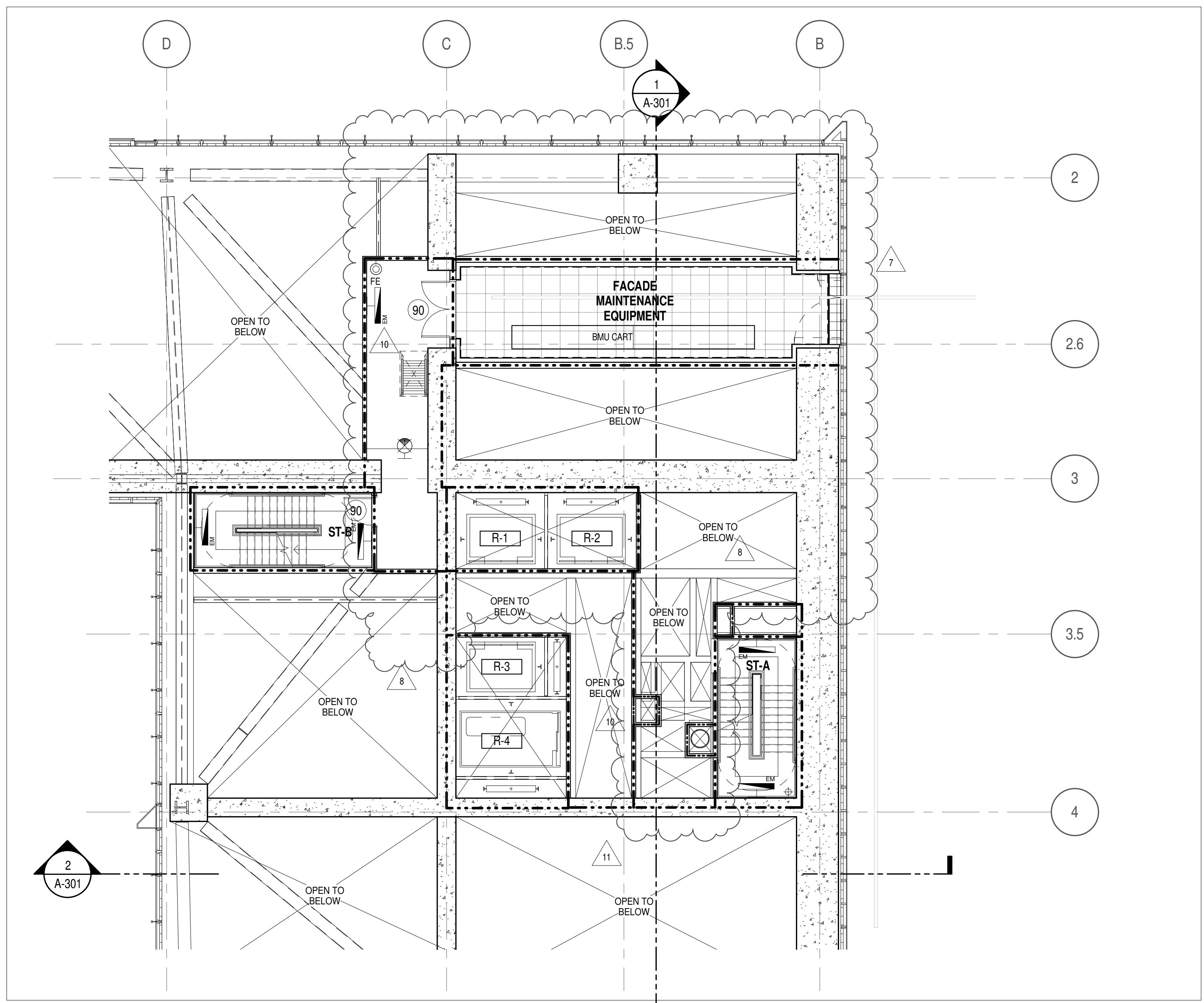
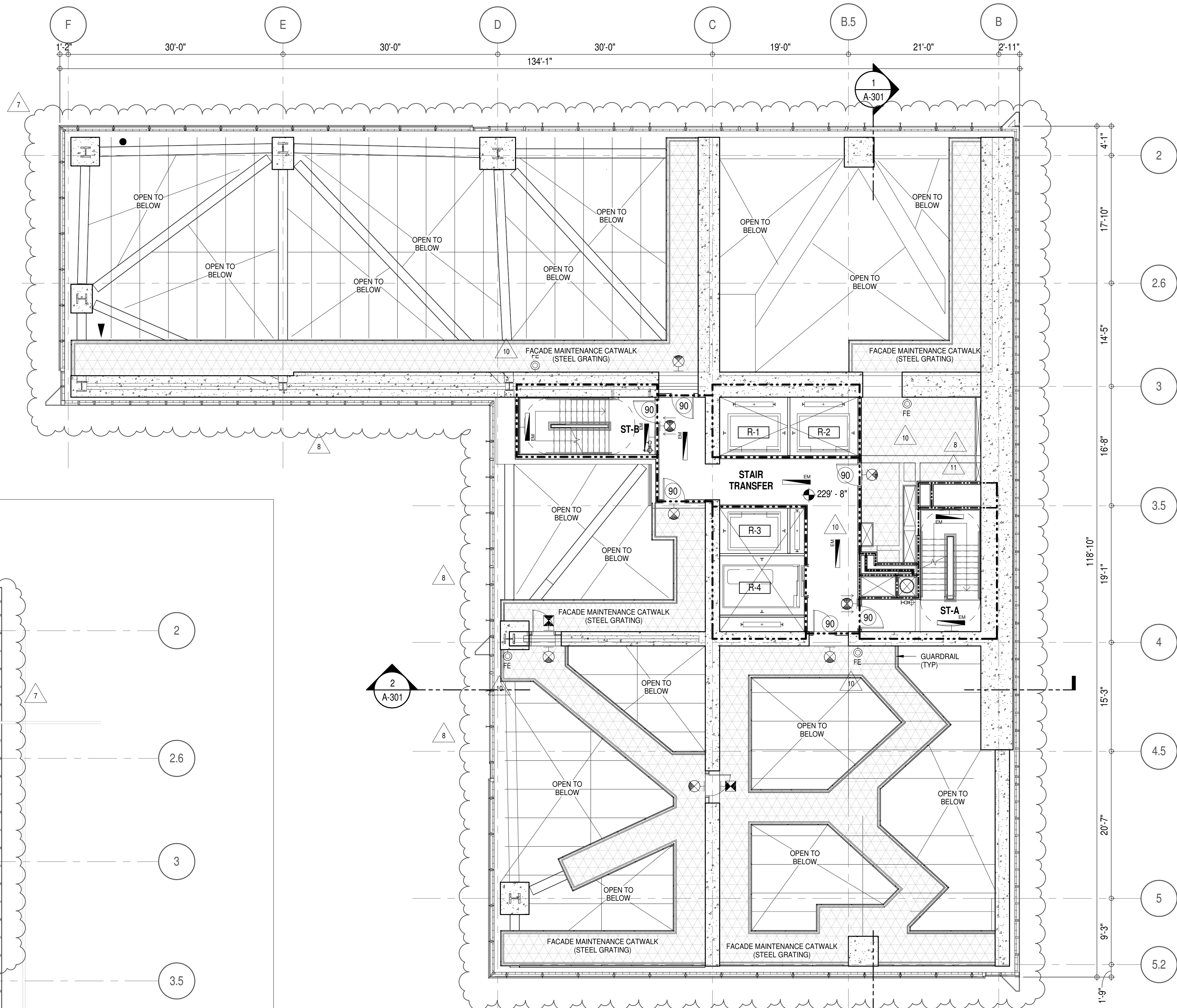
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (0)
STAIR - A	44"	0.3	146	0
STAIR - B	44"	0.3	146	0

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (0)
STAIR - A - DOOR	34"	0.2	170	0
STAIR - B - DOOR	34"	0.2	170	0

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.75"	99	76.00"
STAIR - B	9.5"	7.75"	99	76.00"



2 11TH FLOOR BMU
A-301
1/8" = 1'-0"

1 10TH FLOOR INTERMEDIATE 1 AND 2
A-301
1/8" = 1'-0"

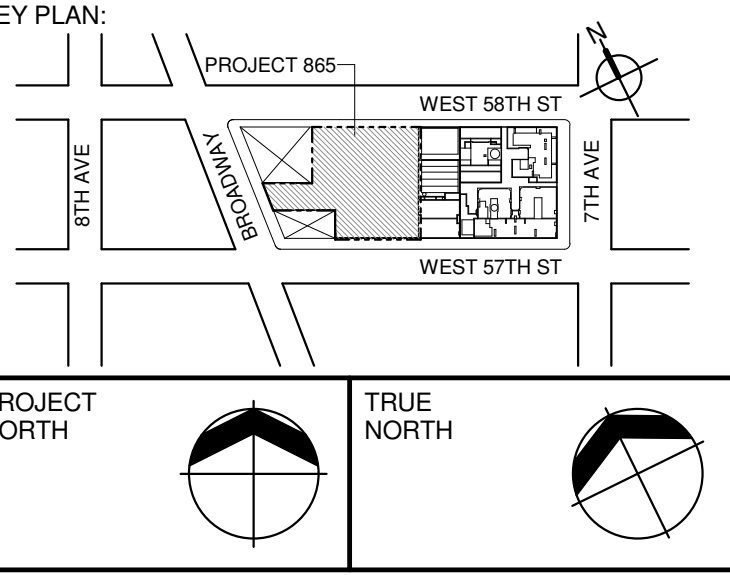
INTERMEDIATE 1: 229'-8"
INTERMEDIATE 2: 229'-17"

EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO PP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)



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5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 7	14 SEP 16
14	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**10TH INTERMEDIATE, 1, 2, AND
11TH FLOOR BMU PLAN
BUILDING CODE NOTES (STAIR
TRANSFER) (MFD-17TH-19TH
FLOOR)**

SEAL & SIGNATURE: DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author REV: 11
CHECK: Checker
SCALE: 1/8" = 1'-0"
DWG No:

A-046.02

DOB PAGE No: 99 of 154
DOB B-SCAN:

OCCUPANT LOADS SUMMARY 11TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2	9,016 SF	300 SF	31
Grand total				31

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (W)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (31)
STAIR - A	44"	0.3	146	16
STAIR - B	44"	0.3	146	15

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (W)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (31)
STAIR - A - DOOR	34"	0.2	170	16
STAIR - B - DOOR	34"	0.2	170	15

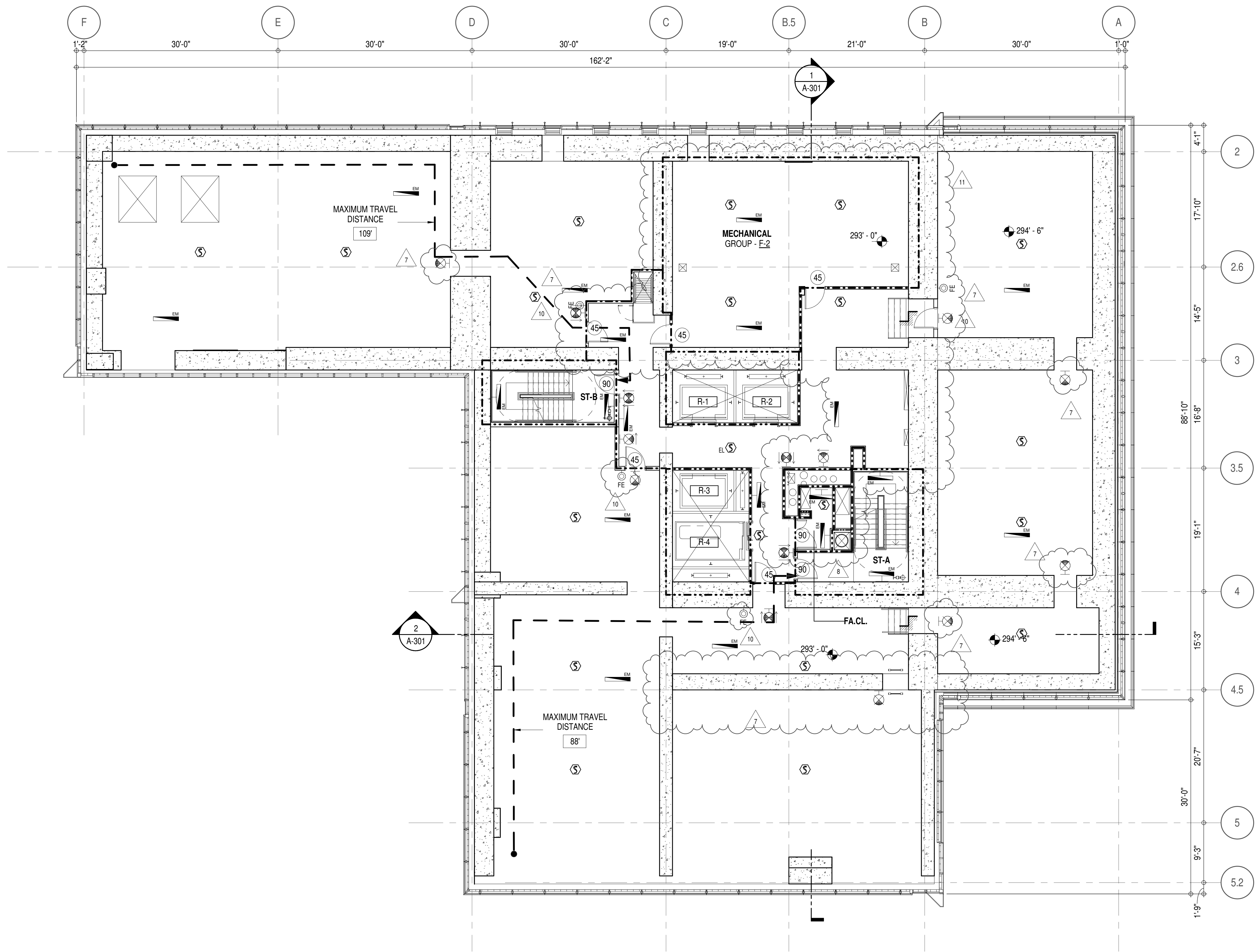
EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (W)	RISER (H)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.75"	59	77.31"
STAIR - B	9.5"	7.75"	59	77.31"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

* F-2 IS ACCESSORY TO RESIDENTIAL R-2



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION
- - - - -	TWO HOUR RATED PARTITION
- . - . -	THREE HOUR RATED PARTITION
-	FOUR HOUR RATED PARTITION
---	NON RATED SMOKE SEPARATION

---	COMMON TRAVEL DISTANCE
---	DEAD END
---	MAXIMUM TRAVEL DISTANCE
---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

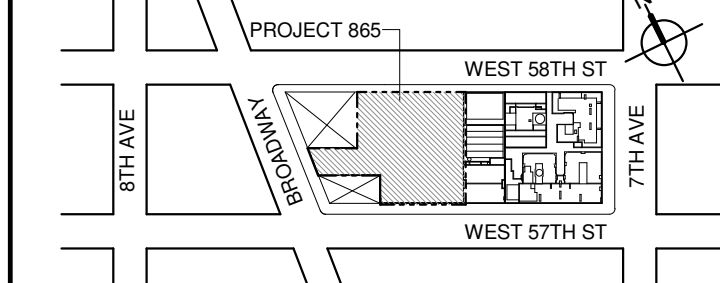
☼	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
☼	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
☼	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
☼	ILLUMINATED EXIT SIGN

☼	WALL MOUNTED ILLUMINATED NO EXIT SIGN
☼	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
☼	ILLUMINATED NO EXIT SIGN
☼	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)

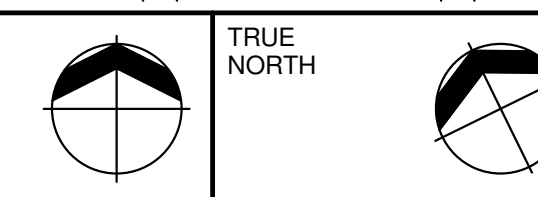
☼	FEC FIRE EXTINGUISHER CABINET
☼	SPRINKLER HEAD (REFER TO FP DRAWINGS)
☼	STANDPIPE
☼	SPRINKLER RISER
☼	SIAMESE CONNECTION

☼	SMOKE DETECTOR
☼	SMOKE / CARBON MONOXIDE DETECTOR
☼	CEILING MOUNTED EMERGENCY LIGHT
☼	WALL MOUNTED EMERGENCY LIGHT
☼	DOOR RATING (MINUTES)

KEY PLAN:



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
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7	CD PROGRESS ISSUE 6	02 NOV 15
8	CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
9	CD PROGRESS ISSUE 7	29 JAN 16
10	CD ISSUE 8 - GMP SCHEDULE	31 MAR 16
11	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

12TH FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL) (MFD-20TH FLOOR)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV: 11

CHECKED: Checker

SCALE: 1/8" = 1'-0"

DWG No: A-047.02

DOB PAGE No: 91 of 164

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 13TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,397 SF	200 SF	12
SUITE B	R-2	2,533 SF	200 SF	13
SUITE C	R-2	2,403 SF	200 SF	13
SUITE D	R-2	2,458 SF	200 SF	13
Grand total				51

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (51)
STAIR - A	44"	0.3	146	25
STAIR - B	44"	0.3	146	26

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (51)
STAIR - A - DOOR	34"	0.2	170	25
STAIR - B - DOOR	34"	0.2	170	26

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.62"	56	136.94"
STAIR - B	9.5"	7.62"	56	74.74"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY	
DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR	36"
SUITE B DOOR	36"
SUITE C DOOR	36"
SUITE D DOOR	36"
SUITE E DOOR	36"

MULTI DWELLING LAW
SECTION 103.1 (b) EGRESS FROM APARTMENT
MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS
FROM ANY ROOM WITHIN APARTMENT
50'

LIGHT & AIR CALCULATION 13TH FLOOR

Room Name		Floor Area		LIGHT REQUIREMENT -BC-1205>				AIR REQUIREMENT -BC-1203>			
				REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	PROVIDED Natural Light		REQ'D % of Air	PROVIDED Natural Ventilating Openings		
						Area of Vision Glass	% of Natural Light		# of Operable Windows	Area of Ventilating Openings	% of Natural Air
SUITE A											
BEDROOM 2	148 SF	10%	3.0	75.00 SF	50.73%	5%	1	12.18 SF	8.24%		
BEDROOM 3	149 SF	10%	1.5	37.50 SF	25.19%	5%	1	12.18 SF	8.18%		
KIT-A	112 SF	10%	1.0	25.00 SF	22.24%	5%	1	12.18 SF	10.84%		
LIVING ROOM	435 SF	10%	4.0	100.00 SF	22.97%	5%	2	24.36 SF	5.60%		
MASTER BEDROOM	217 SF	10%	4.0	100.00 SF	46.01%	5%	2	24.36 SF	11.21%		
SUITE B											
BEDROOM 2	151 SF	10%	2.0	50.00 SF	33.07%	5%	1	12.18 SF	8.06%		
BEDROOM 3	165 SF	10%	2.0	50.00 SF	30.22%	5%	1	12.18 SF	7.36%		
KIT-B / LIVING / DINING	640 SF	10%	4.0	100.00 SF	15.62%	2.5%	2	24.36 SF	3.80%		
MASTER BEDROOM	201 SF	10%	2.0	50.00 SF	24.91%	5%	1	12.18 SF	6.07%		
SUITE C											
BEDROOM 2	155 SF	10%	2.0	50.00 SF	32.22%	5%	1	12.18 SF	7.85%		
BEDROOM 3	147 SF	10%	2.0	50.00 SF	34.10%	5%	1	12.18 SF	8.31%		
KIT-C / LIVING / DINING	578 SF	10%	6.0	150.00 SF	25.97%	5%	3	36.54 SF	6.33%		
MASTER BEDROOM	211 SF	10%	3.0	75.00 SF	35.47%	5%	1	12.18 SF	5.76%		
SUITE D											
BEDROOM 2	148 SF	10%	1.0	25.00 SF	16.88%	5%	1	12.18 SF	8.22%		
BEDROOM 3	154 SF	10%	2.0	50.00 SF	32.57%	5%	1	12.18 SF	7.93%		
KIT-D	77 SF	N / A				N / A					
LIVING/DINING	333 SF	10%	6.0	150.00 SF	45.05%	5%	2	24.36 SF	7.32%		
MASTER BEDROOM	205 SF	10%	2.5	62.50 SF	30.49%	5%	1	12.18 SF	5.94%		

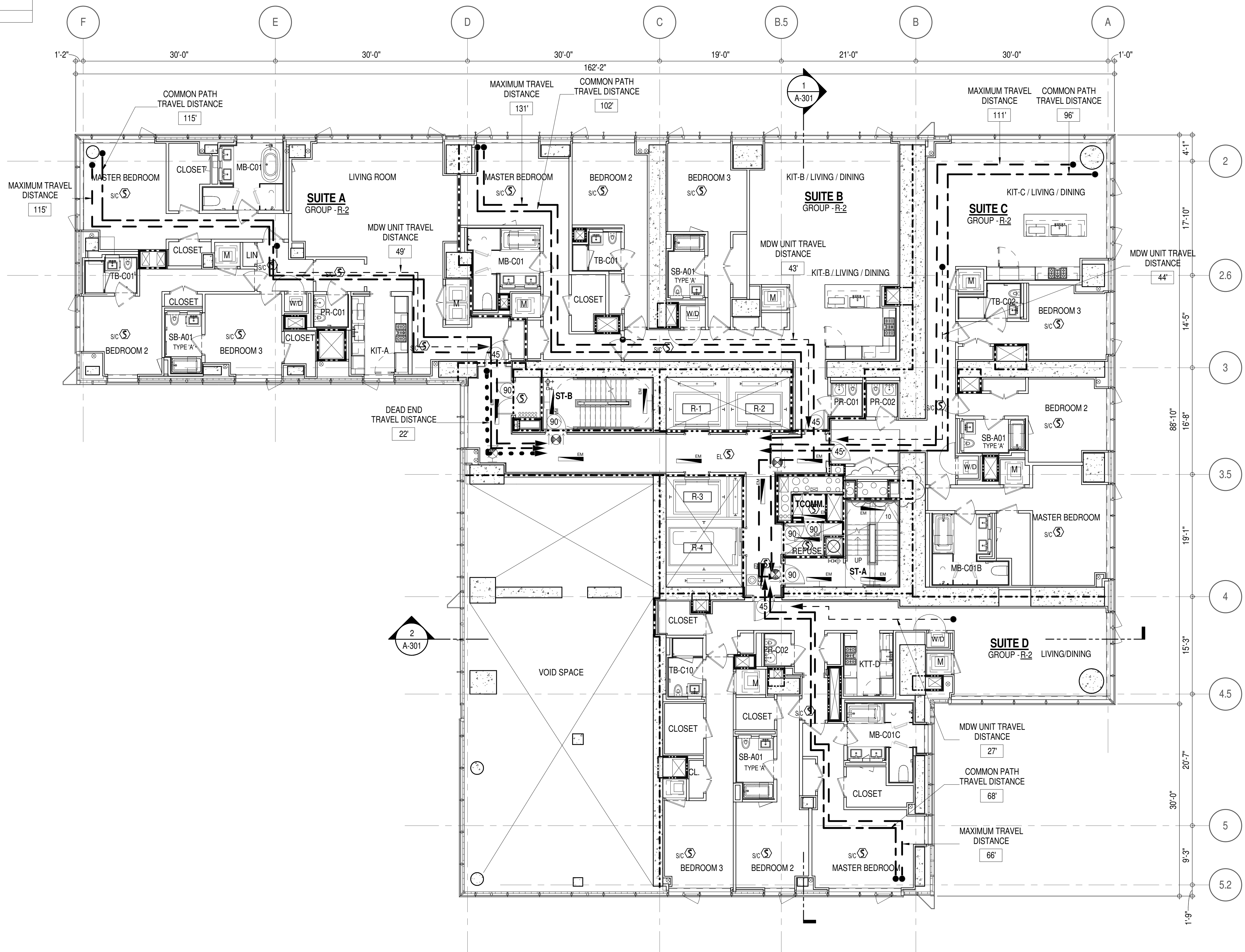
*AREA OF VENTILATING OPENING / UNIT: 12.18 SF

**AREA OF NATURAL LIGHT SOURCES: 25.00 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C01	ADAPTABLE	1/A-973
MB-C01B	ADAPTABLE	1/A-979
MB-C01C	ADAPTABLE	7/A-979
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
PR-C02	ADAPTABLE	6/A-988
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-981
TB-C01	ADAPTABLE	1/A-981
TB-C02	ADAPTABLE	10/A-981
TB-C10	ADAPTABLE	1/A-984

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A	1/A-950
KIT-B / LIVING / DINING	5/A-950
KIT-C / LIVING / DINING	1/A-951
KIT-D	7/A-951



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

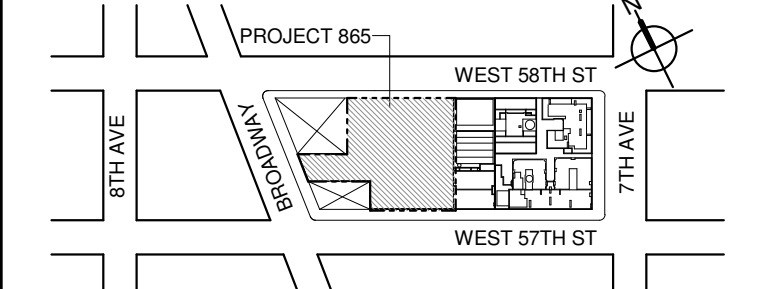
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	SPRINKLER RISER	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SIAMESE CONNECTION	WALL MOUNTED EMERGENCY LIGHT
			DOOR RATING (MINUTES)

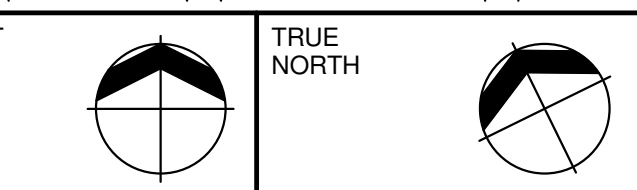
SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN:



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
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GEOTECHNICAL ENGINEERS:
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CODE CONSULTANTS:
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CURTAIN WALL CONSULTANT:
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TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebath & Partners LLC
11 Hanover Square, 16th Floor
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TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 7	14 SEP 16
13	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



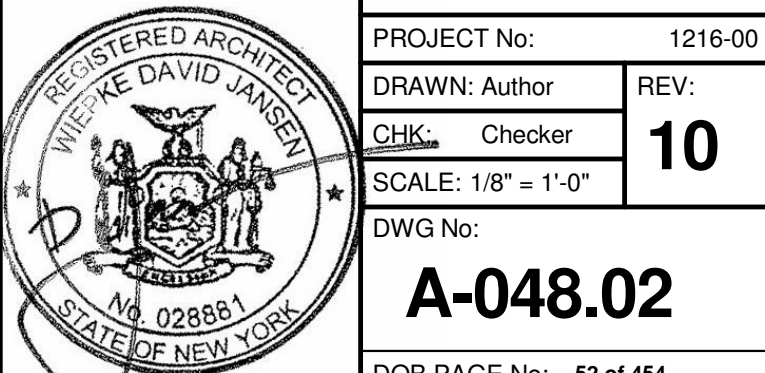
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

13TH - FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 1) (MFD-32ND FLOOR)

SEAL & SIGNATURE:



DOB EMPLOYEE STAMP:

DOB B-SCAN:

OCCUPANT LOADS SUMMARY 14TH - 16TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,425 SF	200 SF	13
SUITE B	R-2	2,552 SF	200 SF	13
SUITE C	R-2	2,380 SF	200 SF	12
SUITE D	R-2	1,854 SF	200 SF	10
SUITE E	R-2	553 SF	200 SF	3
SUITE F	R-2	2,053 SF	200 SF	11
Grand total				62

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (62)
STAIR - A	44"	0.3	146	31
STAIR - B	44"	0.3	146	31

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (62)
STAIR - A - DOOR	34"	0.2	170	31
STAIR - B - DOOR	34"	0.2	170	31

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.5"	19	59.81"
STAIR - B	9.5"	7.5"	19	74.75"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY

DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR	36"
SUITE B DOOR	36"
SUITE C DOOR	36"
SUITE D DOOR	36"
SUITE E DOOR	36"
SUITE F DOOR	36"

MULTI DWELLING LAW

SECTION 103.1 (b) EGRESS FROM APARTMENT
MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS
FROM ANY ROOM WITHIN APARTMENT

50'

LIGHT & AIR CALCULATION 14TH - 16TH FLOOR

Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain % of Wall Panels (5' typ.)**	PROVIDED Natural Light	% of Natural Light	REQ'D % of Air	# of Operable Windows*	PROVIDED Natural Ventilating Openings	% of Natural Air
SUITE A									
BEDROOM 2	151 SF	10%	3.0	75.00 SF	49.58%	5%	1	12.18 SF	8.05%
BEDROOM 3	149 SF	10%	1.5	37.50 SF	25.15%	5%	1	12.18 SF	8.17%
KIT-A	113 SF	10%	1.0	25.00 SF	22.10%	5%	1	12.18 SF	10.77%
LIVING ROOM	435 SF	10%	4.0	100.00 SF	22.98%	5%	2	24.36 SF	5.60%
MASTER BEDROOM	217 SF	10%	4.0	100.00 SF	46.06%	5%	2	24.36 SF	11.22%
SUITE B									
BEDROOM 2	151 SF	10%	2.0	50.00 SF	33.04%	5%	1	12.18 SF	8.05%
BEDROOM 3	165 SF	10%	2.0	50.00 SF	30.21%	5%	1	12.18 SF	7.36%
KIT-B / LIVING / DINING	638 SF	10%	4.0	100.00 SF	15.69%	2.5%	2	24.36 SF	3.82%
MASTER BEDROOM	199 SF	10%	2.0	50.00 SF	25.12%	5%	1	12.18 SF	6.12%
SUITE C									
BEDROOM 2	155 SF	10%	2.0	50.00 SF	32.22%	5%	1	12.18 SF	7.85%
BEDROOM 3	145 SF	10%	2.0	50.00 SF	34.40%	5%	1	12.18 SF	8.38%
KIT-C / LIVING / DINING	576 SF	10%	6.0	150.00 SF	26.03%	5%	3	36.54 SF	6.34%
MASTER BEDROOM	212 SF	10%	3.0	75.00 SF	35.45%	5%	1	12.18 SF	5.76%
SUITE D									
BEDROOM 2	148 SF	10%	1.0	25.00 SF	16.86%	5%	1	12.18 SF	8.22%
KIT-D	77 SF	10%							
LIVING/DINING	336 SF	10%	6.0	150.00 SF	44.67%	5%	2	24.36 SF	7.25%
MASTER BEDROOM	205 SF	10%	3.0	75.00 SF	36.57%	5%	1	12.18 SF	5.94%
SUITE E									
BEDROOM 3	151 SF	10%	2.0	50.00 SF	33.22%	5%	1	12.18 SF	8.09%
KIT-E	47 SF	10%							
SUITE F									
BEDROOM 2	160 SF	10%	1.0	25.00 SF	15.65%	5%	1	12.18 SF	7.63%
KIT-F	137 SF	10%	2.0	50.00 SF	36.48%	5%	1	12.18 SF	8.89%
LIVING / DINING	477 SF	10%	5.5	137.50 SF	28.80%	5%	3	36.54 SF	7.65%
MASTER BEDROOM	201 SF	10%	2.0	50.00 SF	24.83%	5%	1	12.18 SF	6.05%

*AREA OF VENTILATING OPENING / UNIT: 12.18 SF

**AREA OF NATURAL LIGHT SOURCES: 25.00 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

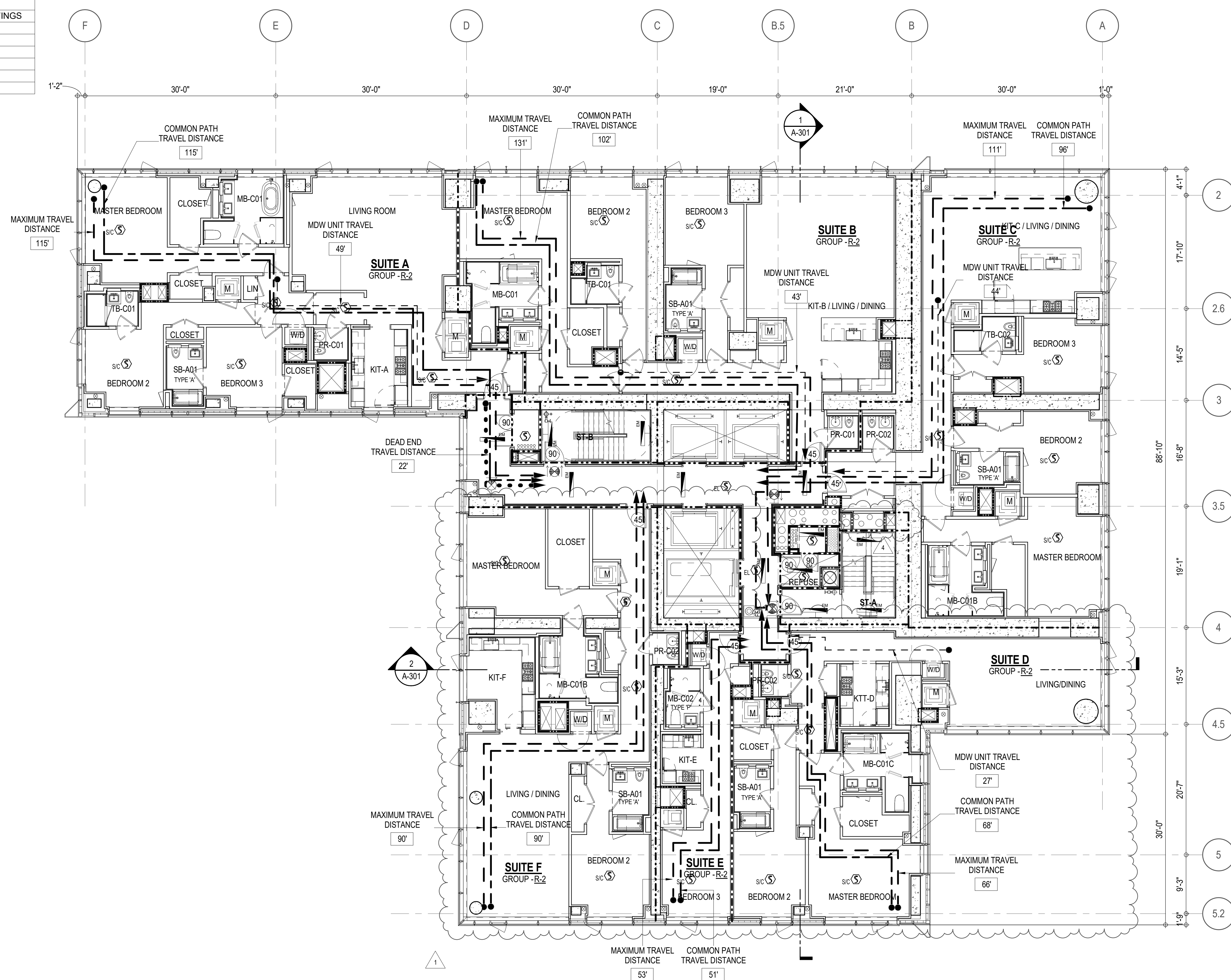
RESTROOM TYPES

NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C01	ADAPTABLE	1/A-973
MB-C01B	ADAPTABLE	1/A-979
MB-C01B	ADAPTABLE	1/A-979
MB-C01C	ADAPTABLE	7/A-979
MB-C02	(P*)	10/A-973
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
PR-C02	ADAPTABLE	6/A-988
PR-C02	ADAPTABLE	6/A-988
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-981
TB-C01	ADAPTABLE	1/A-981
TB-C02	ADAPTABLE	10/A-981

*APPENDIX "F" BATHROOM OF THE NEW YORK BUILDING CODE

KITCHENS

NAME	DETAIL DRAWINGS
KIT-A	1/A-950
KIT-B / LIVING / DINING	5/A-950
KIT-C / LIVING / DINING	1/A-951
KIT-E	14/A-952
KIT-F	4/A-952
KIT-D	7/A-951



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

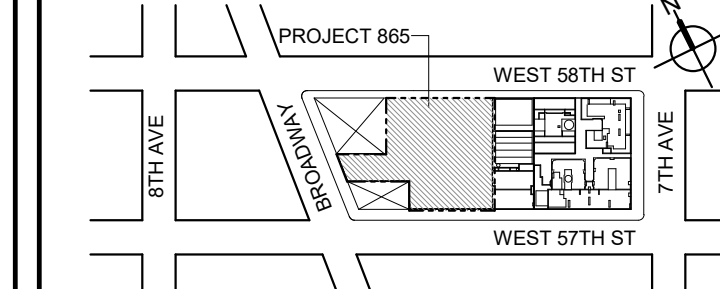
SYMBOLS LEGEND

⬤	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬤	WALL MOUNTED ILLUMINATED NO EXIT SIGN	⬤	FEC FIRE EXTINGUISHER CABINET	⬤	SMOKE DETECTOR
⬤	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬤	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	⬤	SPRINKLER HEAD (REFER TO FP DRAWINGS)	⬤	SMOKE / CARBON MONOXIDE DETECTOR
⬤	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬤	ILLUMINATED NO EXIT SIGN	⬤	SPRINKLER RISER	⬤	CEILING MOUNTED EMERGENCY LIGHT
⬤	ILLUMINATED EXIT SIGN	⬤	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	⬤	SIAMESE CONNECTION	⬤	WALL MOUNTED EMERGENCY LIGHT
						⬤	DOOR RATING (MINUTES)

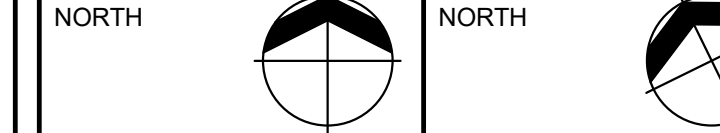
SYMBOLS LEGEND

⬤	REVERSIBLE DOOR SWING
⬤	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
⬤	MECHANICAL UNIT

KEY PLAN



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 1TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

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ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
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GEOTECHNICAL ENGINEERS:
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21 Fern Plaza - 380 West 31st Street, 8th Floor
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LANDMARK/PRESERVATION CONSULTANT:
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
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No. DESCRIPTION: DATE:

1 D.O.B. AMENDMENT 2 21 SEP 15

2 CD PROGRESS ISSUE 6 02 NOV 15

3 CD PROGRESS ISSUE 7 29 JAN 16

4 CD ISSUE 8 - GMP SET 31 MAR 16

5 CD BULLETIN ISSUE - 7 14 SEP 16

6 D.O.B. AMENDMENT 3 03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

14TH - 16TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 1)
(MFD-33RD-3TH FLOOR)

SEAL & SIGNATURE:

DATE: 21 SEP 15
PROJECT No: 1216-00
DRAWN: Author
CHECK: Checker
SCALE: 1/8" = 1'-0"

DWG No: **A-049.02**
DOB PAGE No: 53 of 454
DOB 5-SCAN:

DOB EMPLOYEE STAMP: **AAI**
ARCHITECTS, P.C.

OCCUPANT LOADS SUMMARY 17TH - 18TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,412 SF	200 SF	13
SUITE B	R-2	2,533 SF	200 SF	13
SUITE C	R-2	2,381 SF	200 SF	12
SUITE D	R-2	1,833 SF	200 SF	10
SUITE E	R-2	557 SF	200 SF	3
SUITE F	R-2	2,050 SF	200 SF	11
Grand total				62

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (62)
STAIR - A	44"	0.3	146	31
STAIR - B	44"	0.3	146	31

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (62)
STAIR - A - DOOR	34"	0.2	170	31
STAIR - B - DOOR	34"	0.2	170	31

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.7"	19	59.81"
STAIR - B	9.5"	7.5"	19	74.75"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY

DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR	36"
SUITE B DOOR	36"
SUITE C DOOR	36"
SUITE D DOOR	36"
SUITE E DOOR	36"
SUITE F DOOR	36"

MULTI DWELLING LAW

SECTION 103.1 (b) EGRESS FROM APARTMENT
MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS
FROM ANY ROOM WITHIN APARTMENT

50'

LIGHT & AIR CALCULATION 17TH - 18TH FLOOR

Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain % of Wall Panels (5' typ.)**	PROVIDED Natural Light Area of Vision Glass	% of Natural Light	REQ'D % of Air	PROVIDED Natural Ventilating Openings # of Operable Windows*	Area of Ventilating Openings	% of Natural Air
SUITE A									
BEDROOM 2	151 SF	10%	3.0	75.00 SF	49.58%	5%	1	12.18 SF	8.05%
BEDROOM 3	150 SF	10%	1.5	37.50 SF	24.94%	5%	1	12.18 SF	8.10%
KIT-A	113 SF	10%	1.0	25.00 SF	22.10%	5%	1	12.18 SF	10.77%
LIVING ROOM	436 SF	10%	4.0	100.00 SF	22.92%	5%	2	24.36 SF	5.58%
MASTER BEDROOM	217 SF	10%	4.0	100.00 SF	46.06%	5%	2	24.36 SF	11.22%
SUITE B									
BEDROOM 2	153 SF	10%	2.0	50.00 SF	32.66%	5%	1	12.18 SF	7.96%
BEDROOM 3	167 SF	10%	2.0	50.00 SF	29.97%	5%	1	12.18 SF	7.30%
KIT-B / LIVING / DINING	639 SF	10%	4.0	100.00 SF	15.64%	2.5%	2	24.36 SF	3.81%
MASTER BEDROOM	200 SF	10%	2.0	50.00 SF	25.01%	5%	1	12.18 SF	6.09%
SUITE C									
BEDROOM 2	168 SF	10%	2.0	50.00 SF	29.78%	5%	1	12.18 SF	7.26%
BEDROOM 3	154 SF	10%	2.0	50.00 SF	32.37%	5%	1	12.18 SF	7.88%
KIT-C / LIVING / DINING	578 SF	10%	6.0	150.00 SF	25.97%	5%	3	36.54 SF	6.33%
MASTER BEDROOM	212 SF	10%	3.0	75.00 SF	35.45%	5%	1	12.18 SF	5.76%
SUITE D									
BEDROOM 2	139 SF	10%	1.0	25.00 SF	17.98%	5%	1	12.18 SF	8.76%
KIT-D	77 SF	10%							
LIVING/DINING	336 SF	10%	6.0	150.00 SF	44.67%	5%	2	24.36 SF	7.25%
MASTER BEDROOM	208 SF	10%	3.0	75.00 SF	36.10%	5%	1	12.18 SF	5.86%
SUITE E									
BEDROOM 3	147 SF	10%	2.0	50.00 SF	33.97%	5%	1	12.18 SF	8.28%
KIT-E	46 SF	10%							
SUITE F									
BEDROOM 2	159 SF	10%	1.0	25.00 SF	15.74%	5%	1	12.18 SF	7.67%
KIT-F	138 SF	10%	2.0	50.00 SF	36.14%	5%	1	12.18 SF	8.80%
LIVING / DINING	478 SF	10%	5.5	137.50 SF	28.77%	5%	3	36.54 SF	7.65%
MASTER BEDROOM	202 SF	10%	2.0	50.00 SF	24.73%	5%	1	12.18 SF	6.02%

*AREA OF VENTILATING OPENING / UNIT: 12.18 SF

**AREA OF NATURAL LIGHT SOURCES: 25.00 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

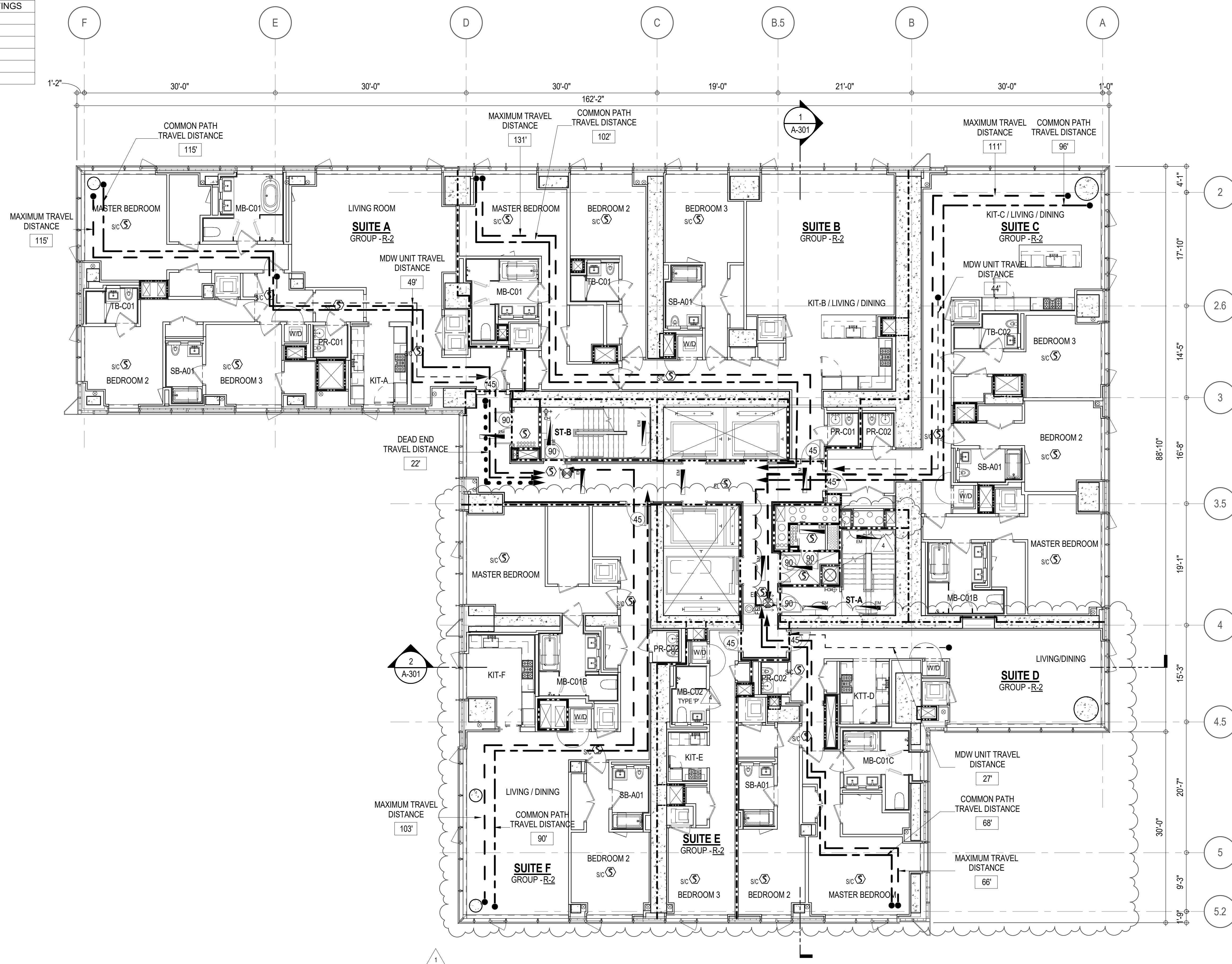
RESTROOM TYPES

NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C01	ADAPTABLE	1/A-973
MB-C01B	ADAPTABLE	1/A-979
MB-C01B	ADAPTABLE	1/A-979
MB-C01C	ADAPTABLE	7/A-979
MB-C02	ADAPTABLE	10/A-973
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
PR-C02	ADAPTABLE	6/A-988
PR-C02	ADAPTABLE	6/A-988
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-981
TB-C01	ADAPTABLE	1/A-981
TB-C02	ADAPTABLE	10/A-981

*APPENDIX 11 BATHROOM OF THE NEW YORK BUILDING CODE

KITCHENS

NAME	DETAIL DRAWINGS
KIT-A	1/A-950
KIT-B / LIVING / DINING	5/A-950
KIT-C / LIVING / DINING	1/A-951
KIT-E	14/A-952
KIT-F	4/A-952
KIT-D	7/A-951



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

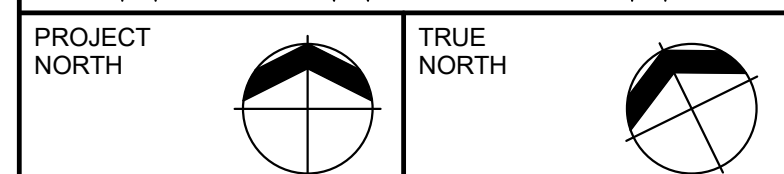
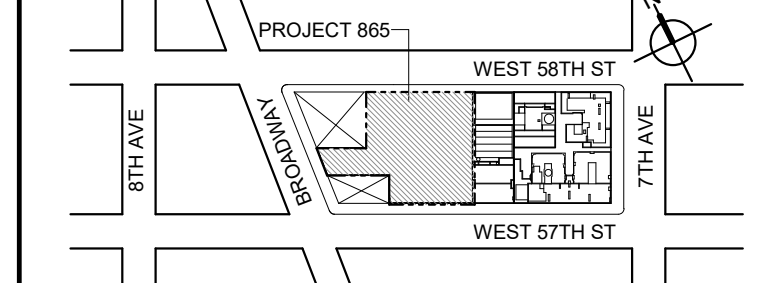
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	SPRINKLER RISER	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SIAMESE CONNECTION	WALL MOUNTED EMERGENCY LIGHT

SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
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111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

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TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
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TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

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TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9498 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
	D.O.B. AMENDMENT 2	21 SEP 15
1	CD PROGRESS ISSUE 6	02 NOV 15
2	CD PROGRESS ISSUE 7	29 JAN 16
3	CD ISSUE 8 - GMP SET	31 MAR 16
4	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**17TH - 18TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 1)
(MFD-36TH-37TH FLOOR)**

SEAL & SIGNATURE: DATE: 21 SEP 15
PROJECT No: 1216-00

DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"

DWG No: **A-050.02**

DOB PAGE No: 54 of 154
DOB B-SCAN:

OCCUPANT LOADS SUMMARY 19TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,426 SF	200 SF	13
SUITE B	R-2	2,552 SF	200 SF	13
SUITE C	R-2	2,374 SF	200 SF	12
SUITE D	R-2	1,841 SF	200 SF	10
SUITE E	R-2	547 SF	200 SF	3
SUITE F	R-2	2,051 SF	200 SF	11
Grand total				62

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (62)
STAIR - A	44"	0.3	146	31
STAIR - B	44"	0.3	146	31

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (62)
STAIR - A - DOOR	34"	0.2	170	31
STAIR - B - DOOR	34"	0.2	170	31

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.5"	19	59.81"
STAIR - B	9.5"	7.5"	19	74.75"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY

DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR	36"
SUITE B DOOR	36"
SUITE C DOOR	36"
SUITE D DOOR	36"
SUITE E DOOR	36"
SUITE F DOOR	36"

MULTI DWELLING LAW

SECTION 103.1 (b) EGRESS FROM APARTMENT
MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS
FROM ANY ROOM WITHIN APARTMENT

50'

LIGHT & AIR CALCULATION 19TH FLOOR

Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain % of Wall Panels (5' typ)**	PROVIDED Natural Light Area of Vision Glass	% of Natural Light	REQ'D % of Air	PROVIDED Natural Ventilating Openings # of Operable Windows*	Area of Ventilating Openings	% of Natural Air
SUITE A									
BEDROOM 2	149 SF	10%	3.0	85.50 SF	57.43%	5%	1	13.64 SF	9.16%
BEDROOM 3	150 SF	10%	1.5	42.75 SF	28.57%	5%	1	13.64 SF	9.12%
KIT-A	112 SF	10%	1.0	28.50 SF	25.48%	5%	1	13.64 SF	12.19%
LIVING ROOM	437 SF	10%	4.0	114.00 SF	26.10%	5%	2	27.28 SF	6.25%
MASTER BEDROOM	219 SF	10%	4.0	114.00 SF	52.07%	5%	2	27.28 SF	12.46%
SUITE B									
BEDROOM 2	153 SF	10%	2.0	57.00 SF	37.23%	5%	1	13.64 SF	8.91%
BEDROOM 3	167 SF	10%	2.0	57.00 SF	34.18%	5%	1	13.64 SF	8.18%
KIT-B / LIVING / DINING	634 SF	10%	4.0	114.00 SF	17.98%	2.5%	2	27.28 SF	4.30%
MASTER BEDROOM	200 SF	10%	2.0	57.00 SF	28.51%	5%	1	13.64 SF	6.82%
SUITE C									
BEDROOM 2	169 SF	10%	2.0	57.00 SF	33.77%	5%	1	13.64 SF	8.08%
BEDROOM 3	156 SF	10%	2.0	57.00 SF	36.64%	5%	1	13.64 SF	8.77%
KIT-C / LIVING / DINING	576 SF	10%	6.0	171.00 SF	29.68%	5%	3	40.92 SF	7.10%
MASTER BEDROOM	210 SF	10%	3.0	85.50 SF	40.65%	5%	1	13.64 SF	6.49%
SUITE D									
BEDROOM 2	139 SF	10%	1.0	28.50 SF	20.50%	5%	1	13.64 SF	9.81%
KIT-D	77 SF	10%							
LIVING/DINING	359 SF	10%	6.0	171.00 SF	47.59%	5%	2	27.28 SF	7.59%
MASTER BEDROOM	208 SF	10%	3.0	85.50 SF	41.15%	5%	1	13.64 SF	6.57%
SUITE E									
BEDROOM 3	140 SF	10%	2.0	57.00 SF	40.82%	5%	1	13.64 SF	9.77%
KIT-E	47 SF	10%							
SUITE F									
BEDROOM 2	156 SF	10%	1.0	28.50 SF	18.31%	5%	1	13.64 SF	8.76%
KIT-F	137 SF	10%	2.0	57.00 SF	41.59%	5%	1	13.64 SF	9.35%
LIVING / DINING	475 SF	10%	5.5	156.75 SF	32.99%	5%	3	40.92 SF	8.61%
MASTER BEDROOM	201 SF	10%	2.0	57.00 SF	28.31%	5%	1	13.64 SF	6.77%

*AREA OF VENTILATING OPENING / UNIT: 13.64 SF

**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

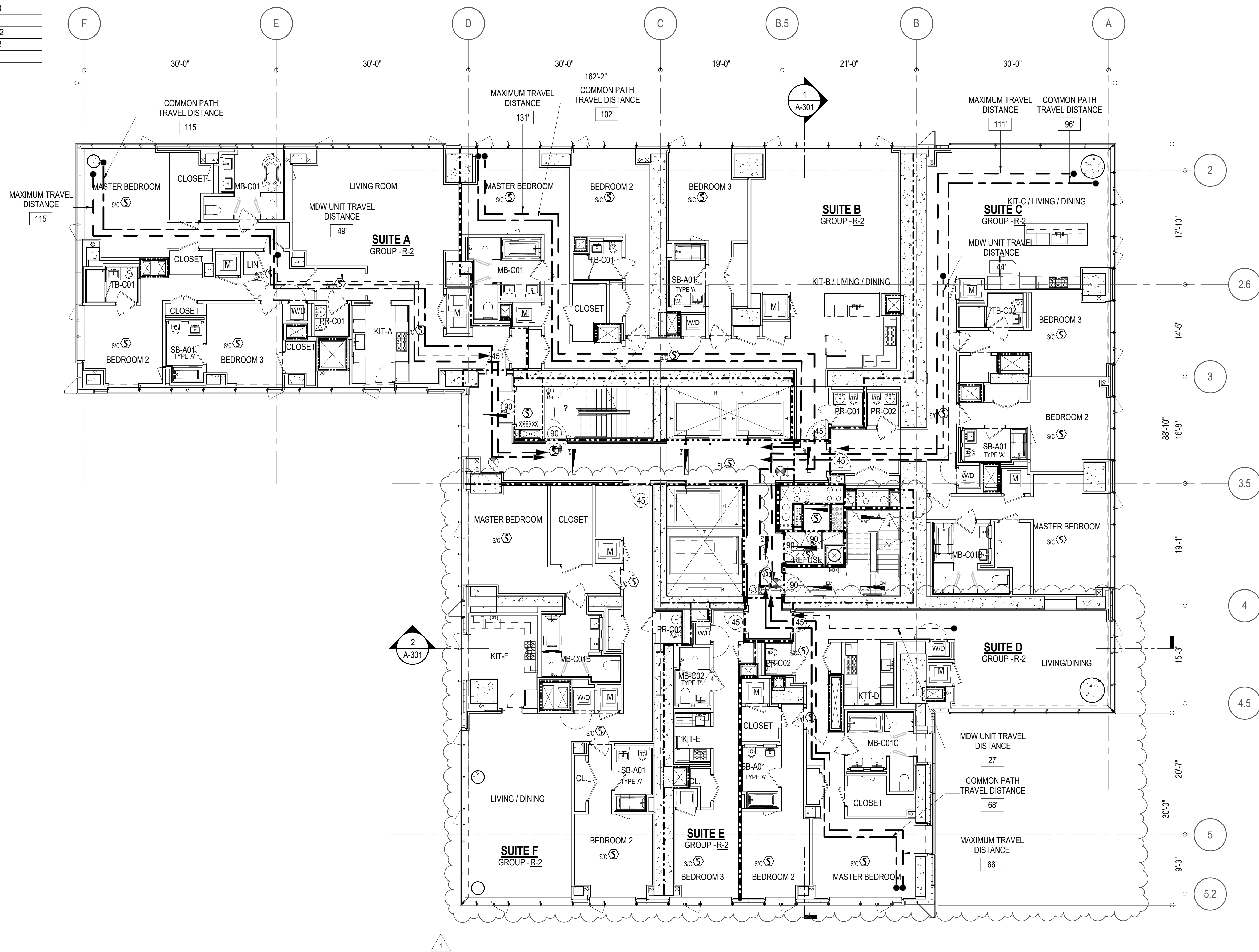
RESTROOM TYPES

NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C01	ADAPTABLE	1/A-973
MB-C01B	ADAPTABLE	1/A-979
MB-C01B	ADAPTABLE	1/A-979
MB-C01C	ADAPTABLE	7/A-979
MB-C02	(P*)	10/A-973
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
PR-C02	ADAPTABLE	6/A-988
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-981
TB-C01	ADAPTABLE	1/A-981
TB-C02	ADAPTABLE	10/A-981

*APPENDIX 11 BATHROOM OF THE NEW YORK BUILDING CODE

KITCHENS

NAME	DETAIL DRAWINGS
KIT-A	1/A-950
KIT-B / LIVING / DINING	5/A-950
KIT-C / LIVING / DINING	1/A-951
KIT-E	1/A-952
KIT-F	4/A-952
KIT-D	7/A-951



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

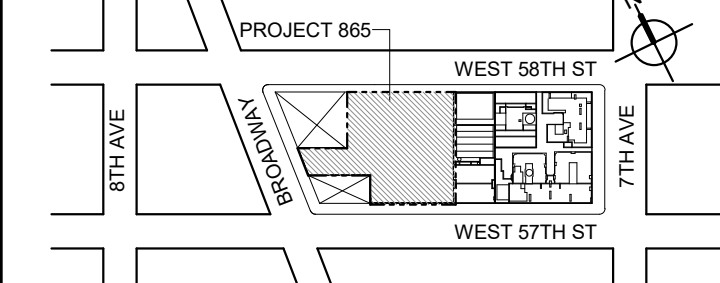
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	SPRINKLER RISER	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SIAMESE CONNECTION	WALL MOUNTED EMERGENCY LIGHT

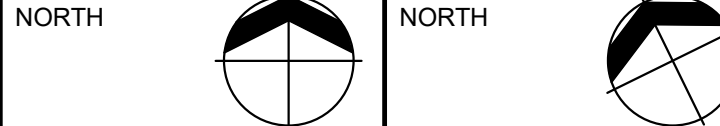
SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 1750

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WSP CANTOR SENUK
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New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
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1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 6659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
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TEL: 212 274 9488 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
	D.O.B. AMENDMENT 2	21 SEP 15
1	CD PROGRESS ISSUE 6	02 NOV 15
2	CD PROGRESS ISSUE 7	29 JAN 16
3	CD ISSUE 8 - GMP SET	31 MAR 16
4	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

19TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 1) (MFD-38TH FLOOR)

SEAL & SIGNATURE: DATE: 21 SEP 1502 NOV

PROJECT No: 1216-00

DRAWN: Author REV: 4

CHECK: Checker

SCALE: 1/8" = 1'-0"

DWG No: A-051.02

DOB PAGE No: 55 of 154

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 20TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,412 SF	200 SF	13
SUITE B	R-2	7,225 SF	200 SF	37
Grand total				50

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (50)
STAIR - A	44"	0.3	146	25
STAIR - B	44"	0.3	146	25

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (50)
STAIR - A - DOOR	34"	0.2	170	25
STAIR - B - DOOR	34"	0.2	170	25

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.68"	25	69.12"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY

DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR	36"
SUITE B DOOR 1	36"
SUITE B DOOR 2	36"

MULTI DWELLING LAW
SECTION 103.1 (b) EGRESS FROM APARTMENT
MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
50'

LIGHT & AIR CALCULATION 20TH FLOOR

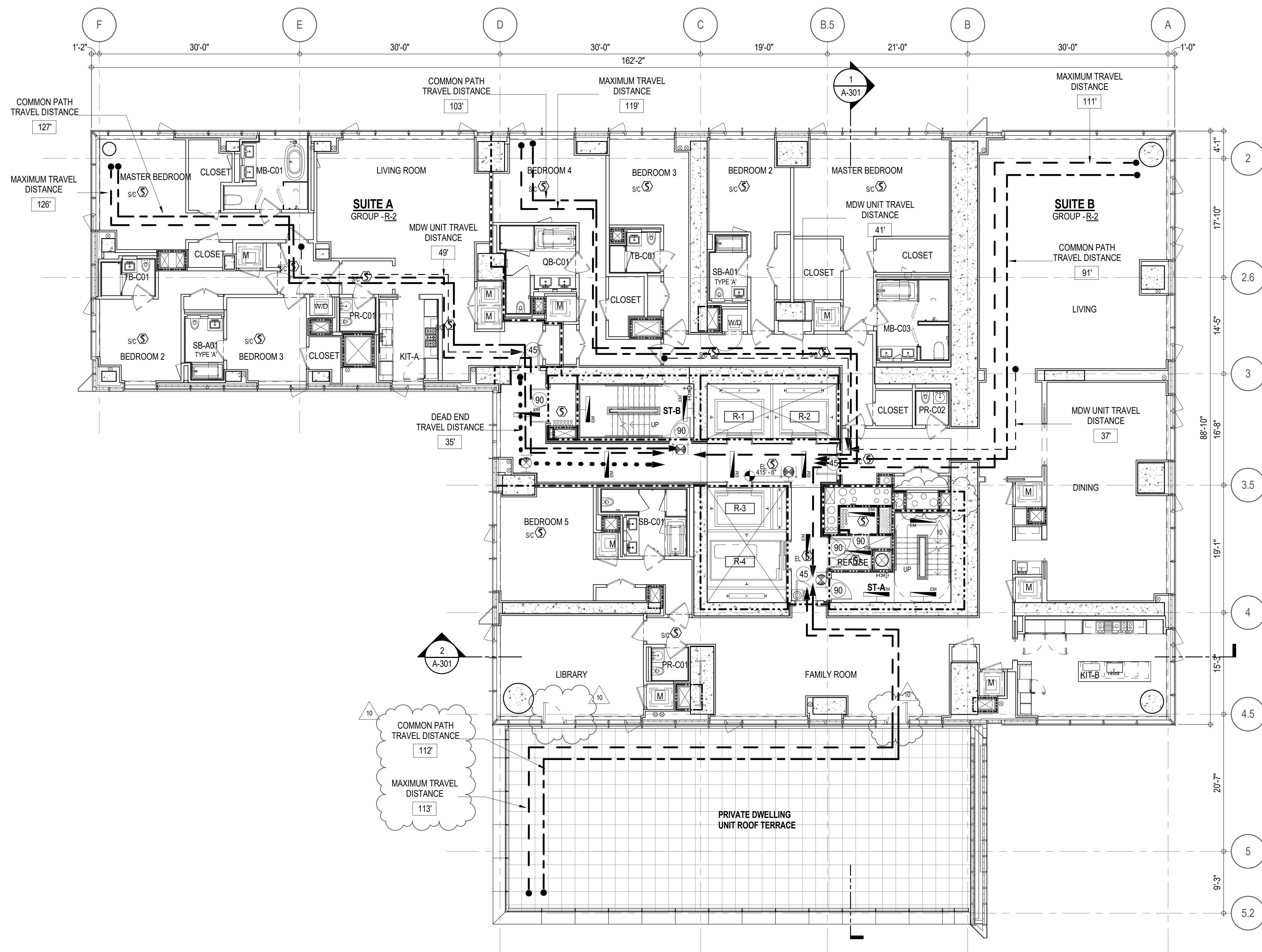
		LIGHT REQUIREMENT <BC-1205>					AIR REQUIREMENT <BC-1203>				
		PROVIDED Natural Light					PROVIDED Natural Ventilating Openings				
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	Door Opening Area	# of Operable Windows*	Area of Ventilating Openings	% of Natural Air	
Room Name	Floor Area										
SUITE A											
BEDROOM 2	149 SF	10%	3.0	85.50 SF	57.40%	5%	0.00 SF	1	13.64 SF	9.16%	
BEDROOM 3	151 SF	10%	1.5	42.75 SF	28.32%	5%	0.00 SF	1	13.64 SF	9.04%	
KIT-A	112 SF	10%	1.0	28.50 SF	25.51%	5%	0.00 SF	1	13.64 SF	12.21%	
LIVING ROOM	438 SF	10%	4.0	114.00 SF	26.02%	5%	0.00 SF	2	27.28 SF	6.23%	
MASTER BEDROOM	220 SF	10%	4.0	114.00 SF	51.91%	5%	0.00 SF	2	27.28 SF	12.42%	
SUITE B											
BEDROOM 2	166 SF	10%	2.0	57.00 SF	34.44%	5%	0.00 SF	1	13.64 SF	8.24%	
BEDROOM 3	154 SF	10%	2.0	57.00 SF	37.06%	5%	0.00 SF	1	13.64 SF	8.87%	
BEDROOM 4	193 SF	10%	2.0	57.00 SF	29.53%	5%	0.00 SF	1	13.64 SF	7.07%	
BEDROOM 5	234 SF	10%	3.0	85.50 SF	36.61%	5%	0.00 SF	1	13.64 SF	5.84%	
DINING	575 SF	10%	5.0	142.50 SF	24.77%	5%	0.00 SF	3	40.92 SF	7.11%	
FAMILY ROOM	513 SF	10%	6.0	171.00 SF	33.36%	5%	20.00 SF	1	33.64 SF	6.56%	
KIT-B	335 SF	10%	6.0	171.00 SF	51.05%	5%	0.00 SF	2	27.28 SF	8.14%	
LIBRARY	327 SF	10%	5.0	142.50 SF	43.57%	5%	20.00 SF	2	47.28 SF	14.46%	
LIVING	956 SF	10%	8.0	228.00 SF	23.85%	5%	0.00 SF	4	54.56 SF	5.71%	
MASTER BEDROOM	339 SF	10%	4.0	114.00 SF	33.66%	5%	0.00 SF	2	27.28 SF	8.05%	

*AREA OF VENTILATING OPENING / UNIT: 13.64 SF

**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C03	ADAPTABLE	1/A-974
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
QB-C01	ADAPTABLE	1/A-985
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-C01	ADAPTABLE	1/A-980
TB-C01	ADAPTABLE	1/A-981
TB-C01	ADAPTABLE	1/A-981

KITCHENS		
NAME	DETAIL DRAWINGS	
KIT-A	1/A-950	
KIT-B	7/A-952	



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

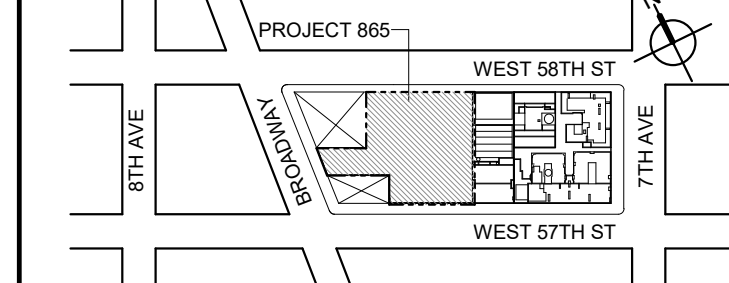
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE /CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	SPRINKLER RISER	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SIAMESE CONNECTION	WALL MOUNTED EMERGENCY LIGHT
			DOOR RATING (MINUTES)

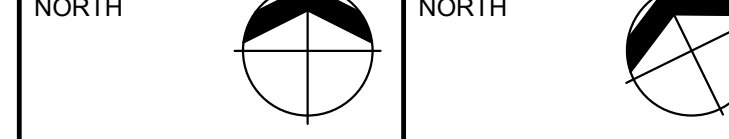
SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED WID TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
4011 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 867 1500 FAX: 416 867 7150STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10013-2727
TEL: 212 757 5659 FAX: 212 479 5444CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1816 FAX: 212 385 1911CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasbarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9458 FAX: 646 274 9380LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No. DESCRIPTION: DATE:

1 CD PROGRESS ISSUE 1 15 OCT 14

2 D.O.B. SUBMISSION 05 DEC 14

3 CD PROGRESS ISSUE 2 19 DEC 14

4 D.O.B. SUBMISSION 18 FEB 15

5 CD PROGRESS ISSUE 3 08 MAR 15

6 D.O.B. SUBMISSION 27 APR 15

7 CD PROGRESS ISSUE 4 01 JUN 15

8 D.O.B. AMENDMENT 2 21 SEP 15

9 CD PROGRESS ISSUE 6 02 NOV 15

10 CD ISSUE 8 - GMP SET 31 MAR 16

11 CD BULLETIN ISSUE - 5 12 AUG 16

12 D.O.B. AMENDMENT 3 03 OCT 16

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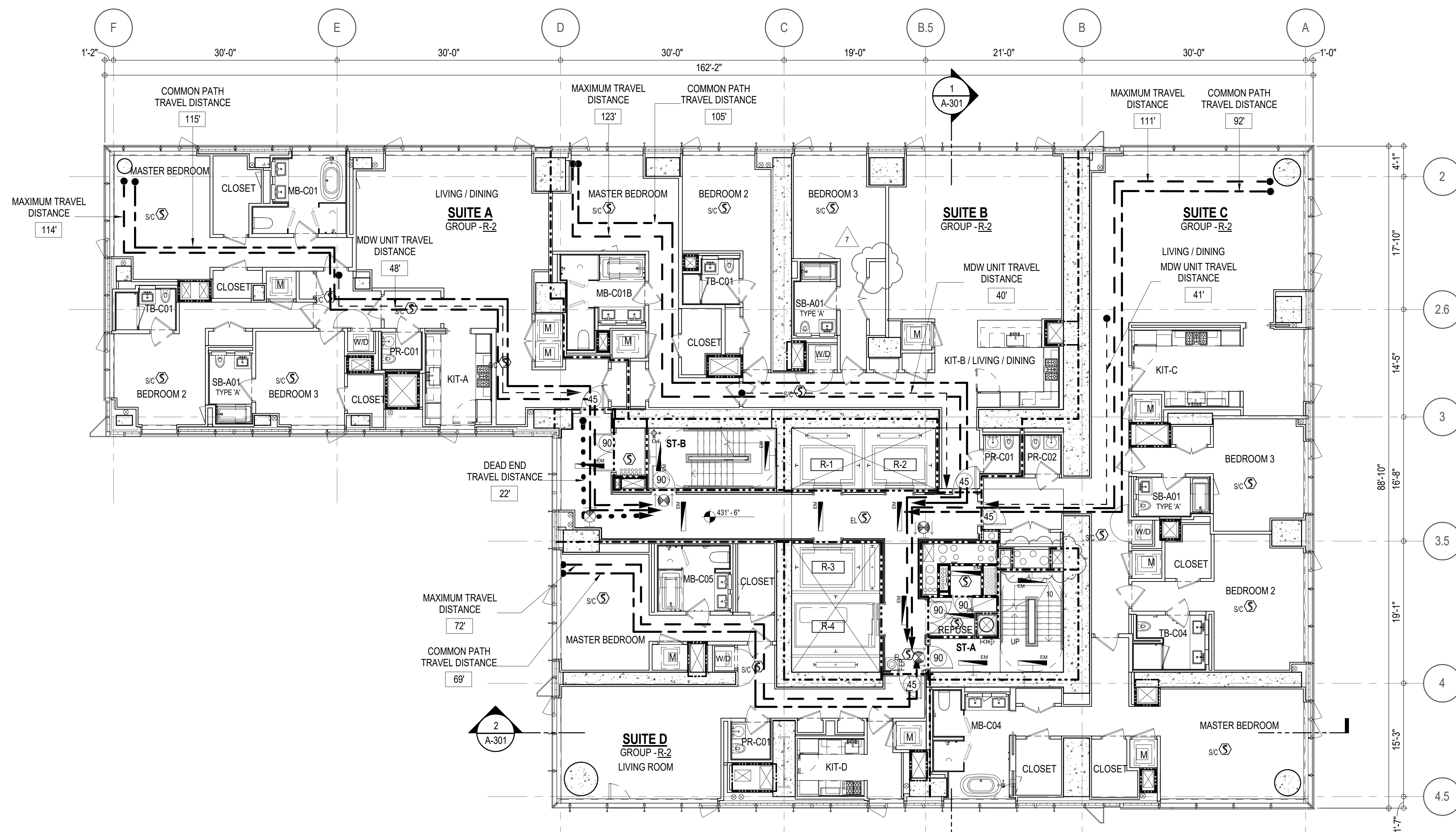
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MULTI DWELLING LAW
SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
50'

KITCHEN	
NAME	DETAIL DRAWINGS
KIT-A	1/A-950
KIT-B / LIVING / DINING	5/A-950
KIT-C	1/A-953
KIT-D	7/A-953






*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

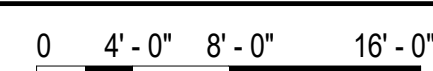
SYMBOLS LEGEND

	WALL MOUNTED ILLUMINATED NO EXIT SIGN
	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
	ILLUMINATED NO EXIT SIGN
	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)

SYMBOLS LEGEND

	REVERSIBLE DOOR SWING
	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
	MECHANICAL UNIT

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
	D.O.B. AMENDMENT 2	21 SEP 15
7	CD PROGRESS ISSUE 6	02 NOV 15
8	CD PROGRESS ISSUE 7	29 JAN 16
9	CD ISSUE 8 - GMP SET	31 MAR 16
10	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16



D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL


CONSULTANT



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

21ST - FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 1) (MFD-43RD
FLOOR)

SEAL & SIGNATURE:	DATE: 15 OCT 14
	PROJECT No: 1216-00
	DRAWN Author
	CHECKED by: Checker
	SCALE: 1/8" = 1'-0"
DWG No:	REV: 10
A-053.02	
DOR PAGE No: 57 of 454	

DOB EMPLOYEE STAMP:		DOB B-SCAN:
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OCCUPANT LOADS SUMMARY 22ND - 25HT FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,425 SF	200 SF	13
SUITE B	R-2	2,537 SF	200 SF	13
SUITE C	R-2	3,282 SF	200 SF	17
SUITE D	R-2	1,423 SF	200 SF	8
Grand total				51

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (51)
STAIR - A	44"	0.3	146	26
STAIR - B	44"	0.3	146	25

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (51)
STAIR - A - DOOR	34"	0.2	170	26
STAIR - B - DOOR	34"	0.2	170	25

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.5"	19	59.81"
STAIR - B	9.5"	7.5"	19	74.75"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR	36"	
SUITE B DOOR	36"	
SUITE C DOOR	36"	
SUITE D DOOR	36"	

LIGHT & AIR CALCULATION 22ND - 25HT FLOOR									
		LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
Room Name	Floor Area	REQ'D % of Light	PROVIDED			REQ'D % of Air	PROVIDED		
			# of Curtain Wall Panels (5' typ.)*	Area of Vision Glass	% of Natural Light		Natural Ventilating Openings	% of Ventilating Openings	% of Natural Air
SUITE A									
BEDROOM 2	150 SF	10%	3.0	75.00 SF	49.94%	5%	1	12.18 SF	8.11%
BEDROOM 3	151 SF	10%	1.5	37.50 SF	24.82%	5%	1	12.18 SF	8.06%
KIT-A	112 SF	10%	1.0	25.00 SF	22.35%	5%	1	12.18 SF	10.89%
LIVING / DINING	438 SF	10%	4.0	100.00 SF	22.84%	5%	2	24.36 SF	5.56%
MASTER BEDROOM	220 SF	10%	4.0	100.00 SF	45.49%	5%	2	24.36 SF	11.08%
SUITE B									
BEDROOM 2	154 SF	10%	2.0	50.00 SF	32.52%	5%	1	12.18 SF	7.92%
BEDROOM 3	167 SF	10%	2.0	50.00 SF	29.95%	5%	1	12.18 SF	7.30%
KIT-B / LIVING / DINING	635 SF	10%	4.0	100.00 SF	15.75%	2.5%	2	24.36 SF	3.84%
MASTER BEDROOM	196 SF	10%	2.0	50.00 SF	25.47%	5%	1	12.18 SF	6.20%
SUITE C									
BEDROOM 2	207 SF	10%	3.0	75.00 SF	36.19%	5%	1	12.18 SF	5.88%
BEDROOM 3	177 SF	10%	2.0	50.00 SF	28.20%	5%	1	12.18 SF	6.87%
KIT-C	240 SF	10%	3.0	75.00 SF	31.30%	5%	1	12.18 SF	5.08%
LIVING / DINING	620 SF	10%	6.0	150.00 SF	24.17%	5%	3	36.54 SF	5.89%
MASTER BEDROOM	295 SF	10%	5.0	125.00 SF	42.43%	5%	2	24.36 SF	8.27%
SUITE D									
KIT-D	101 SF	10%	3.0	75.00 SF	74.42%	5%	1	12.18 SF	12.09%
LIVING ROOM	331 SF	10%	5.0	125.00 SF	37.82%	5%	2	24.36 SF	7.37%
MASTER BEDROOM	189 SF	10%	3.0	75.00 SF	39.65%	5%	1	12.18 SF	6.44%

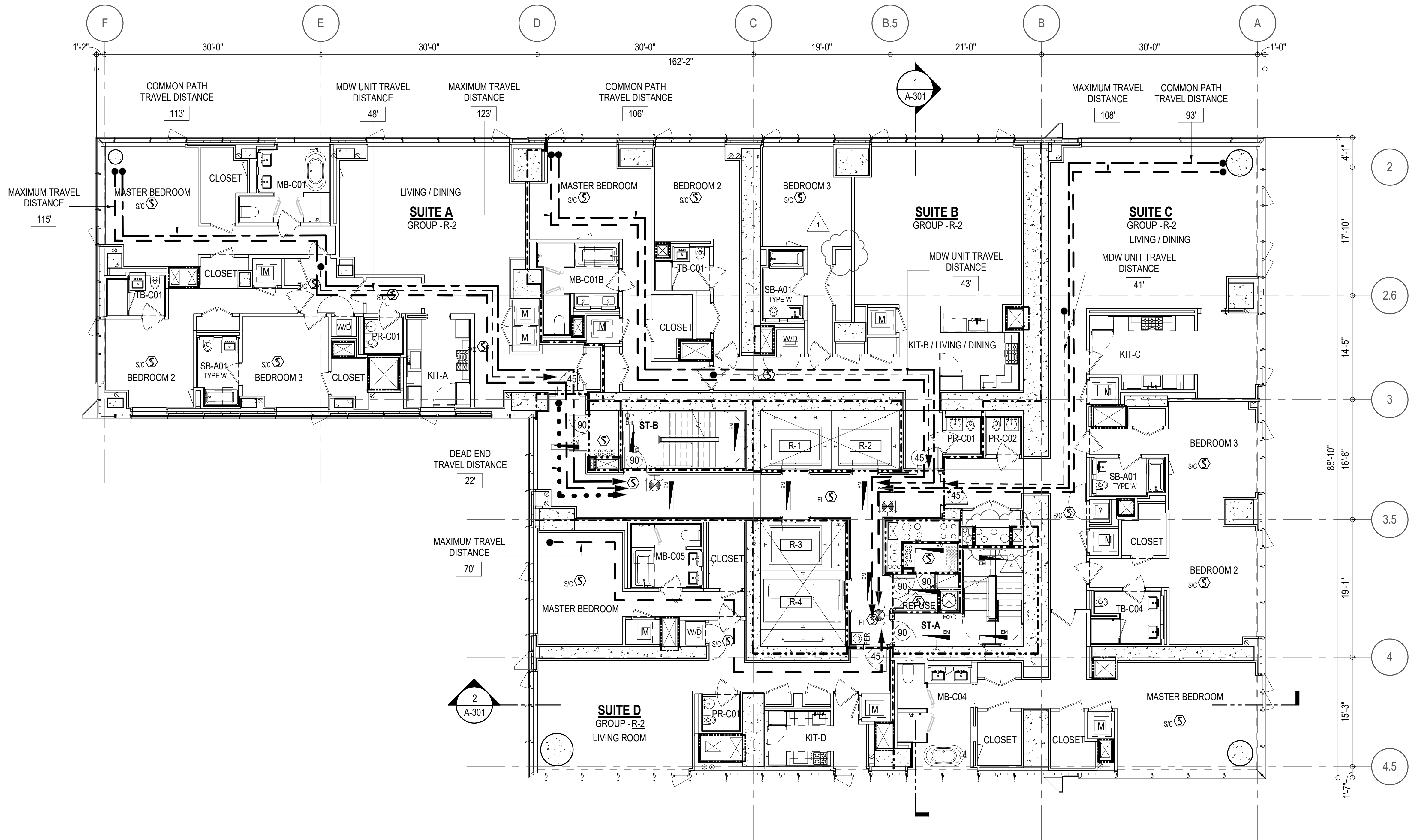
*AREA OF VENTILATING OPENING / UNIT: 12.18 SF

**AREA OF NATURAL LIGHT SOURCES: 25.00 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C01B	ADAPTABLE	1/A-979
MB-C04	ADAPTABLE	10/A-974
MB-C05	ADAPTABLE	1/A-975
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-981
TB-C01	ADAPTABLE	1/A-981
TB-C04	ADAPTABLE	1/A-982

KITCHEN	
NAME	DETAIL DRAWINGS
KIT-A	1/A-950
KIT-B / LIVING / DINING	5/A-950
KIT-C	1/A-953
KIT-D	7/A-953



EGRESS AND FIRE RATING LEGEND

-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	-----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

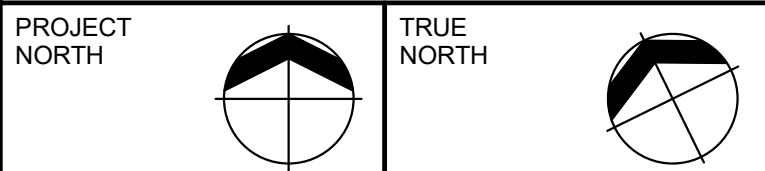
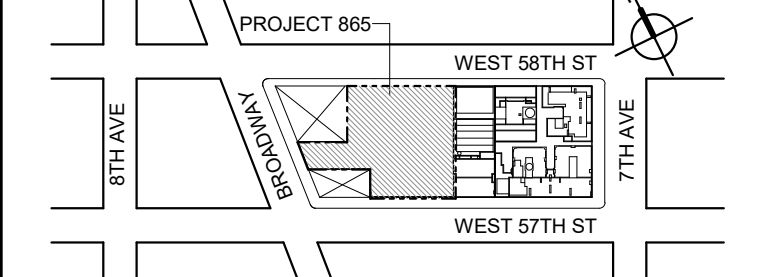
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	SPRINKLER RISER	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SIAMESE CONNECTION	WALL MOUNTED EMERGENCY LIGHT
			DOOR RATING (MINUTES)

SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St., 3rd Floor
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TEL: 416 867 1500 FAX: 416 867 1750

STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 46th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10013-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasbarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9498 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
	D.O.B. AMENDMENT 2	21 SEP 15
1	CD PROGRESS ISSUE 6	02 NOV 15
2	CD PROGRESS ISSUE 7	29 JAN 16
3	CD ISSUE 8 - GMP SET	31 MAR 16
4	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
22ND - 25TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 1) (45TH-48TH FLOOR)

SEAL & SIGNATURE:	DATE:	21 SEP 15
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHECK: Checker	4
	SCALE: 1/8" = 1'-0"	
DWG No:		
		A-054.02

DOB EMPLOYEE STAMP: 58 of 454

DOB S-CAN:

OCCUPANT LOADS SUMMARY 26TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,425 SF	200 SF	13
SUITE B	R-2	2,536 SF	200 SF	13
SUITE C	R-2	3,282 SF	200 SF	17
SUITE D	R-2	1,423 SF	200 SF	8
Grand total				51

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (292)	TOTAL (48)
STAIR - A	44"	0.3	146	24
STAIR - B	44"	0.3	146	24

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (340)	TOTAL (48)
STAIR - A - DOOR	34"	0.2	170	24
STAIR - B - DOOR	34"	0.2	170	24

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.5"	19	59.81"
STAIR - B	9.5"	7.5"	19	74.75"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR	36"	
SUITE B DOOR	36"	
SUITE C DOOR	36"	
SUITE D DOOR	36"	

LIGHT & AIR CALCULATION 26TH FLOOR									
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)	PROVIDED		REQ'D % of Air	PROVIDED		
				Area of Vision Glass	% of Natural Light		Natural Ventilating Openings	% of Natural Air	
SUITE A									
BEDROOM 2	149 SF	10%	3.0	85.50 SF	57.37%	5%	1	13.64 SF	9.15%
BEDROOM 3	150 SF	10%	1.5	42.75 SF	28.53%	5%	1	13.64 SF	9.10%
KIT-A	111 SF	10%	1.0	28.50 SF	25.62%	5%	1	13.64 SF	12.26%
LIVING / DINING	432 SF	10%	4.0	114.00 SF	26.37%	5%	2	27.28 SF	6.31%
MASTER BEDROOM	213 SF	10%	4.0	114.00 SF	53.45%	5%	2	27.28 SF	12.79%
SUITE B									
BEDROOM 2	155 SF	10%	2.0	57.00 SF	36.80%	5%	1	13.64 SF	8.81%
BEDROOM 3	167 SF	10%	2.0	57.00 SF	34.14%	5%	1	13.64 SF	8.17%
KIT-B / LIVING / DINING	632 SF	10%	4.0	114.00 SF	18.04%	2.5%	2	27.28 SF	4.32%
MASTER BEDROOM	196 SF	10%	2.0	57.00 SF	29.14%	5%	1	13.64 SF	6.97%
SUITE C									
BEDROOM 2	205 SF	10%	3.0	85.50 SF	41.74%	5%	1	13.64 SF	6.66%
BEDROOM 3	167 SF	10%	2.0	57.00 SF	34.14%	5%	1	13.64 SF	8.17%
KIT-C	242 SF	10%	3.0	85.50 SF	35.28%	5%	1	13.64 SF	5.63%
LIVING / DINING	613 SF	10%	6.0	171.00 SF	27.91%	5%	3	40.92 SF	6.68%
MASTER BEDROOM	289 SF	10%	5.0	142.50 SF	49.29%	5%	2	27.28 SF	9.44%
SUITE D									
KIT-D	101 SF	10%	3.0	85.50 SF	84.81%	5%	1	13.64 SF	13.53%
LIVING ROOM	331 SF	10%	5.0	142.50 SF	43.12%	5%	2	27.28 SF	8.25%
MASTER BEDROOM	189 SF	10%	3.0	85.50 SF	45.23%	5%	1	13.64 SF	7.21%

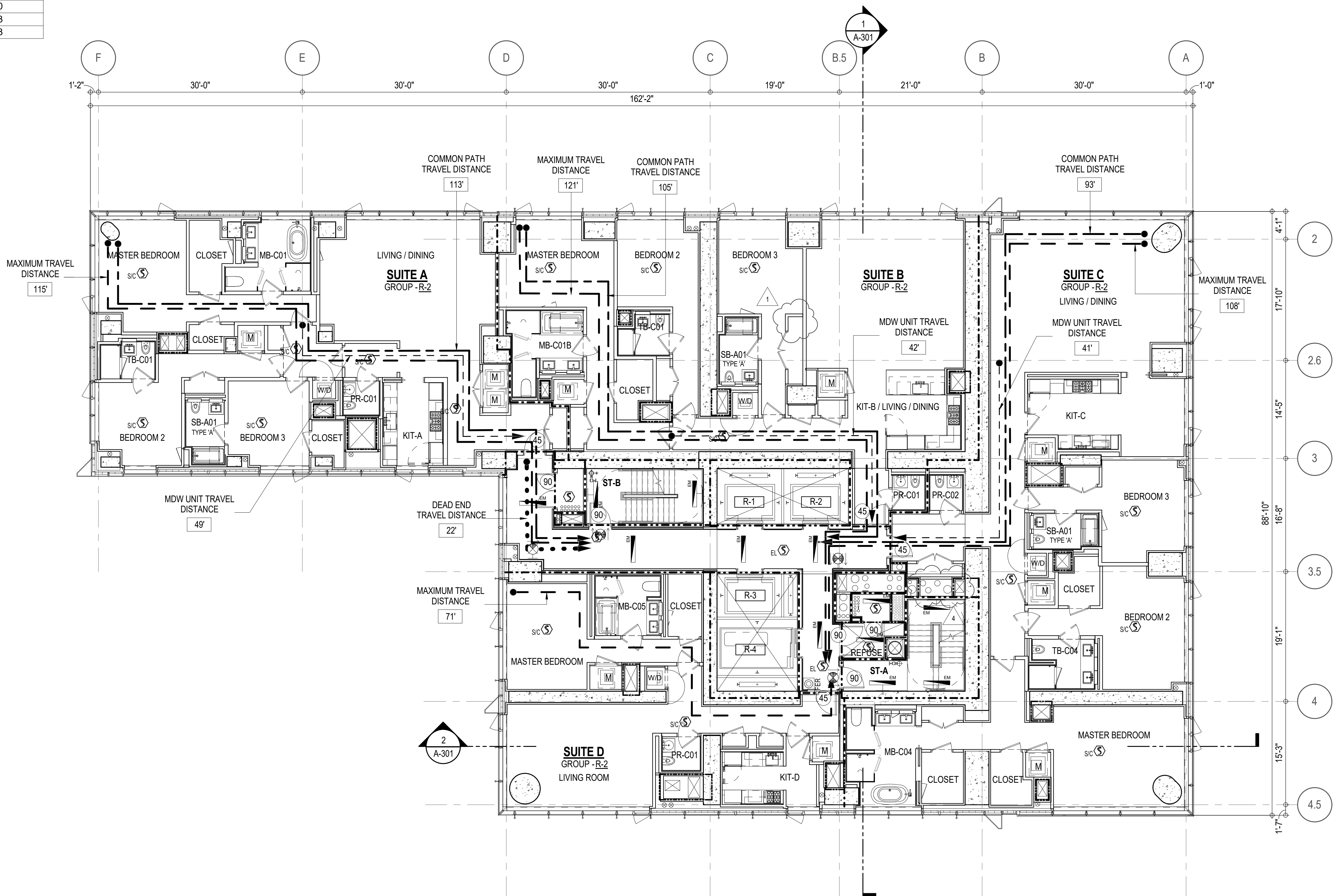
*AREA OF VENTILATING OPENING / UNIT: 13.64 SF

**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C01	ADAPTABLE	1/A-973
MB-C01B	ADAPTABLE	1/A-979
MB-C04	ADAPTABLE	10/A-974
MB-C05	ADAPTABLE	1/A-975
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
SB-A01	A	1/A-970
SB-A01	A	1/A-970
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-981
TB-C01	ADAPTABLE	1/A-981
TB-C04	ADAPTABLE	1/A-982

KITCHEN	
NAME	DETAIL DRAWINGS
KIT-A	1/A-950
KIT-B / LIVING / DINING	5/A-950
KIT-C	1/A-953
KIT-D	7/A-953



EGRESS AND FIRE RATING LEGEND

-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	-----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

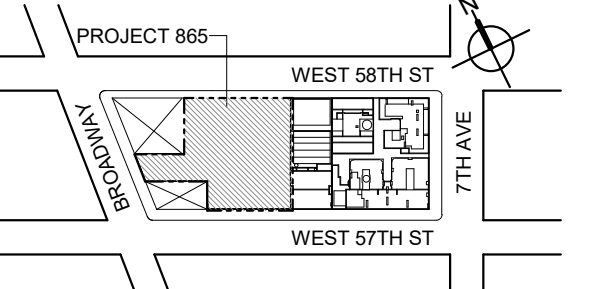
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	SPRINKLER RISER
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SIAMESE CONNECTION

SC SMOKE DETECTOR	SC SMOKE / CARBON MONOXIDE DETECTOR	WALL MOUNTED EMERGENCY LIGHT
SC SMOKE / CARBON MONOXIDE DETECTOR	CEILING MOUNTED EMERGENCY LIGHT	DOOR RATING (MINUTES)

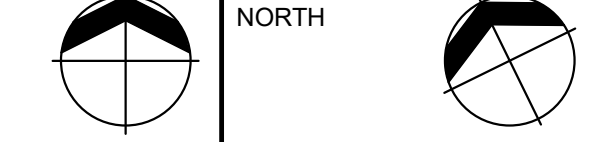
SYMBOLS LEGEND

REVERSIBLE DOOR SWING	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER	MECHANICAL UNIT
-----------------------	---	-----------------

KEY PLAN



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 11TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1750STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 46th Street
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TEL: 212 687 9888 FAX: 646 487 5501MEP ENGINEERS:
AKF GROUP
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TEL: 212 354 5656 FAX: 212 354 5668GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Fern Plaza - 380 West 31st Street, 8th Floor
New York, NY 10013-2727
TEL: 212 757 5659 FAX: 212 479 5444CODE CONSULTANTS:
Construction Consulting Associates
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TEL: 212 385 1816 FAX: 212 385 1911CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasbarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9498 FAX: 646 274 9380LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	D.O.B. AMENDMENT 2	21 SEP 15
1	CD PROGRESS ISSUE 6	02 NOV 15
2	CD PROGRESS ISSUE 7	29 JAN 16
3	CD ISSUE 8 - GMP SET	31 MAR 16
4	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

26TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 1) (MFD-49TH FLOOR)

SEAL & SIGNATURE:

DATE: 21 SEP 15

PROJECT No: 1216-00

DRAWN: Author

CHECKED: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-055.02

DOB PAGE No: 59 of 154

DOB EMPLOYEE STAMP:

DOB B-SCAN:

OCCUPANT LOADS SUMMARY 27TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
ELECTRICAL ROOM	F-2	742 SF	300 SF	3
MECHANICAL	F-2	7,743 SF	300 SF	26
Grand total				29

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (29)
STAIR - A	44"	0.3	146	14
STAIR - B	44"	0.3	146	15

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (29)
STAIR - A - DOOR	34"	0.2	170	14
STAIR - B - DOOR	34"	0.2	170	15

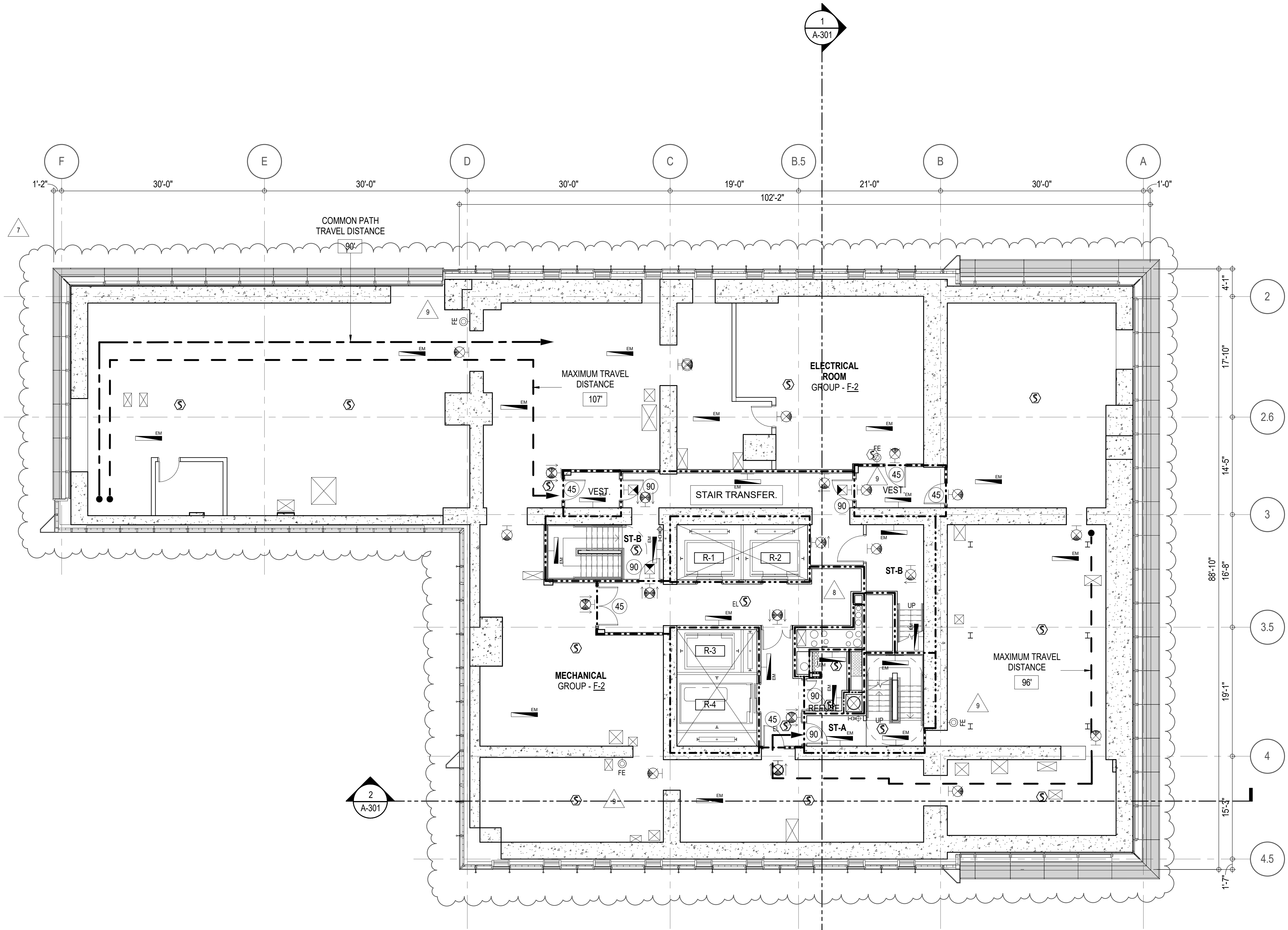
EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (N)	RISER (N)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.68"	25	69.12"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

* F-2 IS ACCESSORY TO RESIDENTIAL R-2



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
- - - - -	TWO HOUR RATED PARTITION	...	DEAD END
- . - . -	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
- . . . -	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

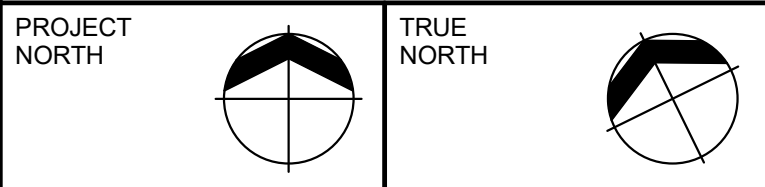
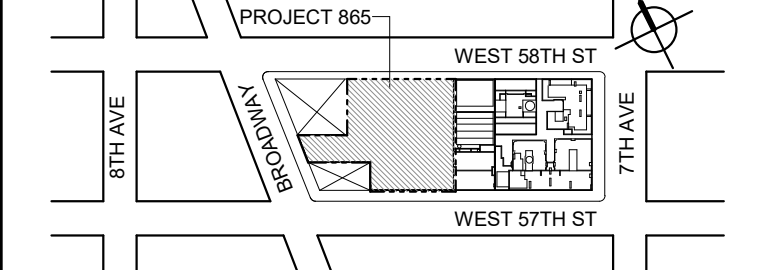
SYMBOLS LEGEND

	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		FEC FIRE EXTINGUISHER CABINET
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		SPRINKLER HEAD (REFER TO FP DRAWINGS)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		SPRINKLER RISER
	ILLUMINATED EXIT SIGN		SIAMESE CONNECTION
	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		
	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		

SYMBOLS LEGEND

	REVERSIBLE DOOR SWING
	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
	MECHANICAL UNIT

KEY PLAN



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
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CHICAGO IL 60603
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AKF GROUP
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GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
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CODE CONSULTANTS:
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11 Hanover Square, 18th Floor
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TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
27TH FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL) (MFD-50TH FLOOR)

SEAL & SIGNATURE: 	DATE: 15 OCT 14
PROJECT No: 1216-00	REV: 9
DRAWN: Author CHECKED: Checker	SCALE: 1/8" = 1'-0"
DWG No: A-056.02	DOB PAGE No: 88 of 164
DOB EMPLOYEE STAMP:	DOB S-CAN:

OCCUPANT LOADS SUMMARY 28TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	7,676 SF	200 SF	39
Grand total				39

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (39)
STAIR - A	44"	0.3	146	19
STAIR - B	44"	0.3	146	20

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (39)
STAIR - A - DOOR	34"	0.2	170	19
STAIR - B - DOOR	34"	0.2	170	20

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.56"	38	144.00"
STAIR - B	9.5"	7.58"	38	144.00"

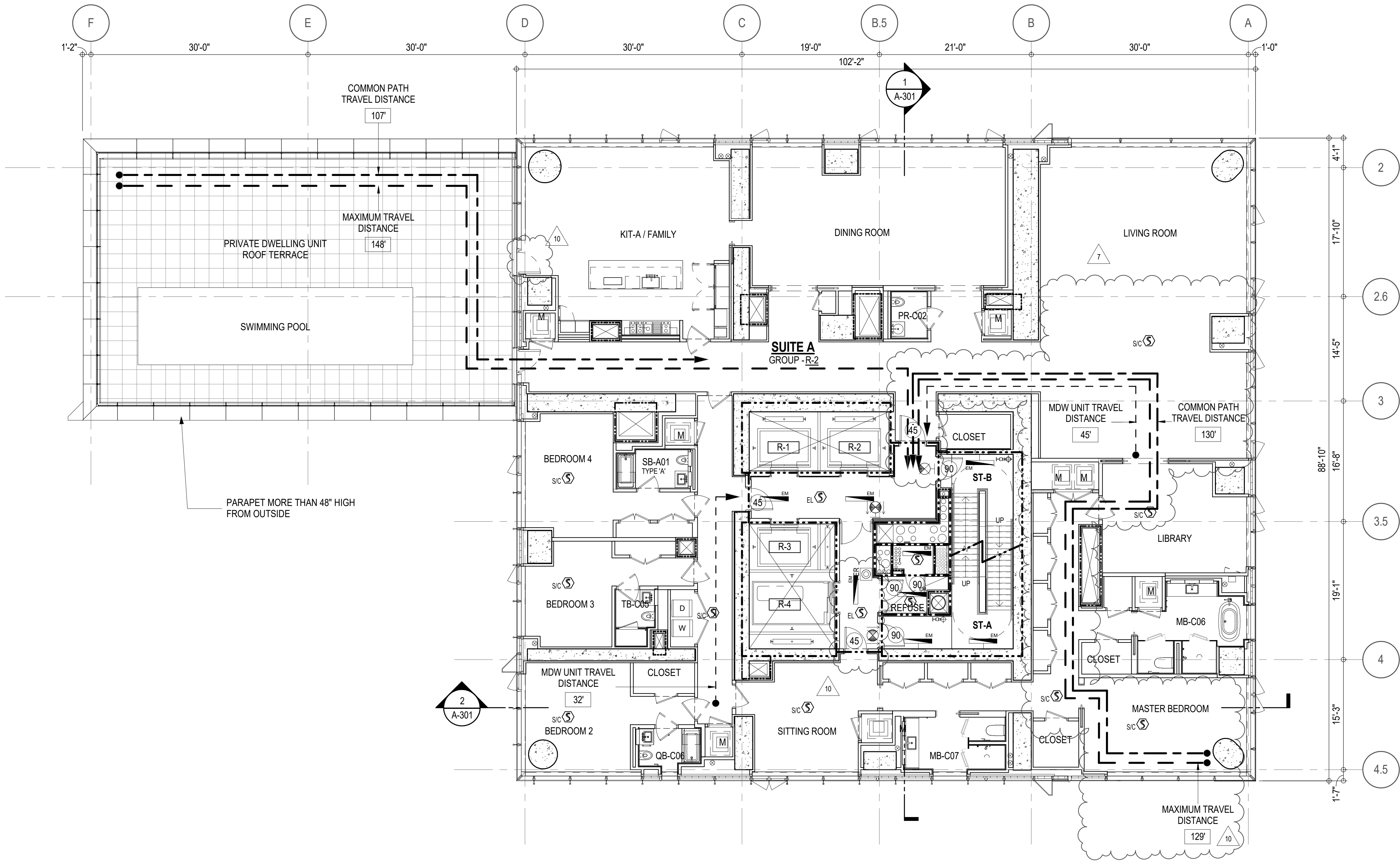
LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1015.3)	DEAD END (BC 1015.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW
DOOR DESIGNATION	DOOR WIDTH (IN)	SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT 50'
SUITE A DOOR 1	60.5"	
SUITE A DOOR 2	36"	
SUITE A DOOR 3	36"	

LIGHT & AIR CALCULATION 28TH FLOOR											
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>					
		PROVIDED Natural Light				PROVIDED Natural Ventilating Openings					
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)	Area of Vision Glass	% of Natural Light	REQ'D % of Air	Door Opening Area	# of Operable Windows*	Area of Ventilating Openings	% of Natural Air	
SUITE A											
BEDROOM 2	222 SF	10%	4.5	128.25 SF	57.74%	5%	0.00 SF	1	13.64 SF	6.14%	
BEDROOM 3	165 SF	10%	2.0	57.00 SF	34.57%	5%	0.00 SF	1	13.64 SF	8.27%	
BEDROOM 4	209 SF	10%	3.0	85.50 SF	40.83%	5%	0.00 SF	1	13.64 SF	6.51%	
DINING ROOM	685 SF	10%	6.0	171.00 SF	24.95%	5%	0.00 SF	3	40.92 SF	5.97%	
KIT-A / FAMILY	663 SF	10%	7.0	199.50 SF	30.08%	5%	20.00 SF	1	33.64 SF	5.07%	
LIBRARY	280 SF	10%	2.0	57.00 SF	20.37%	5%	0.00 SF	2	27.28 SF	9.75%	
LIVING ROOM	1,219 SF	10%	10.0	285.00 SF	23.37%	5%	0.00 SF	5	68.20 SF	5.59%	
MASTER BEDROOM	301 SF	10%	5.0	142.50 SF	47.32%	5%	0.00 SF	2	27.28 SF	9.06%	
SITTING ROOM	251 SF	10%	3.0	85.50 SF	34.02%	5%	0.00 SF	2	16.44 SF	6.54%	
*AREA OF VENTILATING OPENING / UNIT: 8.22 SF / 13.64 SF											
*AREA OF NATURAL LIGHT SOURCES: 28.50 SF (BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)											

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C06	ADAPTABLE	6/A-975
MB-C07	ADAPTABLE	1/A-976
PR-C02	ADAPTABLE	6/A-988
QB-C06	ADAPTABLE	7/A-987
SB-A01	A	1/A-970
TB-C05	ADAPTABLE	6/A-982

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A / FAMILY	10/A-953



EGRESS AND FIRE RATING LEGEND			
-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
- - - - -	TWO HOUR RATED PARTITION	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND		
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO PP DRAWINGS)
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	SPRINKLER RISER
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SIAMESE CONNECTION

SMOKE DETECTOR	SC (S)	SMOKE / CARBON MONOXIDE DETECTOR
CEILING MOUNTED EMERGENCY LIGHT	EL (S)	WALL MOUNTED EMERGENCY LIGHT
DOOR RATING (MINUTES)	90	

SYMBOLS LEGEND	
REVERSIBLE DOOR SWING	
STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER	
MECHANICAL UNIT	

DEPT OF BUILDINGS

PROJECT NO: 217 WEST 57TH ST

DATE: 10/15/2016

PROJECT NAME: 217 WEST 57TH ST

PROJECT LOCATION: NEW YORK, NY

PROJECT OWNER: 217 WEST 57TH ST

PROJECT ARCHITECT: AAI ARCHITECTS, P.C.

PROJECT ENGINEER: WSP CANTOR SENUK

PROJECT MECHANICAL ENGINEER: AKF GROUP

PROJECT ELECTRICAL ENGINEER: Langan Engineering & Environmental Services

PROJECT CURTAIN WALL CONSULTANT: A.J.P. Consulting

PROJECT LANDMARK/PRESERVATION CONSULTANT: Higgins Quasbarth & Partners LLC

PROJECT LANDMARK/PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc.

PROJECT No. DESCRIPTION: DATE:

1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 5	12 AUG 16
13	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: AAI ARCHITECTS, P.C.

PROJECT: 217 WEST 57TH STREET, NEW YORK, NY

DRAWING TITLE: 28TH FLOOR PLAN BUILDING CODE NOTES (RESIDENTIAL-TIER 2) (53RD FLOOR)

SEAL & SIGNATURE: DATE: 10 OCT 16

PROJECT No: 1216-00

DRAWN: Author

CHECK: Checker

SCALE: 1/8" = 1'-0"

DWG No: A-057.02

DOB PAGE No: 61 of 64

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 45TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	3,046 SF	200 SF	16
SUITE B	R-2	1,381 SF	200 SF	7
SUITE C	R-2	3,224 SF	200 SF	17
Grand total				40

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (40)
STAIR - A	44"	0.3	146	20
STAIR - B	44"	0.3	146	20

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (40)
STAIR - A - DOOR	34"	0.2	170	20
STAIR - B - DOOR	34"	0.2	170	20

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.5"	19	142.00"
STAIR - B	9.5"	7.5"	19	142.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR	36"	
SUITE B DOOR	36"	
SUITE C DOOR	36"	

LIGHT & AIR CALCULATION 45TH FLOOR									
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	PROVIDED		REQ'D % of Air	# of Operable Windows*	PROVIDED	
				Natural Light	% of Natural Light			Natural Ventilating Openings	% of Natural Air
SUITE A									
BEDROOM 2	146 SF	10%	2.0	57.00 SF	38.94%	5%	1	13.64 SF	9.32%
BEDROOM 3	203 SF	10%	3.0	85.50 SF	42.18%	5%	1	13.64 SF	6.73%
KIT-A	201 SF	10%	2.0	57.00 SF	28.36%	5%	1	13.64 SF	6.79%
LIVING ROOM	620 SF	10%	8.0	228.00 SF	36.76%	***2.5%	2	27.28 SF	4.40%
MASTER BEDROOM	327 SF	10%	6.0	171.00 SF	52.25%	5%	2	27.28 SF	8.34%
SUITE B									
BEDROOM 2	149 SF	10%	2.0	57.00 SF	38.22%	5%	1	13.64 SF	9.15%
KIT-B	70 SF	10%	2.0	57.00 SF	22.62%	5%	1	13.64 SF	5.41%
LIVING / DINING	252 SF	10%	2.0	57.00 SF	22.62%	5%	1	13.64 SF	5.41%
MASTER BEDROOM	172 SF	10%	2.0	57.00 SF	33.04%	5%	1	13.64 SF	7.91%
SUITE C									
BEDROOM 2	154 SF	10%	2.0	57.00 SF	37.08%	5%	1	13.64 SF	8.87%
BEDROOM 3	163 SF	10%	2.0	57.00 SF	35.01%	5%	1	13.64 SF	8.38%
KIT-C/FAMILY RM	290 SF	10%	2.5	71.25 SF	24.61%	5%	2	27.28 SF	9.42%
LIVING / DINING	774 SF	10%	7.0	199.50 SF	25.77%	5%	4	54.56 SF	7.05%
MASTER BEDROOM	318 SF	10%	5.0	142.50 SF	44.80%	5%	2	27.28 SF	8.58%

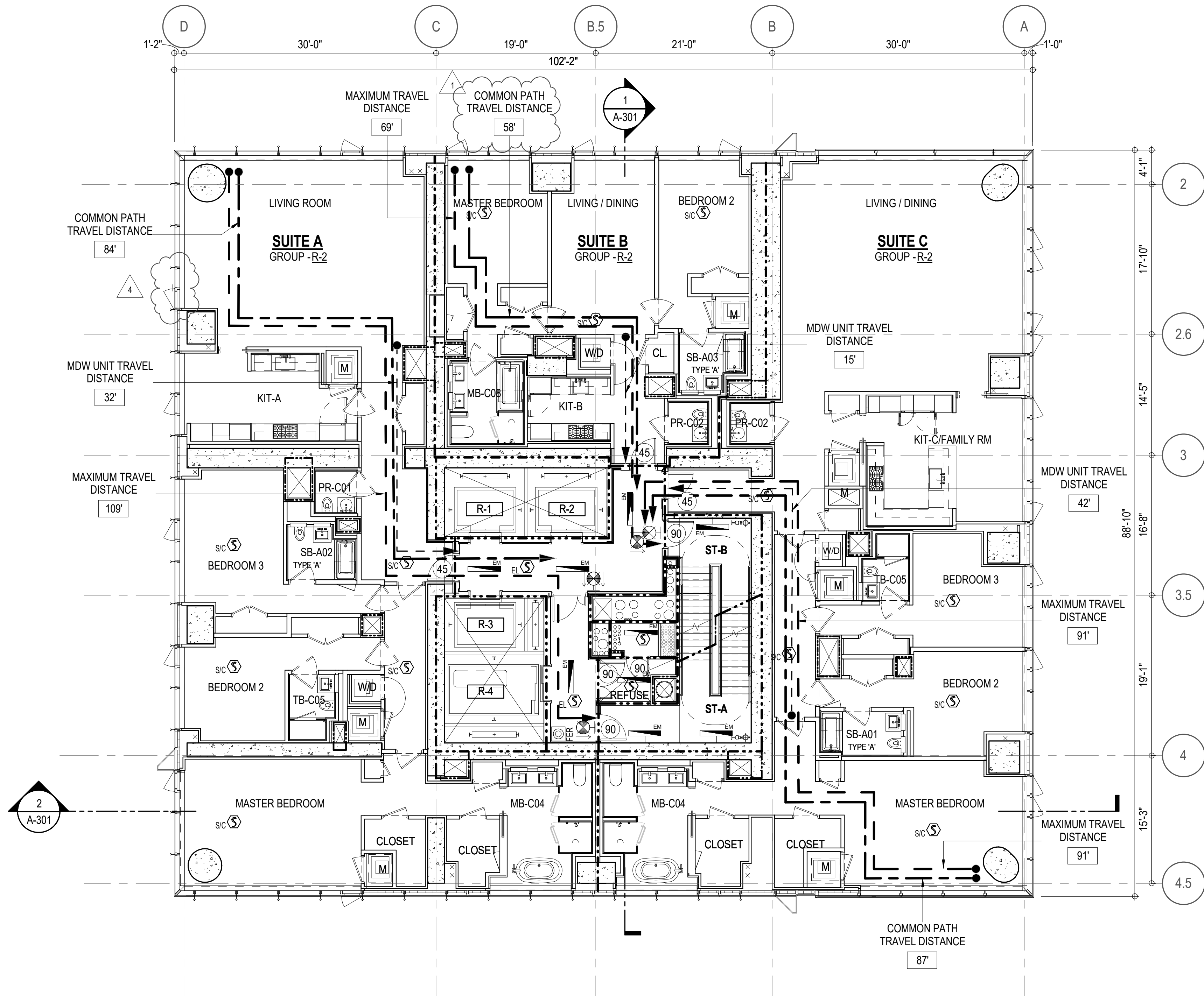
*AREA OF VENTILATING OPENING / UNIT: 13.64 SF

**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C04	ADAPTABLE	10/A-974
MB-C04	ADAPTABLE	10/A-974
MB-C08	ADAPTABLE	6/A-976
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
PR-C02	ADAPTABLE	6/A-988
SB-A01	A	1/A-970
SB-A02	A	6/A-970
SB-A03	A	12/A-970
TB-C05	ADAPTABLE	6/A-982
TB-C05	ADAPTABLE	6/A-982

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A	1/A-954
KIT-B	4/A-954
KIT-C/FAMILY RM	1/A-955



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

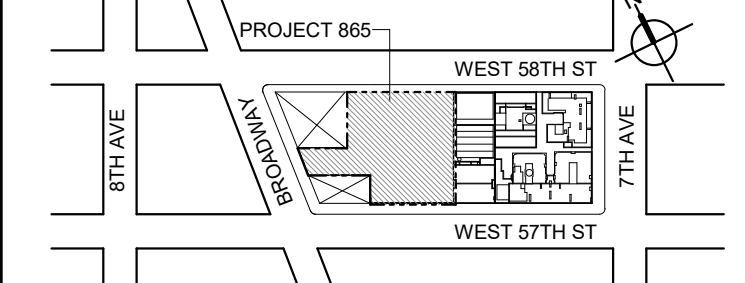
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE /CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)

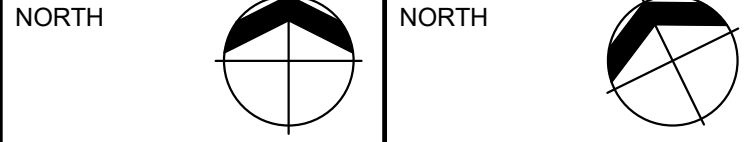
SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED WID TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN



PROJECT NORTH



DEVELOPER

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
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New York, NY 10013
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LANDMARK/PRESERVATION CONSULTANT:
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TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
30 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
	D.O.B. AMENDMENT 2	21 SEP 15
1	CD PROGRESS ISSUE 6	02 NOV 15
2	CD PROGRESS ISSUE 7	29 JAN 16
3	CD ISSUE 8 - GMP SET	31 MAR 16
4	CD BULLETIN ISSUE - 5	12 AUG 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

45TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 2) (MFD-70TH FLOOR)

SEAL & SIGNATURE:

PROJECT No: 1216-00
DRAWN: Author
CHECK: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-059.02**

DOB PAGE No: 63 of 164

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 46TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2	7,042 SF	300 SF	24
Grand total				24

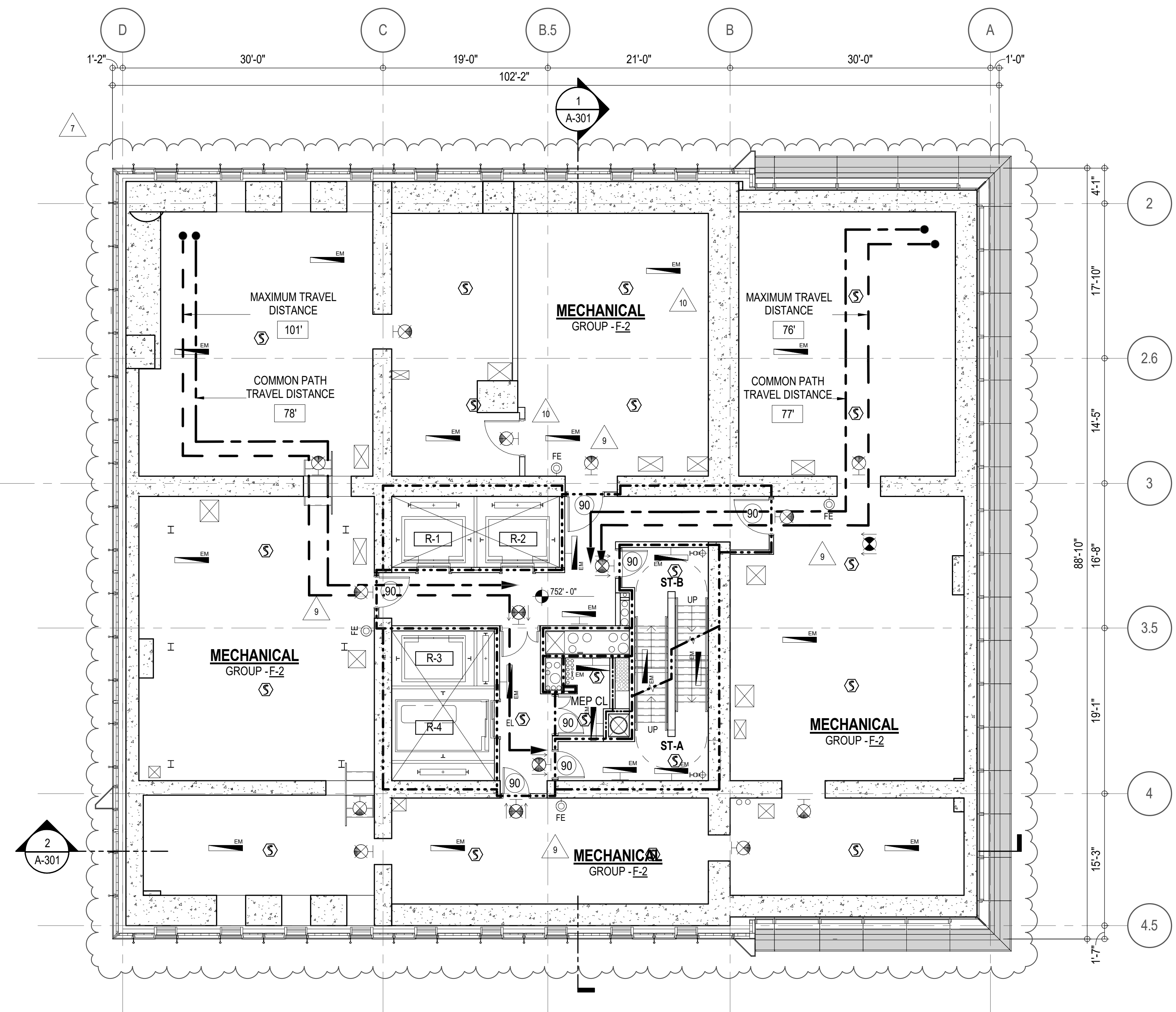
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (292)	TOTAL (24)
STAIR - A	44"	0.3	146	12
STAIR - B	44"	0.3	146	12




















EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (340)	TOTAL (24)
STAIR - A - DOOR	34"	0.2	170	12
STAIR - B - DOOR	34"	0.2	170	12

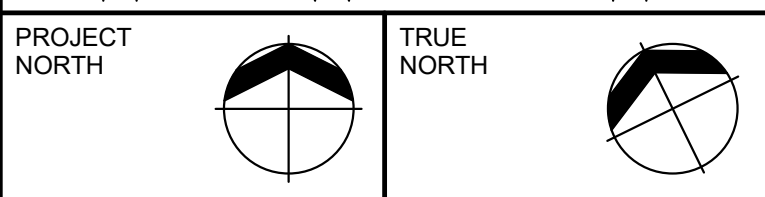
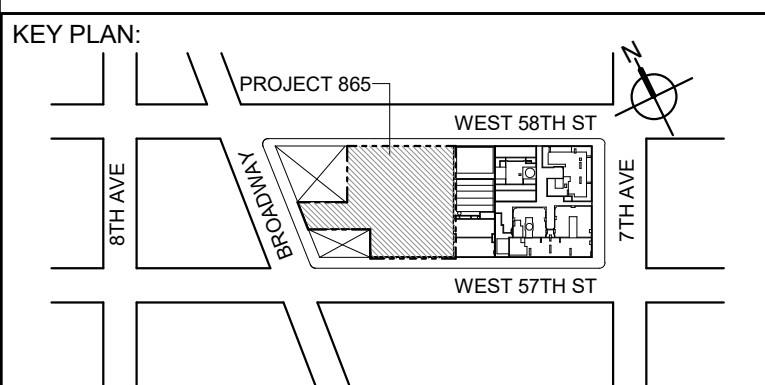
EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.68"	25	99.81"
STAIR - B	9.5"	7.68"	25	99.81"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

* F-2 IS ACCESSORY TO RESIDENTIAL R-2



EGRESS AND FIRE RATING LEGEND		SYMBOLS LEGEND	
— — — — —	ONE HOUR RATED PARTITION		ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
— — — — —	TWO HOUR RATED PARTITION		ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
— — — — —	THREE HOUR RATED PARTITION		WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
— — — — —	FOUR HOUR RATED PARTITION		ILLUMINATED EXIT SIGN
— — — — —	NON RATED SMOKE SEPARATION		WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
— — — — —	COMMON TRAVEL DISTANCE		ILLUMINATED EXIT SIGN
— — — — —	DEAD END		ILLUMINATED EXIT SIGN
— — — — —	MAXIMUM TRAVEL DISTANCE		ILLUMINATED EXIT SIGN
— — — — —	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT		ILLUMINATED EXIT SIGN
			FEC FIRE EXTINGUISHER CABINET
			SPRINKLER HEAD (REFER TO FP DRAWINGS)
			STANDPIPE
			SPRINKLER RISER
			SIAMESE CONNECTION
			SMOKE DETECTOR
			SMOKE /CARBON MONOXIDE DETECTOR
			CEILING MOUNTED EMERGENCY LIGHT
			WALL MOUNTED EMERGENCY LIGHT
			DOOR RATING (MINUTES)



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
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TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
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MEP ENGINEERS:

AKF GROUP
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GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

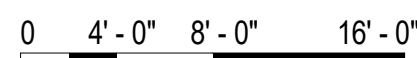
CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
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LANDMARK/PRESERVATION CONSULTANT:
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TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
	D.O.B. AMENDMENT 2	21 SEP 15
7	CD PROGRESS ISSUE 6	02 NOV 15
8	CD PROGRESS ISSUE 7	29 JAN 16
9	CD ISSUE 8 - GMP SET	31 MAR 16
10	CD BULLETIN ISSUE - 1	22 APR 16
	D.O.B. AMENDMENT 3	03 OCT 16



D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:




PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

46TH FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL) (MFD-71ST FLOOR)

SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No: 1216-00	
	DRAWN: Author	REV:
	CHECK: Checker	10
	SCALE: 1/8" = 1'-0"	
	DWG No:	A-060.02
DOB EMPLOYEE STAMP:	DOB PAGE No: 64 of 454	
	DOB B-SCAN:	

LAST ISSUES AS - A-055 - CD PROGRESS ISSUE 4/

OCCUPANT LOADS SUMMARY 4TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,926 SF	200 SF	15
SUITE B	R-2	3,995 SF	200 SF	20
Grand Total				35

8

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (35)
STAIR - A	44"	0.3	146	18
STAIR - B	44"	0.3	146	17

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (35)
STAIR - A - DOOR	34"	0.2	170	18
STAIR - B - DOOR	34"	0.2	170	17

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.56"	38	144.00"
STAIR - B	9.5"	7.56"	38	144.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY	
DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR	36"
SUITE B DOOR	36"

MULTI DWELLING LAW	
SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT	
50'	

LIGHT & AIR CALCULATION 4TH FLOOR											
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>					
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	Door Opening Area	# of Operable Windows*	Area of Ventilating Openings	% of Natural Air	
SUITE A											
BEDROOM 2	180 SF	10%	2.0	57.00 SF	31.69%	5%	0.00 SF	1	13.64 SF	7.58%	
BEDROOM 3	210 SF	10%	3.0	85.50 SF	40.68%	5%	0.00 SF	1	13.64 SF	6.49%	
KIT-A LIVING/DINING	781 SF	10%	9.5	270.75 SF	34.65%	***2.5%	20.00 SF	1	33.64 SF	4.31%	
MASTER BEDROOM	298 SF	10%	5.0	142.50 SF	47.77%	5%	20.00 SF	0	20.00 SF	6.70%	
SUITE B											
BEDROOM 2	171 SF	10%	2.0	57.00 SF	33.36%	5%	0.00 SF	1	13.64 SF	7.98%	
BEDROOM 3	169 SF	10%	2.0	57.00 SF	33.66%	5%	0.00 SF	1	13.64 SF	8.05%	
BEDROOM 4	173 SF	10%	2.0	57.00 SF	32.98%	5%	0.00 SF	1	13.64 SF	7.89%	
KIT-B / FAMILY RM	506 SF	10%	6.0	171.00 SF	33.79%	5%	20.00 SF	2	47.28 SF	9.34%	
LIVING / DINING	905 SF	10%	7.0	199.50 SF	22.04%	5%	20.00 SF	4	52.88 SF	5.84%	
MASTER BEDROOM	308 SF	10%	5.0	142.50 SF	46.31%	5%	0.00 SF	2	27.28 SF	8.87%	

*AREA OF VENTILATING OPENING / UNIT: 8.22 SF / 13.64 SF

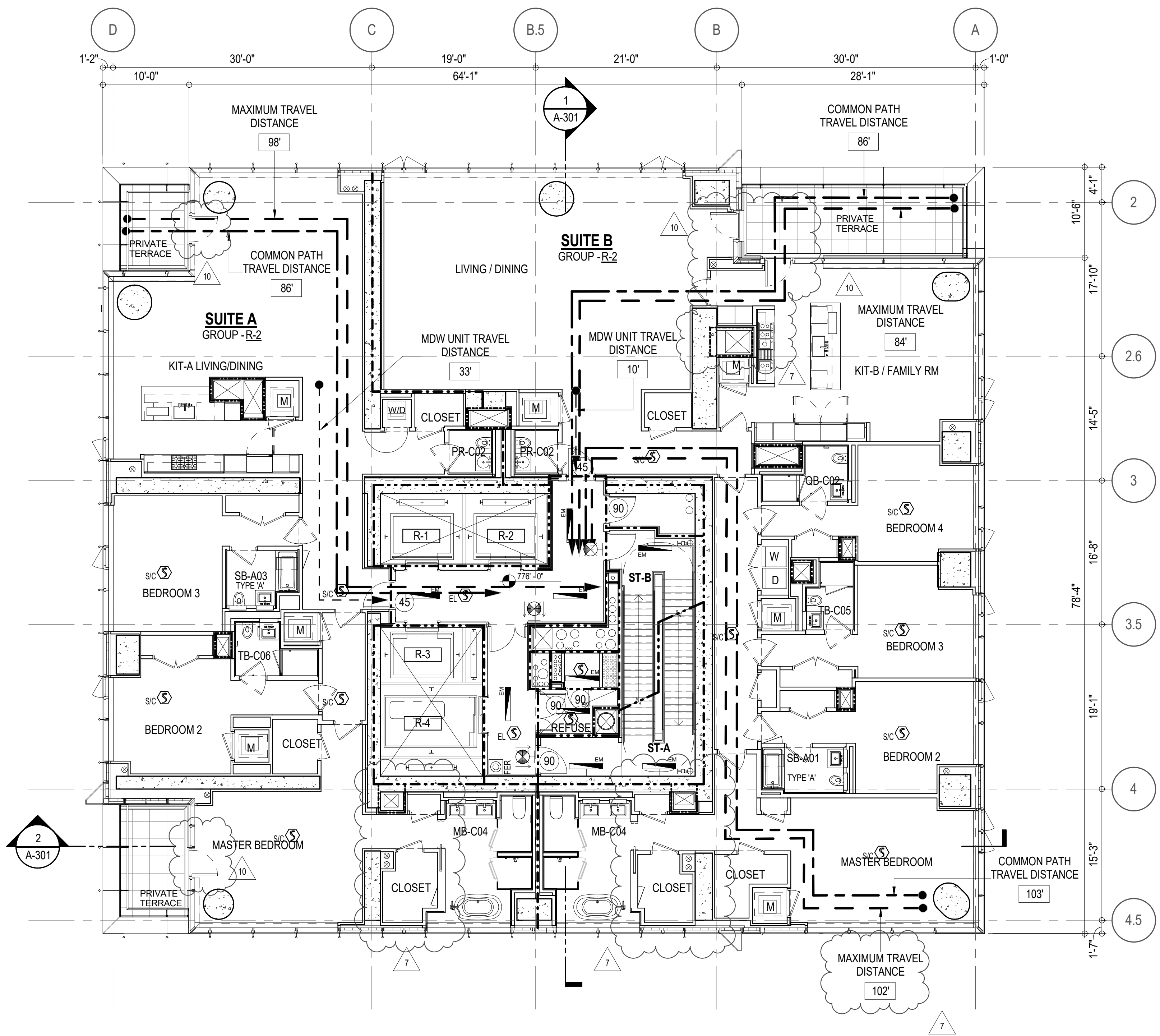
**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

10

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C04	ADAPTABLE	10/A-974
MB-C04	ADAPTABLE	10/A-974
PR-C02	ADAPTABLE	6/A-988
PR-C02	ADAPTABLE	6/A-988
QB-C02	ADAPTABLE	10/A-985
SB-A01	A	1/A-970
SB-A03	A	12/A-970
TB-C05	ADAPTABLE	6/A-982
TB-C06	ADAPTABLE	12/A-982

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A LIVING/DINING	10/A-955
KIT-B / FAMILY RM	1/A-956



EGRESS AND FIRE RATING LEGEND

-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	-----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE /CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	SPRINKLER RISER	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SIAMESE CONNECTION	WALL MOUNTED EMERGENCY LIGHT
			DOOR RATING (MINUTES)

SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED WID TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN		
PROJECT NORTH		
TRUE NORTH		
DEVELOPER: EXTELL DEVELOPMENT COMPANY 805 THIRD AVENUE, 11TH FLOOR New York, NY 10022 USA TEL: 212 712 6000 FAX: 212 712 6100		
DESIGN ARCHITECT: Base Building Shell & Core AAI ARCHITECTS, P.C. 401 Wellington St. W., 3rd Floor Toronto, ON M5V 1E7 Canada TEL: 416 867 1500 FAX: 416 867 1750		
ARCHITECT OF RECORD: Base Building Shell & Core AAI ARCHITECTS, P.C. 401 Wellington St. W., 3rd Floor Toronto, ON M5V 1E7 Canada TEL: 416 867 1500 FAX: 416 867 1750		
STRUCTURAL ENGINEERS: WSP CANTOR SENUK 228 EAST 46th Street New York, NY 10017 USA TEL: 212 687 9888 FAX: 646 487 5501		
MEP ENGINEERS: AKF GROUP 1501 Broadway New York, NY 10036 USA TEL: 212 354 5656 FAX: 212 354 5668		
GEOTECHNICAL ENGINEERS: Langan Engineering & Environmental Services 21 Fern Plaza - 380 West 31st Street, 8th Floor New York, NY 10001-2727 TEL: 212 479 5400 FAX: 212 479 5444		
CODE CONSULTANTS: Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1816 FAX: 212 385 1911		
CURTAINWALL CONSULTANT: AJLP Consulting 40 Worth Street, Suite 828 New York, NY 10013 TEL: 212 757 5659 FAX: 646 219 8508		
LANDMARK/PRESERVATION CONSULTANT: Higgins Quasobarth & Partners LLC 11 Hanover Square, 16th Floor New York, NY 10005 TEL: 212 274 9468 FAX: 646 274 9380		
LANDMARK/PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc. 39 West 37th Street, 12A New York, NY 10018 TEL: 212 759 6462 FAX: 212 759 6540		
No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 5	12 AUG 16
13	D.O.B. AMENDMENT 3	03 OCT 16
0 4'-0" 8'-0" 16'-0"		
D.O.B. SUBMISSION		
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CONSULTANT:		
PROJECT:		
217 WEST 57TH STREET NEW YORK, NY		
DRAWING TITLE:		
47TH FLOOR PLAN BUILDING CODE NOTES (RESIDENTIAL-TIER 3) (MFD-77TH FLOOR)		
SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	10
	DWG No:	
DOB PAGE No: 66 of 164		A-061.02
DOB EMPLOYEE STAMP:		DOB B-SCAN:

OCCUPANT LOADS SUMMARY 48TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	2,924 SF	200 SF	15
SUITE B	R-2	3,999 SF	200 SF	20
Grand total				35

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (35)
STAIR - A	44"	0.3	146	18
STAIR - B	44"	0.3	146	17

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (35)
STAIR - A - DOOR	34"	0.2	170	18
STAIR - B - DOOR	34"	0.2	170	17

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (N)	RISER (N)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.68"	20	77.00"
STAIR - B	9.5"	7.68"	20	77.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY

DOOR DESIGNATION	DOOR WIDTH (N)
SUITE A DOOR	36"
SUITE B DOOR	36"

MULTI DWELLING LAW

SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT	50'
---	-----

LIGHT & AIR CALCULATION 48TH FLOOR

Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)	Area of Vision Glass	% of Natural Light	REQ'D % of Air	# of Operable Windows	Area of Ventilating Openings	% of Natural Air
SUITE A									
BEDROOM 2	180 SF	10%	2.0	57.00 SF	31.69%	5%	1	13.64 SF	7.58%
BEDROOM 3	210 SF	10%	3.0	85.50 SF	40.71%	5%	1	13.64 SF	6.49%
KIT-A / LIVING	781 SF	10%	9.0	256.50 SF	32.84%	***2.5%	2	27.28 SF	3.49%
MASTER BEDROOM	298 SF	10%	5.0	142.50 SF	47.77%	5%	2	16.44 SF	5.51%
SUITE B									
BEDROOM 2	171 SF	10%	2.0	57.00 SF	33.26%	5%	1	13.64 SF	7.96%
BEDROOM 3	169 SF	10%	2.0	57.00 SF	33.80%	5%	1	13.64 SF	8.09%
BEDROOM 4	175 SF	10%	2.0	57.00 SF	32.60%	5%	1	13.64 SF	7.80%
KIT-B / FAMILY RM	508 SF	10%	6.0	171.00 SF	33.65%	5%	2	27.28 SF	5.37%
LIVING / DINING	924 SF	10%	7.0	199.50 SF	21.60%	5%	5	46.52 SF	5.04%
MASTER BEDROOM	311 SF	10%	5.0	142.50 SF	45.82%	5%	2	27.28 SF	8.77%

*AREA OF VENTILATING OPENING / UNIT: 8.22 SF / 13.64 SF

**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

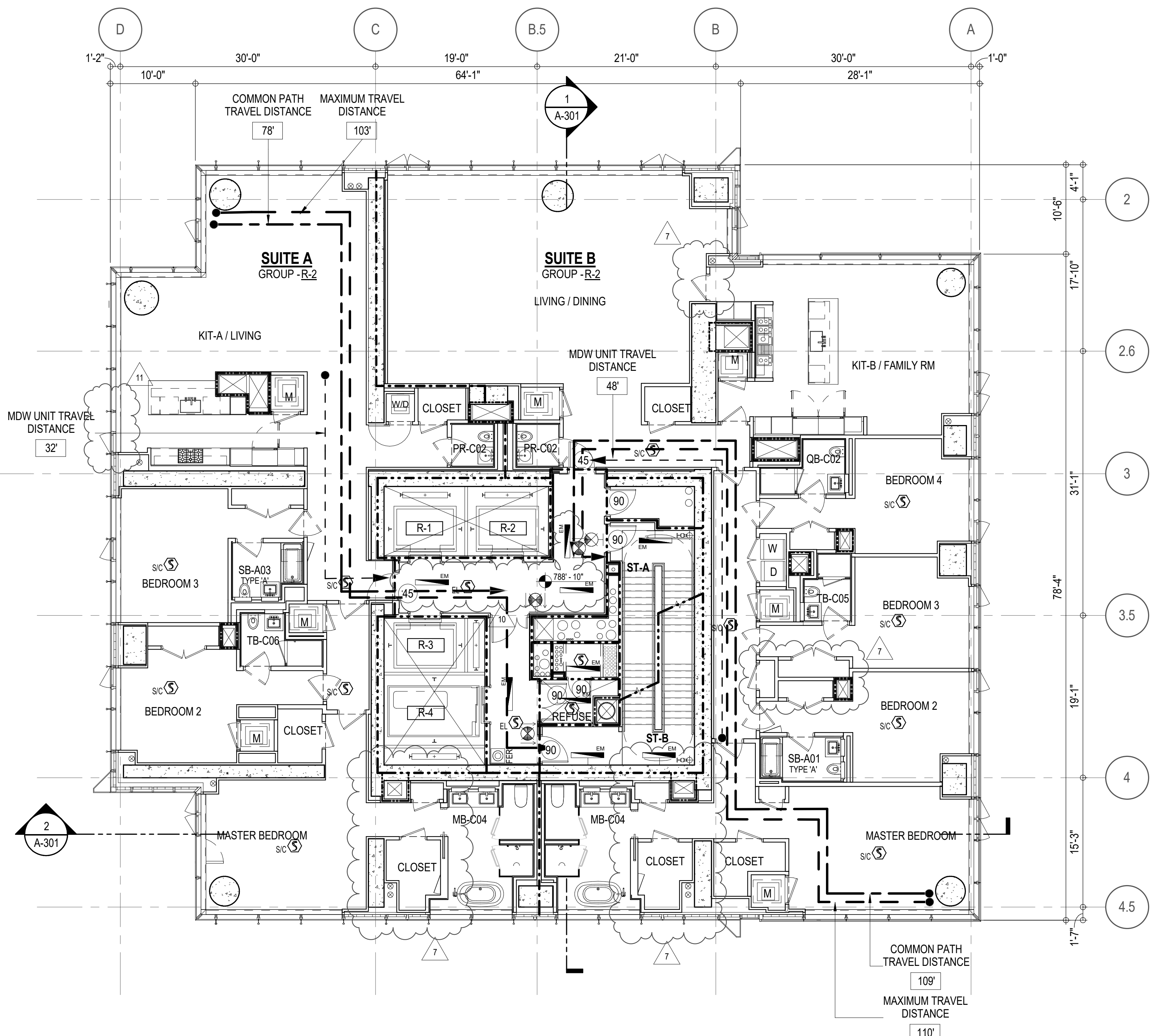
*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1

RESTROOM TYPES

NAME	TYPE	DETAIL DRAWINGS
MB-C04	ADAPTABLE	10/A-974
MB-C04	ADAPTABLE	10/A-974
PR-C02	ADAPTABLE	6/A-988
PR-C02	ADAPTABLE	6/A-988
QB-C02	ADAPTABLE	10/A-985
SB-A01	A	1/A-970
SB-A03	A	12/A-970
TB-C05	ADAPTABLE	6/A-982
TB-C06	ADAPTABLE	12/A-982

KITCHENS

NAME	DETAIL DRAWINGS
KIT-A / LIVING	10/A-955
KIT-B / FAMILY RM	1/A-956



EGRESS AND FIRE RATING LEGEND

-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	-----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

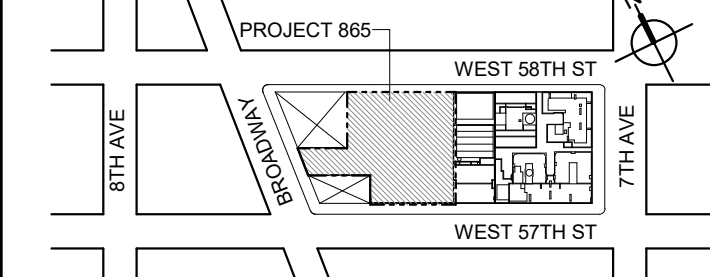
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE / CARBON MONOXIDE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SIAMESE CONNECTION	DOOR RATING (MINUTES)

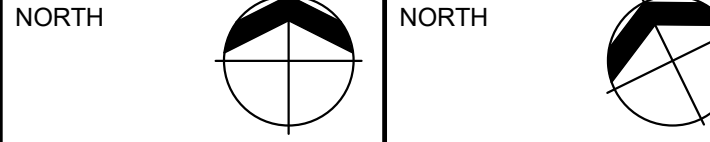
SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN



PROJECT NORTH



DEVELOPER:

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805 THIRD AVENUE, 11TH FLOOR
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Toronto, ON M5V 1E7 Canada
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ARCHITECT OF RECORD: Base Building Shell & Core
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Langan Engineering & Environmental Services
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New York, NY 10001-2727
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CURTAINWALL CONSULTANT:
AJLP Consulting
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LANDMARK/PRESERVATION CONSULTANT:
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11 Hanover Square, 16th Floor
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TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 5	12 AUG 16
14	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

48TH - 66TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 3)
(MFD-78TH-96TH FLOOR)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV: 11

CHECKED: Checker

SCALE: 1/8" = 1'-0"

DWG No: A-062.02

DOB PAGE No: 66 of 164

DOB EMPLOYEE STAMP: DOB B-SCAN:

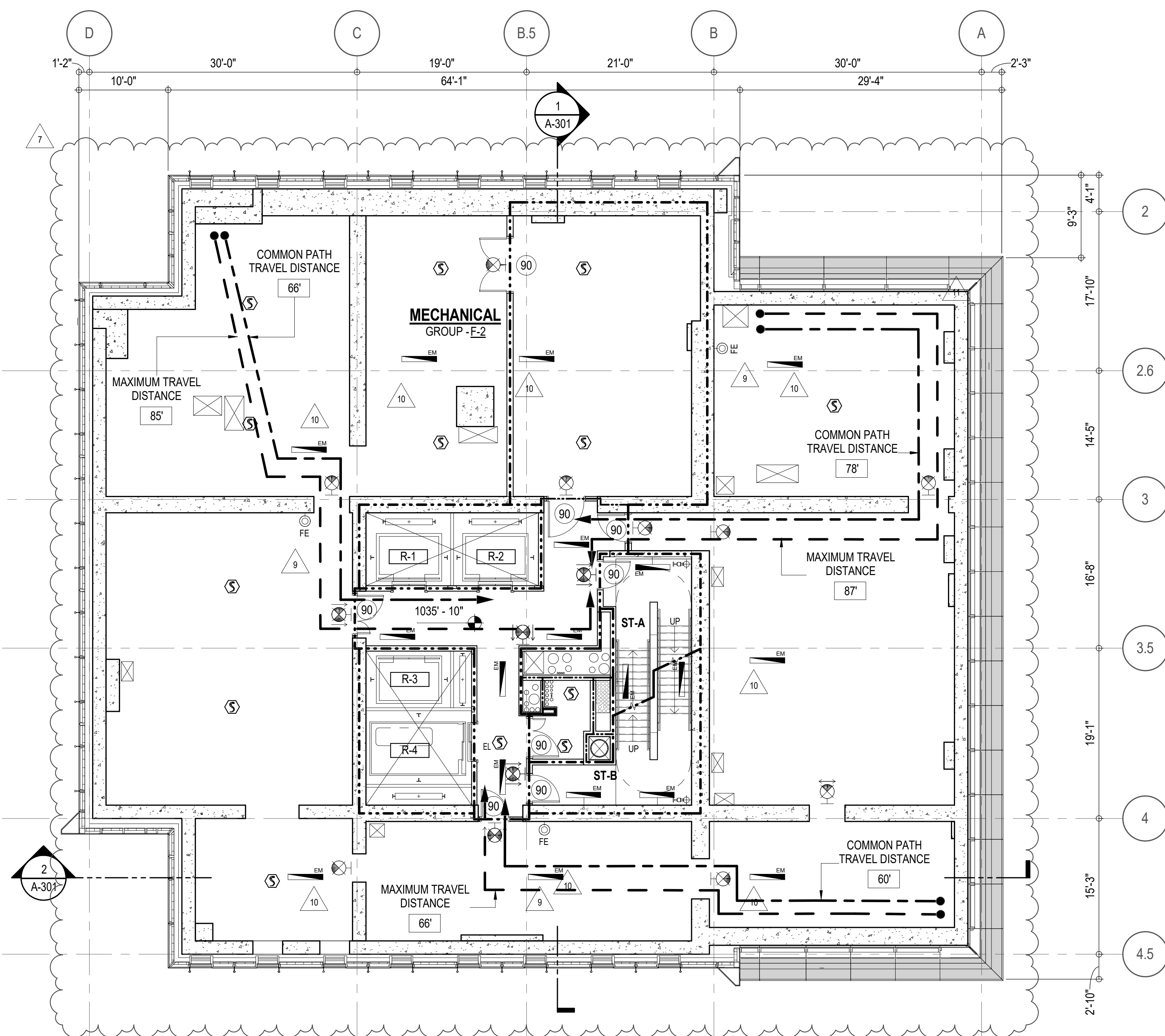
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (292)	TOTAL (22)
STAIR - A	44"	0.3	146	11
STAIR - B	44"	0.3	146	11

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (340)	TOTAL (22)
STAIR - A - DOOR	34"	0.2	170	11
STAIR - B - DOOR	34"	0.2	170	11

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.68"	25	99.81"
STAIR - B	9.5"	7.68"	25	99.81"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

* F-2 IS ACCESSORY TO RESIDENTIAL R-2



EGRESS AND FIRE RATING LEGEND

ONE HOUR RATED PARTITION

TWO HOUR RATED PARTITION





THREE HOUR RATED PARTITION











FOUR HOUR RATED PARTITION






NON RATED SMOKE SEPARATION

— — — — —	COMMON TRAVEL DISTANCE
• • • • •	DEAD END
— — — — —	MAXIMUM TRAVEL DISTANCE
- - - - -	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	ILLUMINATED EXIT SIGN

	WALL MOUNTED ILLUMINATED NO EXIT SIGN		FEC FIRE EXTINGUISHER CABINET
	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		SPRINKLER HEAD (REFER TO FP DRAWINGS)
	ILLUMINATED NO EXIT SIGN		STANDPIPE
	ILLUMINATED NO EXIT SIGN		SPRINKLER RISER
	ILLUMINATED NO EXIT SIGN		SIAMESE CONNECTION

	SMOKE DETECTOR
	SMOKE /CARBON MONOXIDE DETECTOR
	CEILING MOUNTED EMERGENCY LIGHT
	WALL MOUNTED EMERGENCY LIGHT
	DOOR RATING (MINUTES)

SEAL & SIGNATURE:	DATE:	15 OCT 14
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	PROJECT No:	1216-00
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REGD KE DAVID JAN	DRAWN: Author	REV:
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CHK: Checker 11

SCALE: 1/8" = 1'-0"

DWG No:

A-063 02

STATE OF NEW YORK
No. 028881
A-005.02

DOB PAGE No: 67 of 454

DOB EMPLOYEE STAMP:	DOB B-SCAN:
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OCCUPANT LOADS SUMMARY 6TH INTERMEDIATE FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2	4,480 SF	300 SF	15
Grand total				15

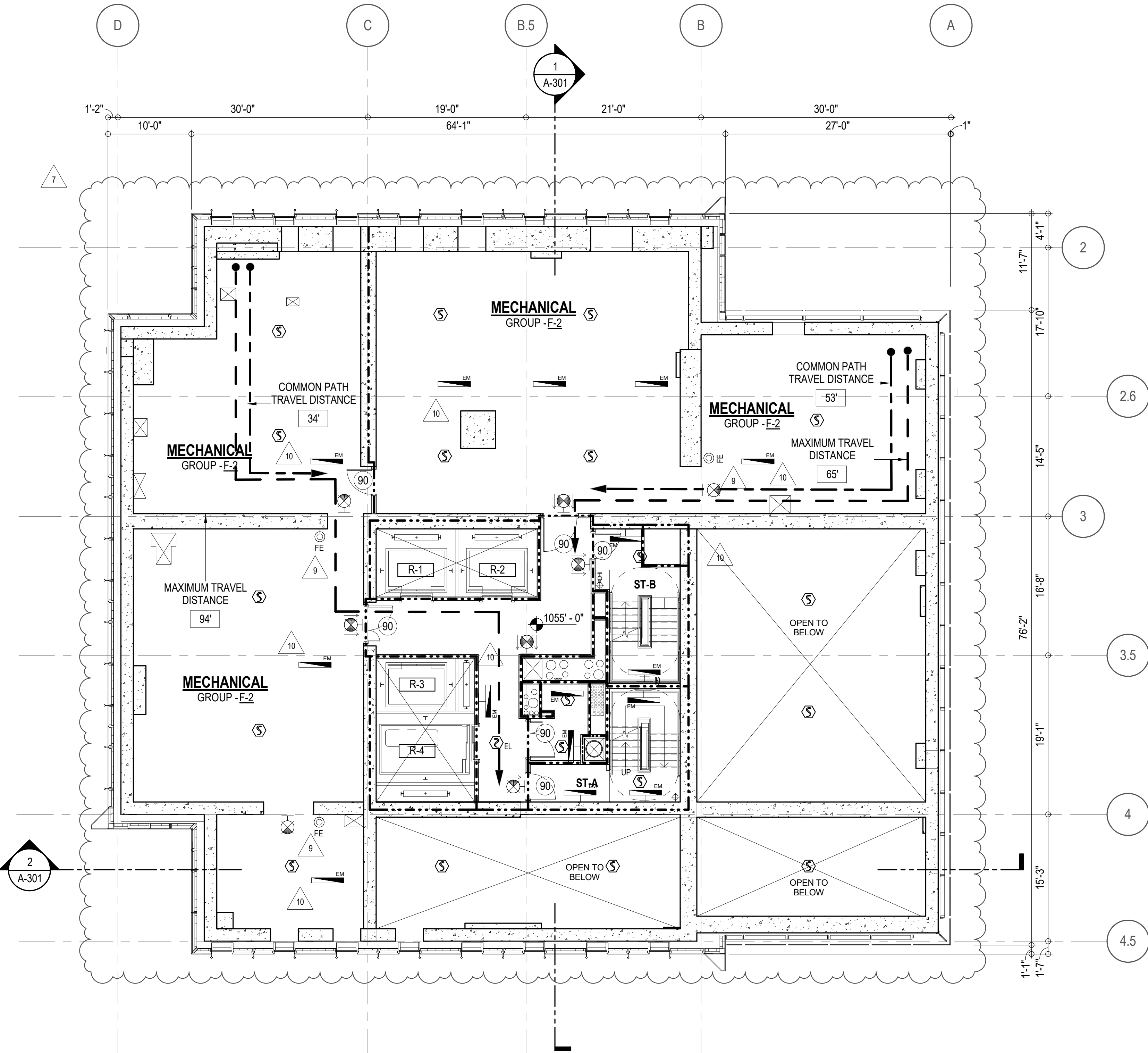
EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (15)
STAIR - A	44"	0.3	146	7
STAIR - B	44"	0.3	146	8

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (15)
STAIR - A - DOOR	34"	0.2	170	7
STAIR - B - DOOR	34"	0.2	170	8

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.69"	30	92.00"
STAIR - B	9.5"	7.69"	30	92.00"

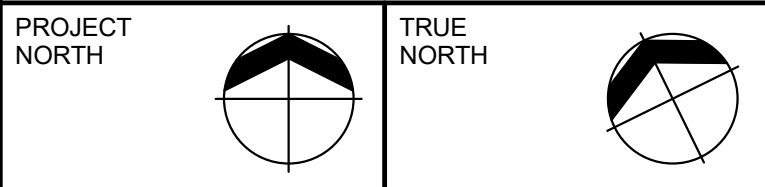
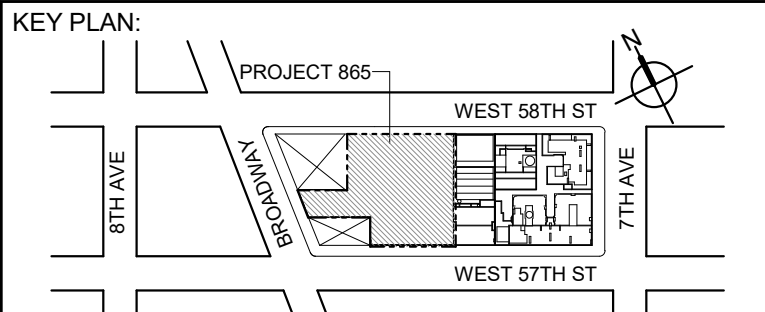
LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'

* F-2 IS ACCESSORY TO RESIDENTIAL R-2



EGRESS AND FIRE RATING LEGEND			
---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND			
⬮	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬮	WALL MOUNTED ILLUMINATED NO EXIT SIGN
⬮	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬮	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
⬮	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬮	ILLUMINATED NO EXIT SIGN
⬮	ILLUMINATED EXIT SIGN	⬮	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
⬮	FEC FIRE EXTINGUISHER CABINET	⬮	SPRINKLER HEAD (REFER TO FP DRAWINGS)
⬮	STANDPIPE	⬮	SPRINKLER RISER
⬮	SIAMESE CONNECTION	⬮	SMOKE DETECTOR
⬮	SMOKE / CARBON MONOXIDE DETECTOR	⬮	CEILING MOUNTED EMERGENCY LIGHT
⬮	WALL MOUNTED EMERGENCY LIGHT	⬮	DOOR RATING (MINUTES)



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805 THIRD AVENUE, 17TH FLOOR
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ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
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MEP ENGINEERS:
AKF GROUP
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New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
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TEL: 212 479 5400 FAX: 212 479 5444

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AJLP Consulting
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LANDMARK/PRESERVATION CONSULTANT:
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TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
30 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
6	D.O.B. AMENDMENT 2	21 SEP 15
7	CD PROGRESS ISSUE 6	02 NOV 15
8	CD PROGRESS ISSUE 7	29 JAN 16
9	CD ISSUE 8 - GMP SET	31 MAR 16
10	CD BULLETIN ISSUE - 1	22 APR 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
67TH INTERMEDIATE FLOOR PLAN
BUILDING CODE NOTES
(MECHANICAL) (MFD-98TH FLOOR)

SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	Check: Checker	10
DWG No:	SCALE: 1/8" = 1'-0"	
	A-064.02	

DOB EMPLOYEE STAMP: DOB PAGE No: 88 of 164 DOB S-SCAN:

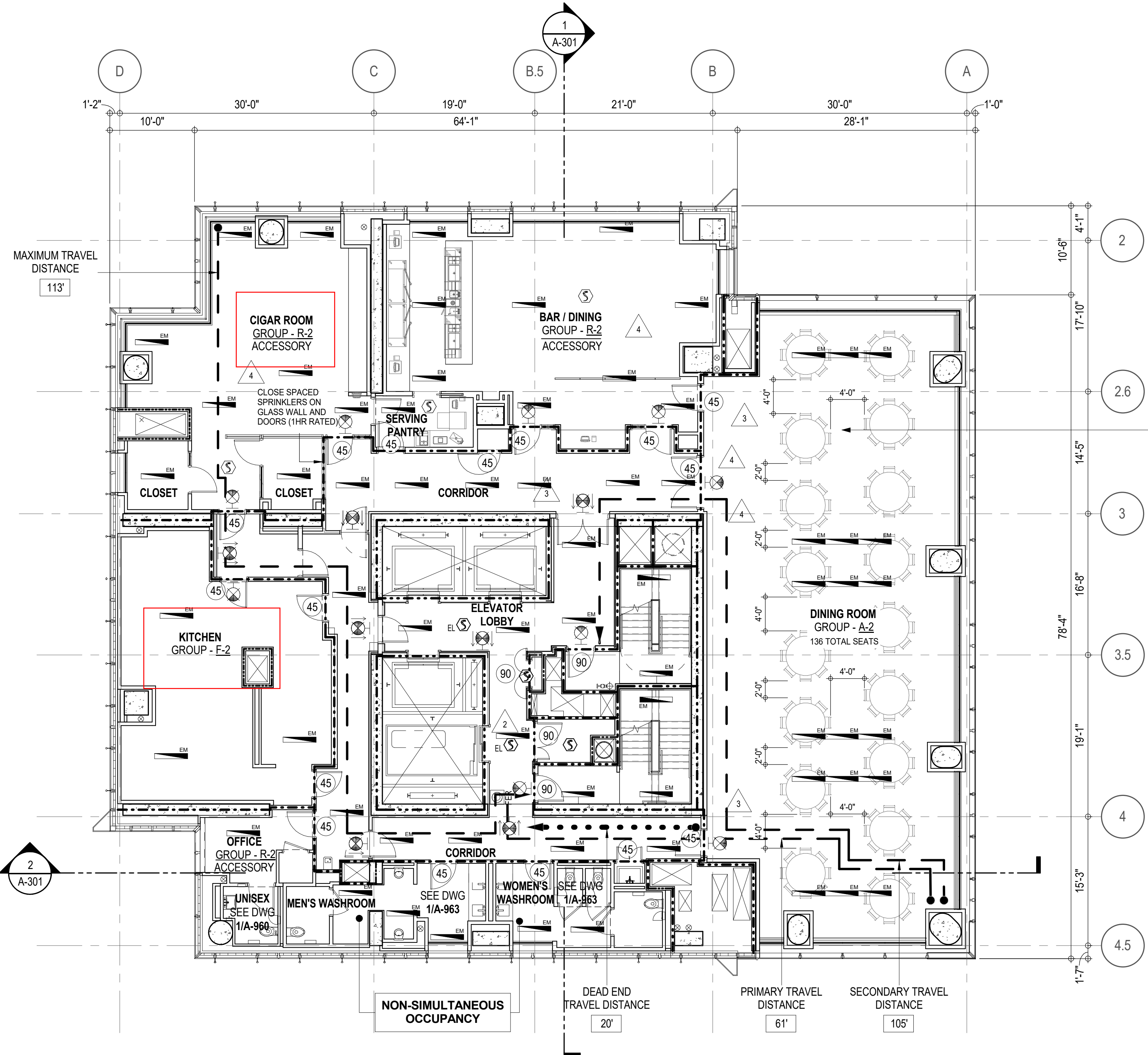
OCCUPANT LOADS SUMMARY 68TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
DINING ROOM	A-2	2,038 SF	15 SF	136
A-2				136
KITCHEN	F-2	708 SF	200 SF	4
F-2 (ACCESSORY SPACE)				4
BAR / DINING	R-2	853 SF	15 SF	57
CIGAR ROOM	R-2	736 SF	15 SF	50
OFFICE	R-2	92 SF	100 SF	1
R-2 (ACCESSORY SPACE)				108
Grand total				248

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (248)
STAIR - A	44"	0.3	146	124
STAIR - B	44"	0.3	146	124

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (248)
STAIR - A - DOOR	34"	0.2	170	124
STAIR - B - DOOR	34"	0.2	170	124

EXIT STAIR TREADS AND RISERS - BC TABLE 1009 (ACCESSORY TO RESIDENTIAL GROUP R-2)				
STAIR DESIGNATION	TREAD (N)	RISER (N)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.69"	20	64.62"
STAIR - B	9.5"	7.69"	20	46.19"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'
A-2	PRIMARY = 150'	SECONDARY = 250'	20'
R-2	200'	125'	40'



P.A. TO BE FILED SEPARATELY

USE GROUP - 2 RESIDENTIAL

THIS SPACE WILL BE FOR THE EXCLUSIVE USE OF RESIDENCE AND THEIR GUESTS, NO ADMISSION FEE WILL BE CHARGED

PLUMBING FIXTURES - PER PC TABLE 403.1											
OCCUPANCY	OCC. GRP.	NUMBER OF OCCUPANTS		REQUIRED WATER CLOSETS		REQUIRED LAVATORIES		PROVIDED WATER CLOSETS		PROVIDED LAVATORIES	
		M50%	F50%	M	F	M	F	M	F	M	F
BALL ROOM / CIGAR ROOM / BAR/DINING	A-2/ R-2	122	122	2	2	2	2	3*	3	2	2
ACCESSORY	F-2/ R-2	3	3			1	1	1		1	

* URINALS MAY BE PROVIDED IN LIEU OF WATER CLOSETS BUT FOR NO MORE THAN 1/2 OF THE REQUIRED NO. OF WATER CLOSETS WHEN MORE THAN 35 PERSONS.

* TABLE 403.1 REQUIRES THE FOLLOWING ADDITIONAL PLUMBING FIXTURES:
DRINKING FOUNTAINS (1 PER 1,000 P.): 1 REQUIRED, 1 PROVIDED
SERVICE SINK: 1 REQUIRED, 1 PROVIDED

EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

⬇	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬆	WALL MOUNTED ILLUMINATED NO EXIT SIGN	●	FEC FIRE EXTINGUISHER CABINET	Ⓢ	SMOKE DETECTOR
⬇	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬆	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	●	SPRINKLER HEAD (REFER TO FP DRAWINGS)	Ⓢ	SMOKE / CARBON MONOXIDE DETECTOR
⬇	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⬆	ILLUMINATED NO EXIT SIGN	⬆	STANDPIPE	Ⓢ	CEILING MOUNTED EMERGENCY LIGHT
⬇	ILLUMINATED EXIT SIGN	⬆	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	⬆	SIAMSESE CONNECTION	Ⓢ	WALL MOUNTED EMERGENCY LIGHT
						90	DOOR RATING (MINUTES)

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

68TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL AMENITIES TIER 4)
(MFD-100TH FLOOR)

SEAL & SIGNATURE: DATE: 21 SEP 15

PROJECT No: 1216-00

DRAWN: Author REV: 4

CHECKED: Checker

SCALE: 1/8" = 1'-0"

DWG No: A-065.02

DOB PAGE No: 89 of 154

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 69TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A (DUPLX)	R-2	6,789 SF	200 SF	34
Grand total				34

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
PR-C01	ADAPTABLE	1/A-988
PR-C02	ADAPTABLE	6/A-988
SB-A01	A	1/A-970
TB-C05	ADAPTABLE	6/A-962

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A FAMILY RM	9/A-956

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (34)
STAIR - A	44"	0.3	146	17
STAIR - B	44"	0.3	146	17

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (34)
STAIR - A - DOOR	34"	0.2	170	17
STAIR - B - DOOR	34"	0.2	170	17

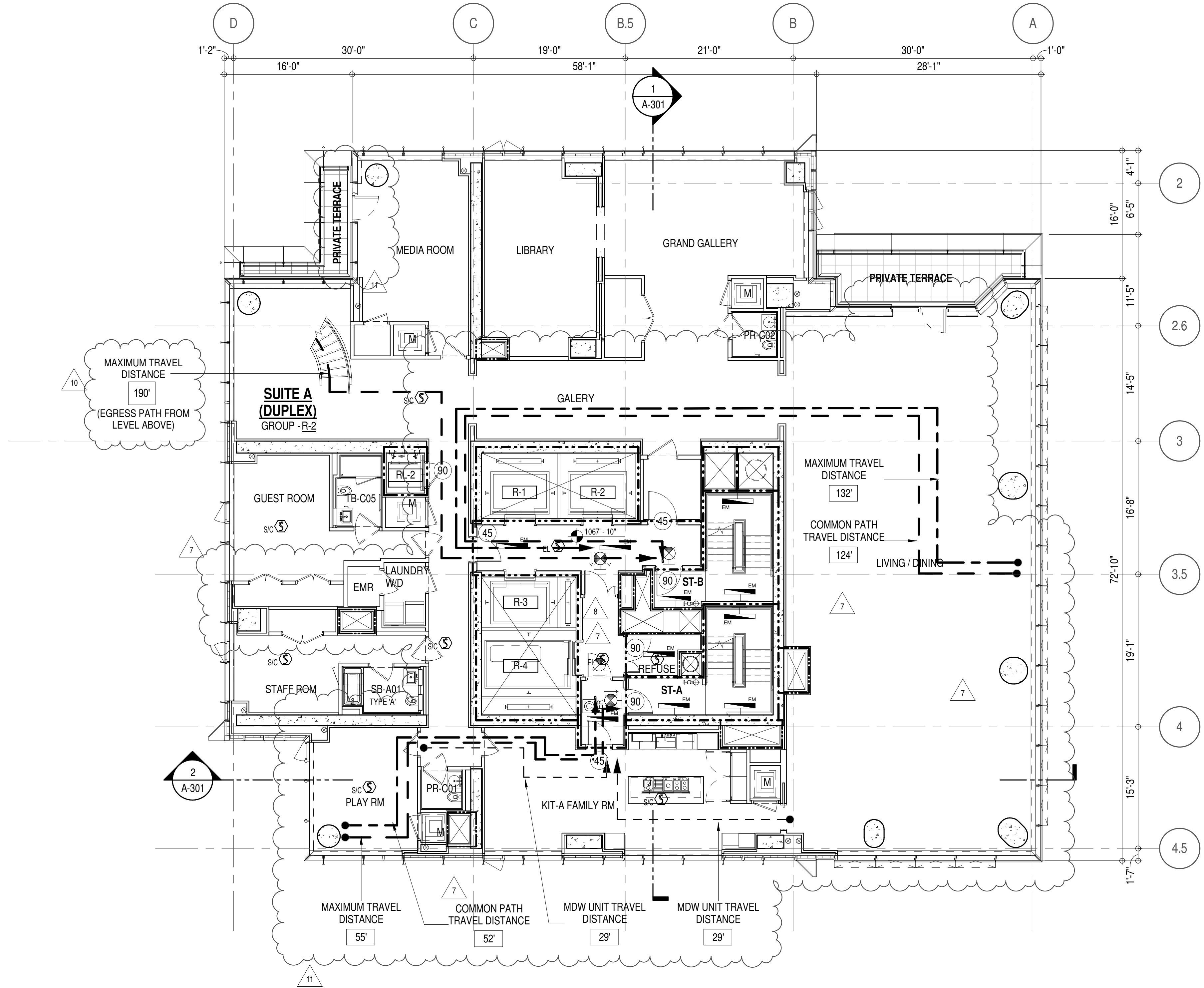
EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY	
DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR 1	64"
SUITE A DOOR 2	36"
SUITE A DOOR 3	36"

MULTI DWELLING LAW	
SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT	50'

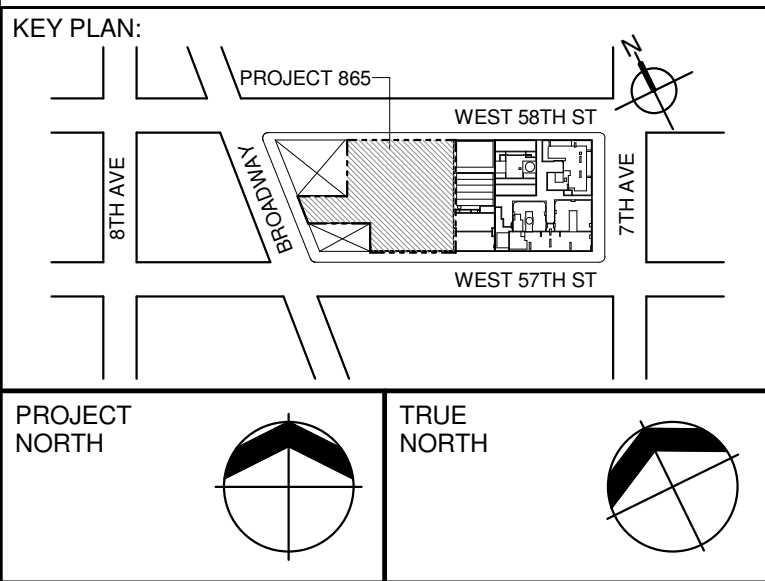
LIGHT & AIR CALCULATION 69TH FLOOR		LIGHT REQUIREMENT -BC-1205-					AIR REQUIREMENT -BC-1203-				
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	Door Opening Area	# of Operable Windows*	# of Operable Windows*	Area of Ventilating Openings	% of Natural Air
Room Name	Floor Area										
DUPLX LOWER											
GRAND GALLERY	497 SF	10%	3.0	85.50 SF	17.22%	5%	0.00 SF	2	0	27.28 SF	5.49%
GUEST ROOM	207 SF	10%	3.0	85.50 SF	41.25%	5%	0.00 SF	1	0	13.64 SF	6.58%
KIT-A FAMILY RM	491 SF	10%	5.0	142.50 SF	29.03%	**2.5%	0.00 SF	1	0	13.64 SF	2.78%
LIBRARY	327 SF	10%	2.0	57.00 SF	17.45%	5%	0.00 SF	2	0	16.44 SF	5.03%
LIVING / DINING	2,073 SF	10%	20.0	570.00 SF	27.50%	**2.5%	20.00 SF	0	17	70.72 SF	3.41%
MEDIA ROOM	274 SF	10%	4.0	114.00 SF	41.63%	5%	20.00 SF	1	0	33.84 SF	12.29%
PLAY RM	204 SF	10%	3.0	114.00 SF	55.73%	5%	0.00 SF	1	0	13.64 SF	6.67%
STAFF RM	130 SF	10%	2.0	57.00 SF	43.94%	5%	0.00 SF	1	0	13.64 SF	10.51%
*AREA OF VENTILATING OPENINGS @ UPPER LEVEL IN DOUBLE HEIGHT SPACE: 3.43 SF 2.846 SF (SEE 68TH FLOOR)											
*AREA OF VENTILATING OPENING / UNIT: 8.22 SF 13.64 SF											
**AREA OF NATURAL LIGHT SOURCES: 28.50 SF (BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)											
*** 2.5% AIR IS REQUIRED PER BC 1203.4.1.2.1 EXCEPTION 1											



EGRESS AND FIRE RATING LEGEND			
---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
----	TWO HOUR RATED PARTITION	----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND			
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE /CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)

SYMBOLS LEGEND	
REVERSIBLE DOOR SWING	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
M	MECHANICAL UNIT



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 31st St, 3rd Floor
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ARCHITECT OF RECORD: Base Building Shell & Core
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MEP ENGINEERS:
AKF GROUP
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TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
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21 Penn Plaza, 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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100 Church Street
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CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 808
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebath & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 5	12 AUG 16
14	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**69TH FLOOR PLAN
BUILDING CODE NOTES
(DUPLX-A-LOWER - TEIR 4)
(MFD-107TH FLOOR)**

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV: 11

SCALE: 1/8" = 1'-0"

DWG No: A-066.02

DOB PAGE No: 76 of 164

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 70TH FLOOR PLAN

OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A (DUPLEX)	R-2	3,974 SF	200 SF	20
Grand total				20

EXIT STAIR SUMMARY - BC TABLE 1005.1

STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (232)	STAIR LOAD TOTAL (20)
STAIR - A	44"	0.3	146	10
STAIR - B	44"	0.3	146	10

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1

DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (20)
STAIR - A - DOOR	34"	0.2	170	10
STAIR - B - DOOR	34"	0.2	170	10

EXIT STAIR TREADS AND RISERS - BC TABLE 1009

STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)

OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

MULTI DWELLING LAW

SUITE EXIT DOOR SUMMARY

DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR 1	36"

SECTION 103.1 (b) EGRESS FROM APARTMENT
MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS
FROM ANY ROOM WITHIN APARTMENT

50'

LIGHT & AIR CALCULATION 70TH FLOOR

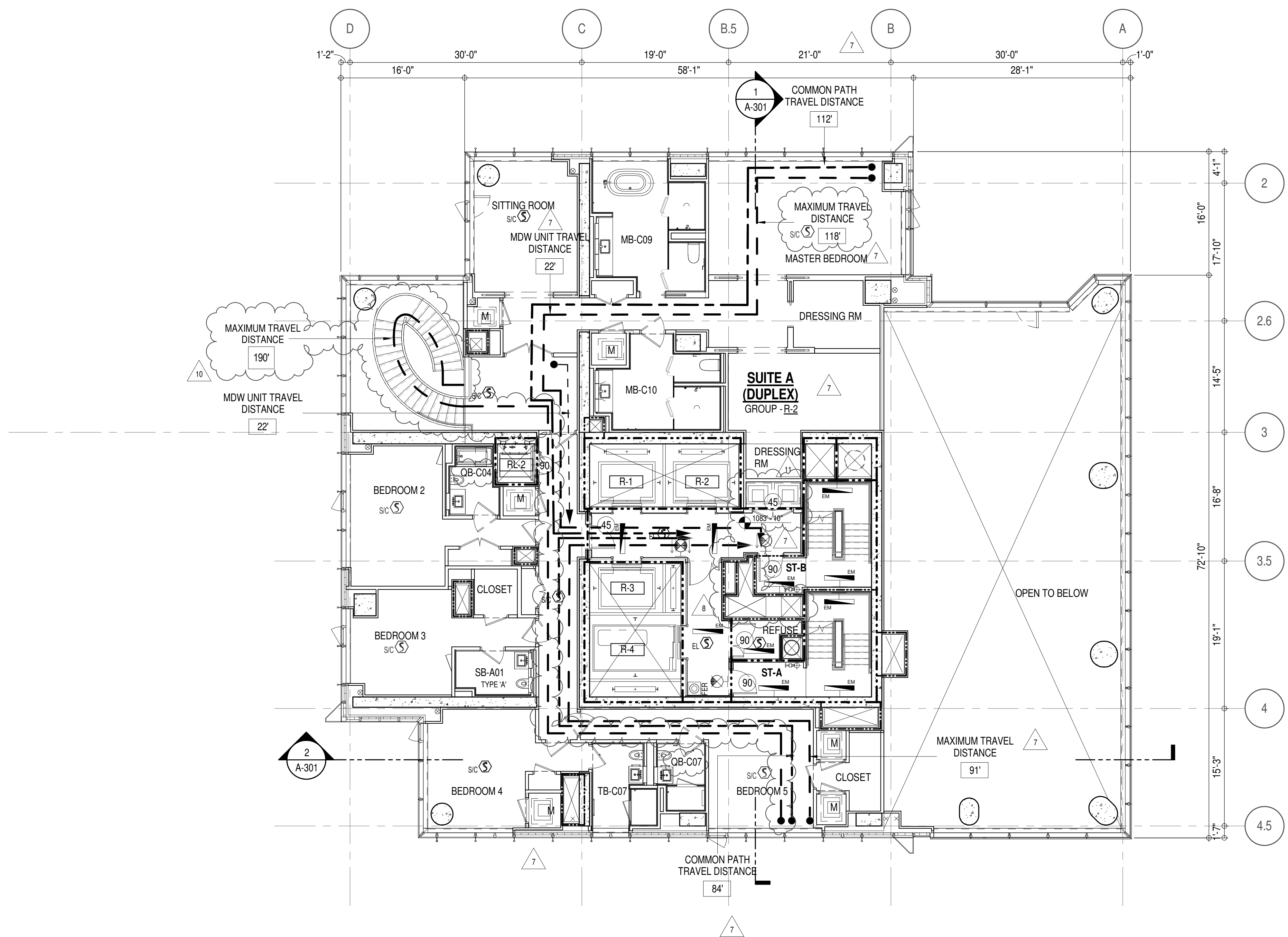
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	# of Operable Windows*	Area of Ventilating Openings	% of Natural Air
DUPLEX UPPER	228 SF	10%	3.0	85.50 SF	37.49%	5%	1	13.64 SF	5.98%
BEDROOM 2	168 SF	10%	2.0	57.00 SF	33.95%	5%	1	13.64 SF	8.12%
BEDROOM 3	210 SF	10%	4.0	114.00 SF	54.30%	5%	1	13.64 SF	6.50%
BEDROOM 4	219 SF	10%	3.0	85.50 SF	39.12%	5%	1	13.64 SF	6.24%
MASTER BEDROOM	378 SF	10%	4.0	114.00 SF	30.17%	5%	2	27.28 SF	7.22%
SITTING ROOM	239 SF	10%	4.0	114.00 SF	47.79%	5%	1	13.64 SF	5.72%

*AREA OF VENTILATING OPENING / UNIT: 13.64 SF

**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

RESTROOM TYPES

NAME	TYPE	DETAIL DRAWINGS
MB-C09	ADAPTABLE	1/A-977
MB-C10	ADAPTABLE	9/A-977
OB-C04	ADAPTABLE	9/A-986
OB-C07	ADAPTABLE	12/A-987
SB-A01	A	1/A-970
TB-C07	ADAPTABLE	1/A-983



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

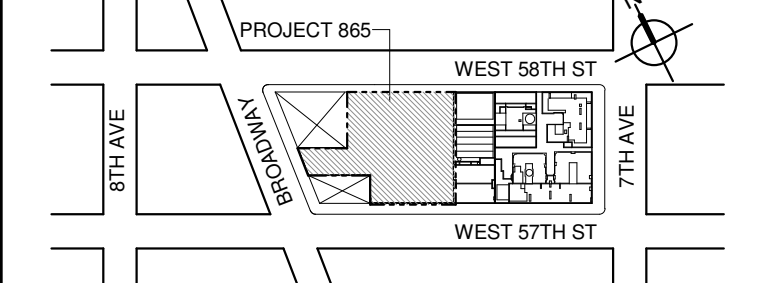
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SMOKE / CARBON MONOXIDE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	WALL MOUNTED EMERGENCY LIGHT
		DOOR RATING (MINUTES)

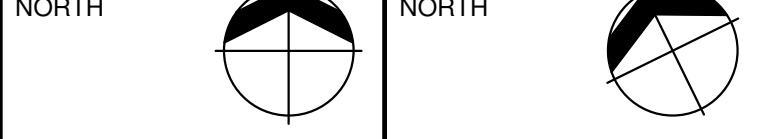
SYMBOLS LEGEND

REVERSIBLE DOOR SWING	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT	

KEY PLAN:



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
4011 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 46th Street
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MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza, 380 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
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CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
New York, NY 10005
TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
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10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 7	14 SEP 16
14	D.O.B. AMENDMENT 3	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

70TH FLOOR PLAN
BUILDING CODE NOTES
(DUPLEX-A-UPPER - TEIR 4)
(MFD-108TH FLOOR)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV: 11

CHECKED: Checker

SCALE: 1/8" = 1'-0"

DWG No: A-067.02

DOB PAGE No: 71 of 454

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 71ST FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	6,412 SF	200 SF	33
Grand total				33

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C11	ADAPTABLE	1/A-978
PR-C01	ADAPTABLE	1/A-988
QB-C03	ADAPTABLE	1/A-986
SB-A03	A	12/A-970
TB-C06	ADAPTABLE	12/A-962
TB-C09	ADAPTABLE	11/A-983

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A / FAMILY	1/A-957

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (33)
STAIR - A	44"	0.3	146	16
STAIR - B	44"	0.3	146	17

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (33)
STAIR - A - DOOR	34"	0.2	170	16
STAIR - B - DOOR	34"	0.2	170	17

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"

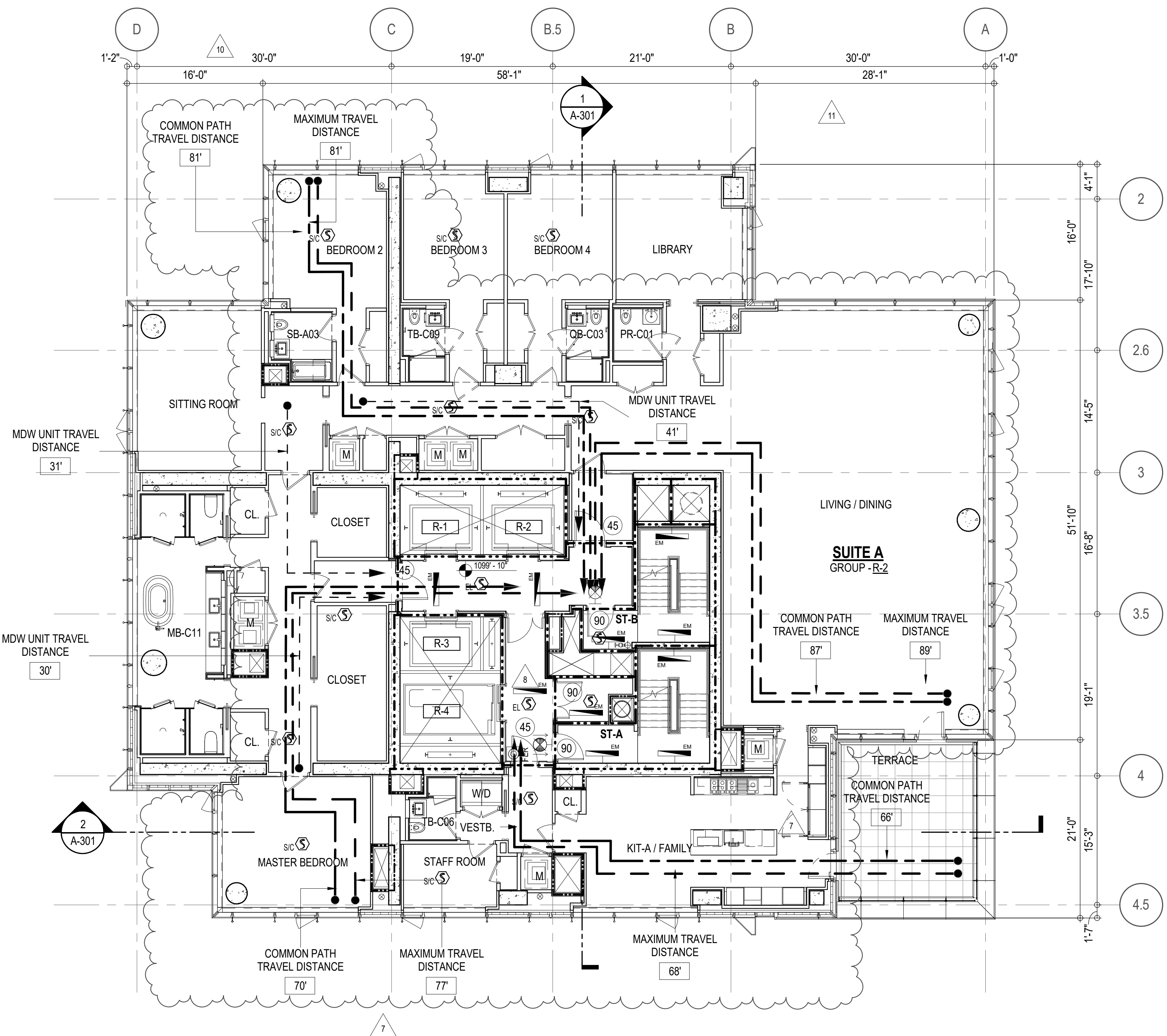
LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY	
DOOR DESIGNATION	DOOR WIDTH (IN)
SUITE A DOOR 1	64"
SUITE A DOOR 2	36"
SUITE A DOOR 3	36"

MULTI DWELLING LAW	
SECTION 103.1 (b) EGRESS FROM APARTMENT	
MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT	50'

LIGHT & AIR CALCULATION 71ST FLOOR											
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>					
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	Door Opening Area	# of Operable Windows*	Area of Ventilating Openings	% of Natural Air	
SUITE A											
BEDROOM 2	214 SF	10%	3.0	85.50 SF	39.93%	5%	0.00 SF	1	13.64 SF	6.37%	
BEDROOM 3	178 SF	10%	2.0	57.00 SF	32.10%	5%	0.00 SF	1	13.64 SF	7.68%	
BEDROOM 4	181 SF	10%	2.0	57.00 SF	31.42%	5%	0.00 SF	1	13.64 SF	7.52%	
KIT-A / FAMILY	450 SF	10%	3.0	85.50 SF	18.98%	5%	20.00 SF	1	33.64 SF	7.47%	
LIBRARY	224 SF	10%	3.0	85.50 SF	38.25%	5%	0.00 SF	1	13.64 SF	6.10%	
LIVING / DINING	1,528 SF	10%	14.0	399.00 SF	26.12%	5%	20.00 SF	5	88.20 SF	5.77%	
MASTER BEDROOM	280 SF	10%	5.0	142.50 SF	50.87%	5%	0.00 SF	2	27.28 SF	9.74%	
SITTING ROOM	290 SF	10%	4.5	128.25 SF	44.20%	5%	0.00 SF	2	16.44 SF	5.67%	
STAFF ROOM	89 SF	10%	2.0	57.00 SF	64.11%	5%	0.00 SF	1	13.64 SF	15.34%	

*AREA OF VENTILATING OPENING / UNIT: 8.22 SF 13.64 SF

**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

EGRESS AND FIRE RATING LEGEND

-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	-----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

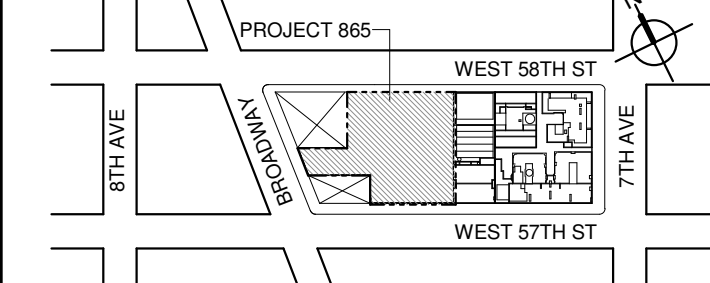
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE /CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN (ARROW INDICATES DIRECTION)	SPRINKLER RISER	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SIAMESE CONNECTION	WALL MOUNTED EMERGENCY LIGHT
			DOOR RATING (MINUTES)

SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED WID TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN:



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell & Core
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MEP ENGINEERS:
AKF GROUP
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TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
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21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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100 Church Street
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TEL: 212 385 1816 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 828
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
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TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 5	02 NOV 15
10	CD PROGRESS ISSUE 6	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 5	12 AUG 16
13	CD BULLETIN ISSUE - 7	14 SEP 16
14	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

71ST FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 4) (MFD-109TH FLOOR)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216.00

DRAWN: Author REV: 11

CHECKED: Checker

SCALE: 1/8" = 1'-0"

DWG No:

A-068.02

DOB PAGE No: 72 of 454

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 72ND FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A	R-2	6,447 SF	200 SF	33
Grand total				33

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (33)
STAIR - A	44"	0.3	146	16
STAIR - B	44"	0.3	146	17

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (33)
STAIR - A - DOOR	34"	0.2	170	16
STAIR - B - DOOR	34"	0.2	170	17

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.69"	20	61.62"
STAIR - B	9.5"	7.69"	20	61.62"

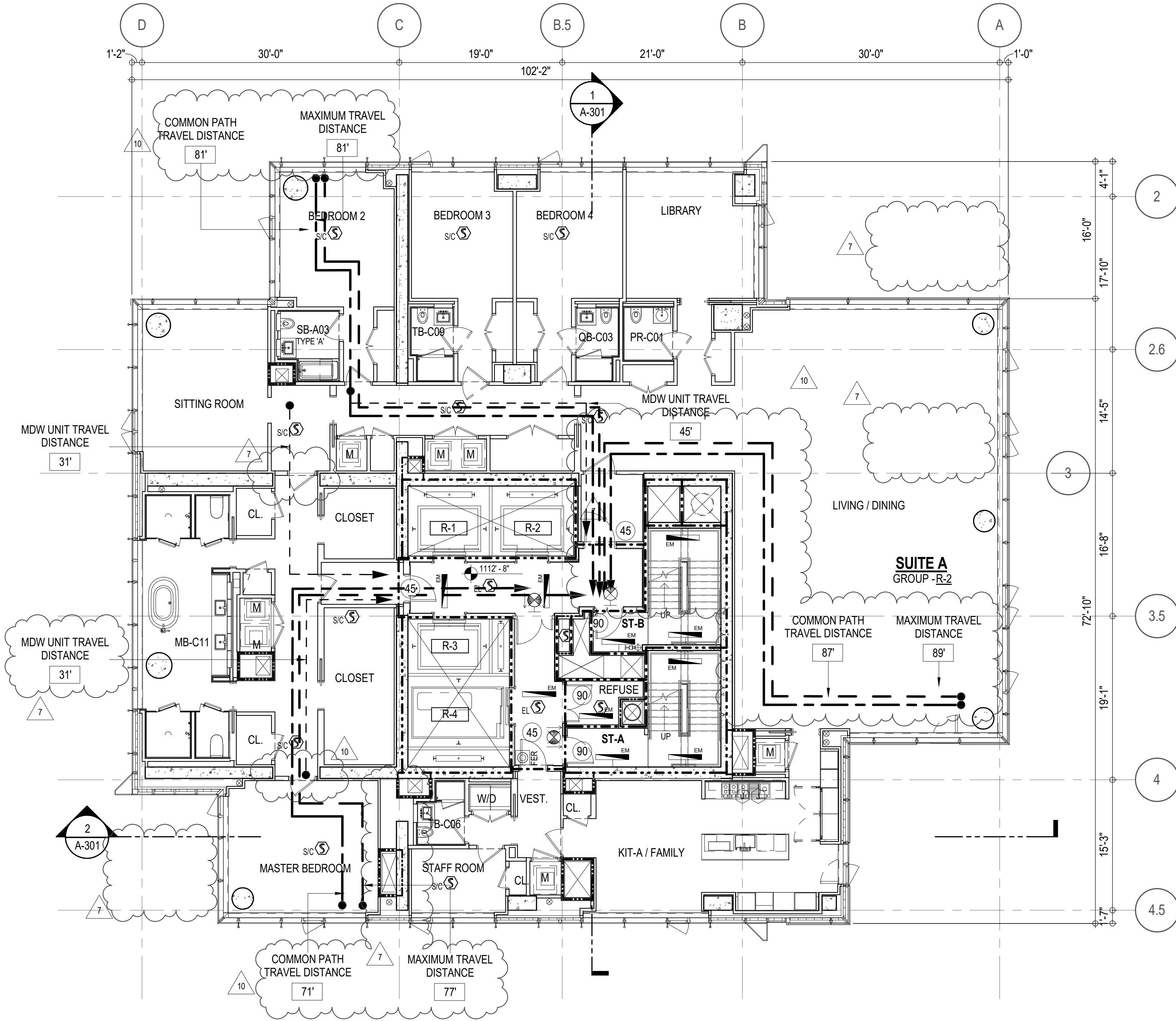
LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR 1	54"	SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
SUITE A DOOR 2	36"	
SUITE A DOOR 3	36"	
		50'

LIGHT & AIR CALCULATION 72ND FLOOR									
	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	PROVIDED Natural Light Area of Vision Glass	% of Natural Light	REQ'D % of Air	# of Operable Windows*	PROVIDED Natural Ventilating Openings Area of Ventilating Openings	% of Natural Air
SUITE A									
BEDROOM 2	213 SF	10%	4.0	114.00 SF	53.48%	5%	1	13.64 SF	6.40%
BEDROOM 3	177 SF	10%	2.0	57.00 SF	32.26%	5%	1	13.64 SF	7.72%
BEDROOM 4	182 SF	10%	2.0	57.00 SF	31.36%	5%	1	13.64 SF	7.50%
KIT-A / FAMILY	447 SF	10%	4.0	114.00 SF	25.50%	5%	2	27.28 SF	6.10%
LIBRARY	223 SF	10%	2.0	57.00 SF	25.54%	5%	1	13.64 SF	6.11%
LIVING / DINING	1,528 SF	10%	14.5	413.25 SF	27.05%	5%	6	81.84 SF	5.36%
MASTER BEDROOM	280 SF	10%	5.0	142.50 SF	50.89%	5%	2	27.28 SF	9.74%
SITTING ROOM	290 SF	10%	5.5	156.75 SF	54.03%	5%	2	16.44 SF	5.67%
STAFF ROOM	89 SF	10%	2.0	57.00 SF	64.12%	5%	1	13.64 SF	15.34%
*AREA OF VENTILATING OPENING / UNIT:			8.22 SF	13.64 SF					
**AREA OF NATURAL LIGHT SOURCES: 28.50 SF (BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)									

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C11	ADAPTABLE	1/A-978
PR-C01	ADAPTABLE	1/A-988
QB-C03	ADAPTABLE	1/A-986
SB-A03	A	12/A-970
TB-C06	ADAPTABLE	12/A-962
TB-C09	ADAPTABLE	11/A-983

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A / FAMILY	1/A-957



EGRESS AND FIRE RATING LEGEND

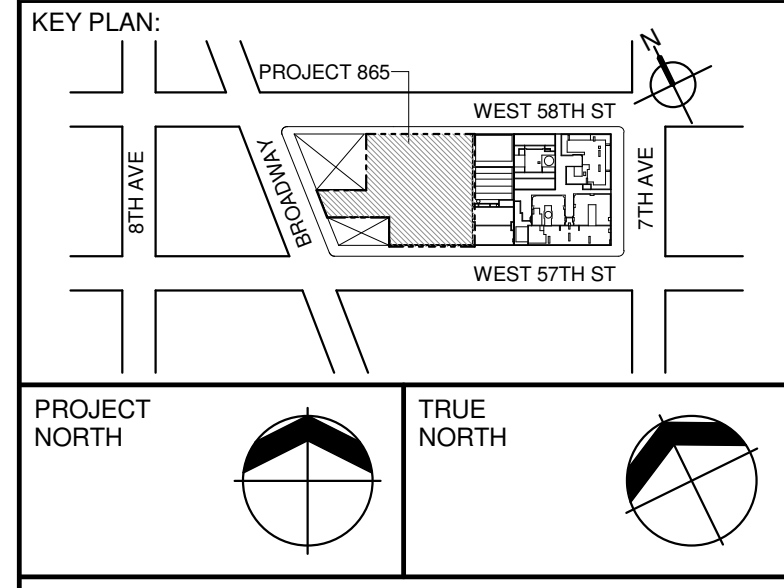
---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE / CARBON MONOXIDE DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMSE CONNECTION	DOOR RATING (MINUTES)

SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
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No.	DESCRIPTION:	DATE:
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10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 7	14 SEP 16
13	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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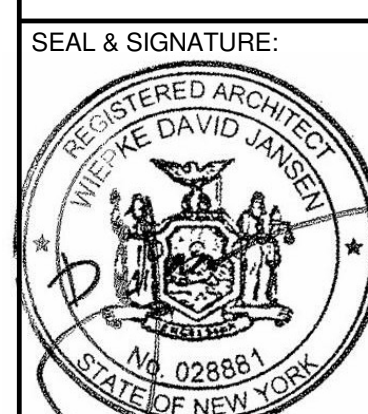
CONSULTANT:



PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**72ND - 88TH FLOOR PLAN
BUILDING CODE NOTES
(RESIDENTIAL-TIER 4)
(MFD-110TH-126TH FLOOR)**

SEAL & SIGNATURE:	DATE:	15 OCT 14
PROJECT No:	1216-00	
DRAWN: Author	CHECKED: Checker	REV: 10
SCALE: 1/8" = 1'-0"		
DWG No:		
DOB PAGE No:	79 of 164	
DOB B-SCAN:		



LAST ISSUES AS: A-063 - CD PROGRESS ISSUE 4/

OCCUPANT LOADS SUMMARY 89TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
SUITE A (DUPLEX)	R-2	5,948 SF	200 SF	30
Grand total				30

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
PR-C01	ADAPTABLE	1/A-988
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-981
TB-C08	ADAPTABLE	6/A-983

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (30)
STAIR - A	44"	0.3	146	15
STAIR - B	44"	0.3	146	15

KITCHENS	
NAME	DETAIL DRAWINGS
KITCHEN	1/A-958

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (30)
STAIR - A - DOOR	34"	0.2	170	15
STAIR - B - DOOR	34"	0.2	170	15

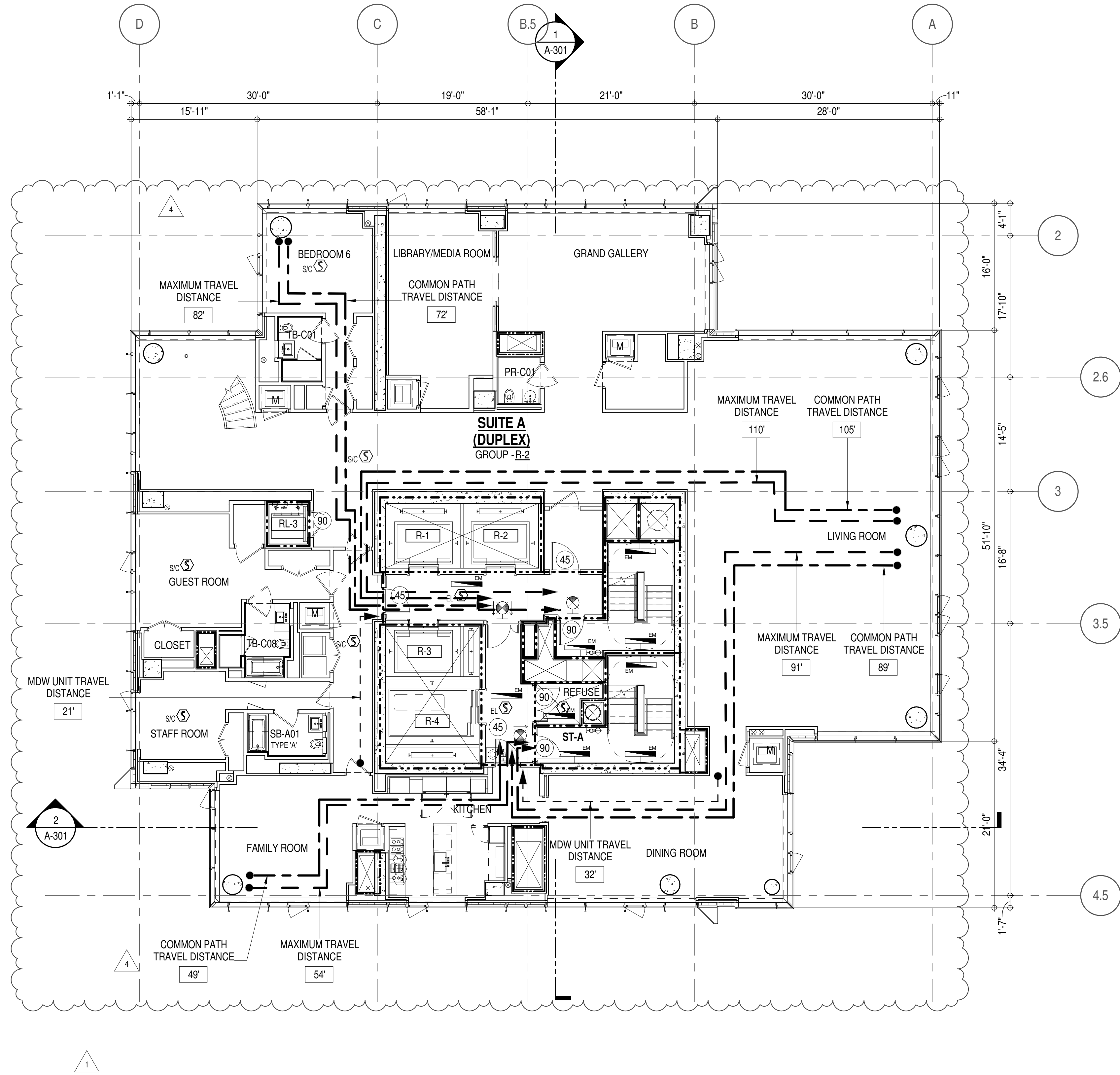
EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR 1	64"	SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
SUITE A DOOR 2	36"	
SUITE A DOOR 3	36"	
		50'

LIGHT & AIR CALCULATION 89TH FLOOR									
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>			AIR REQUIREMENT <BC-1203>			Area of Natural Light	% of Natural Air
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	PROVIDED Natural Light Area of Vision Glass	REQ'D % of Air	# of Operable Windows*	PROVIDED Natural Ventilating Openings Area of Ventilating Openings		
PENTHOUSE L1									
BEDROOM 6	173 SF	10%	4.0	114.00 SF	65.76%	5%	1	13.64 SF	7.87%
DINING ROOM	478 SF	10%	6.0	171.00 SF	35.74%	5%	2	27.28 SF	5.70%
FAMILY ROOM	282 SF	10%	5.0	142.50 SF	50.45%	5%	2	27.28 SF	9.66%
GRAND GALLERY	472 SF	10%	5.0	142.50 SF	30.16%	5%	2	27.28 SF	5.77%
GUEST ROOM	200 SF	10%	3.0	85.50 SF	42.78%	5%	1	13.64 SF	6.82%
KITCHEN	215 SF	10%	2.0	57.00 SF	26.56%	5%	1	13.64 SF	6.36%
LIBRARY/MEDIA ROOM	270 SF	10%	2.0	57.00 SF	21.09%	5%	1	13.64 SF	5.05%
LIVING ROOM	1,594 SF	10%	15.0	427.50 SF	27.88%	5%	6	81.84 SF	5.33%
STAFF ROOM	119 SF	10%	2.0	57.00 SF	48.06%	5%	1	13.64 SF	11.50%

*AREA OF VENTILATING OPENING / UNIT: 13.64 SF

**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

EGRESS AND FIRE RATING LEGEND

-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	-----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

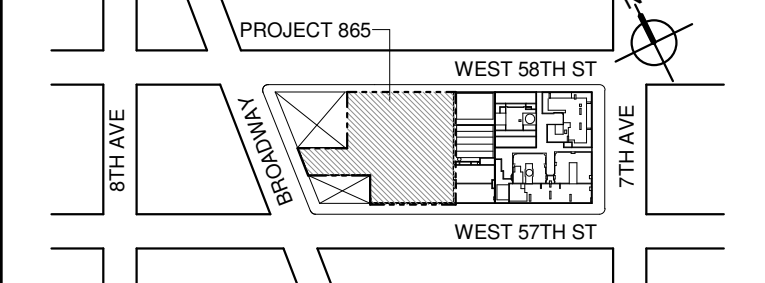
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET	SMOKE DETECTOR
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)	SMOKE (CARBON MONOXIDE) DETECTOR
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE	CEILING MOUNTED EMERGENCY LIGHT
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER	WALL MOUNTED EMERGENCY LIGHT
		SIAMESE CONNECTION	DOOR RATING (MINUTES)

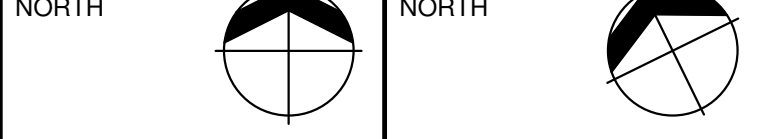
SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN:



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 31st Street, 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1750ARCHITECT OF RECORD: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 West 31st Street, 3rd Floor
Toronto, ON M5V 1E7 Canada
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50 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
	D.O.B. AMENDMENT 2	21 SEP 15
1	CD PROGRESS ISSUE 6	02 NOV 15
2	CD PROGRESS ISSUE 7	29 JAN 16
3	CD ISSUE 8 - GMP SET	31 MAR 16
4	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

89TH FLOOR PLAN
BUILDING CODE NOTES
(PENTHOUSE L1 - TIER 4)
(MFD-127TH FLOOR)

SEAL & SIGNATURE: DATE: 21 SEP 15

PROJECT No: 1216.00

DRAWN: Author REV: 4

CHECKED: Checker

SCALE: 1/8" = 1'-0"

DWG No: A-070.02

DOB PAGE No: 76 of 164

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 90TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2	2,271 SF	300 SF	8
PENTHOUSE	R-2	3,723 SF	200 SF	19
Grand total				27

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C09	ADAPTABLE	1/A-977
MB-C10	ADAPTABLE	9/A-977
OB-C04	ADAPTABLE	9/A-986
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-981
TB-C11	ADAPTABLE	11/A-984

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (27)
STAIR - A	44"	0.3	146	13
STAIR - B	44"	0.3	146	14

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (27)
STAIR - A - DOOR	34"	0.2	170	13
STAIR - B - DOOR	34"	0.2	170	14

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"

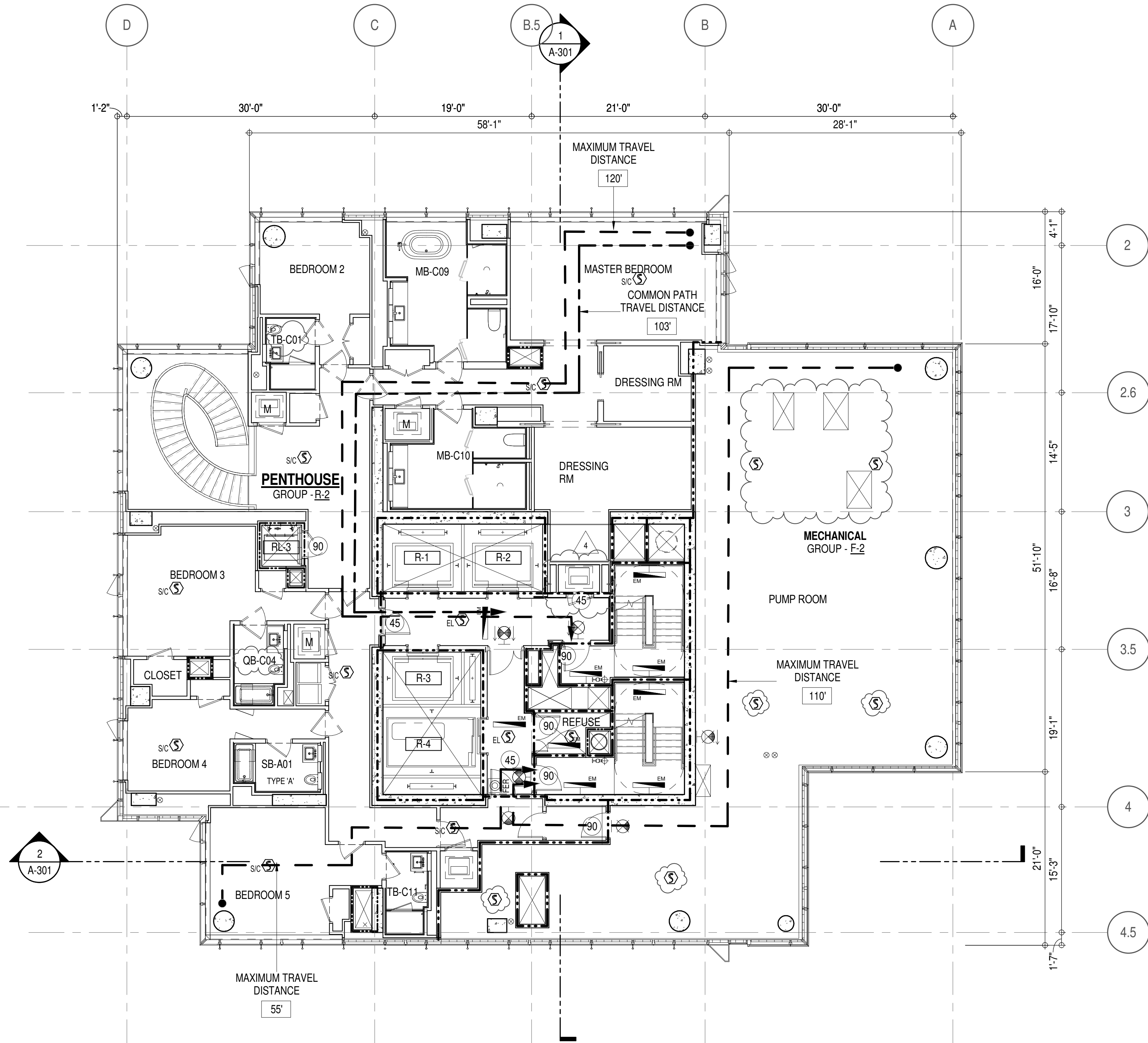
LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW
DOOR DESIGNATION	DOOR WIDTH (IN)	SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT 50'
SUITE A DOOR 1	36"	
SUITE A DOOR 2	36"	

LIGHT & AIR CALCULATION 90TH FLOOR									
LIGHT REQUIREMENT <BC-1205>						AIR REQUIREMENT <BC-1203>			
Room Name	Floor Area	REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	PROVIDED	PROVIDED		
						Natural Light	Natural Ventilating Openings	% of Natural Air	
						REQ'D % of Air	# of Operable Windows*	Area of Ventilating Openings	% of Natural Air
DUPLEX UPPER									
BEDROOM 2	158 SF	10%	4.0	114.00 SF	72.34%	5%	1	13.64 SF	8.66%
BEDROOM 3	229 SF	10%	3.0	85.50 SF	37.29%	5%	1	13.64 SF	5.95%
BEDROOM 4	138 SF	10%	2.0	57.00 SF	41.30%	5%	1	13.64 SF	9.88%
BEDROOM 5	234 SF	10%	4.0	114.00 SF	48.72%	5%	1	13.64 SF	5.83%
MASTER BEDROOM	372 SF	10%	4.0	114.00 SF	30.68%	5%	2	27.28 SF	7.34%

*AREA OF VENTILATING OPENING / UNIT: 13.64 SF

**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)



EGRESS AND FIRE RATING LEGEND

-----	ONE HOUR RATED PARTITION	-----	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	-----	DEAD END
-----	THREE HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

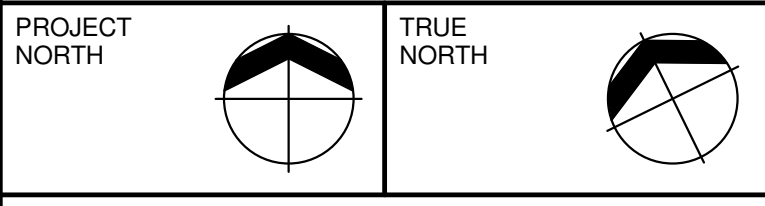
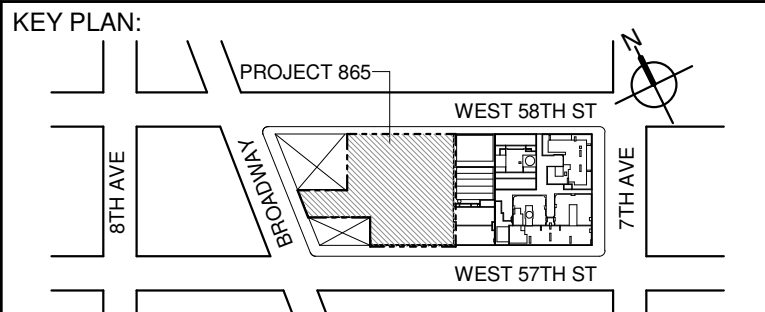
SYMBOLS LEGEND

	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN		FEC FIRE EXTINGUISHER CABINET
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		SPRINKLER HEAD (REFER TO FP DRAWINGS)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		ILLUMINATED NO EXIT SIGN		SPRINKLER RISER
	ILLUMINATED EXIT SIGN		ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		SIAMESE CONNECTION

	SMOKE DETECTOR		SMOKE (CARBON MONOXIDE) DETECTOR
	CEILING MOUNTED EMERGENCY LIGHT		WALL MOUNTED EMERGENCY LIGHT
	DOOR RATING (MINUTES)		

SYMBOLS LEGEND

	REVERSIBLE DOOR SWING
	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
	MECHANICAL UNIT



DEVELOPER:
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LANDMARK/PRESERVATION CONSULTANT:
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No.	DESCRIPTION:	DATE:
	D.O.B. AMENDMENT 2	21 SEP 15
1	CD PROGRESS ISSUE 6	02 NOV 15
2	CD PROGRESS ISSUE 7	29 JAN 16
3	CD ISSUE 8 - GMP SET	31 MAR 16
4	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**90TH FLOOR PLAN
BUILDING CODE NOTES
(PENTHOUSE L2 - TIER 4)
(MFD-128TH FLOOR)**

SEAL & SIGNATURE: PROJECT No. 1216-00 DATE: 21 SEP 15

DRAWN: Author CHECKED: Checker REV: 4

DWG No. SCALE: 1/8" = 1'-0" A-071.02

DOB PAGE No: 76 of 164 DOB B-SCAN:

OCCUPANT LOADS SUMMARY 91ST FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
PENTHOUSE	R-2 (200)	6,466 SF	200 SF	33
Grand total				33

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
PR-C01	ADAPTABLE	1/A-988
SB-A01	A	1/A-970
TB-C08	ADAPTABLE	6/A-963

KITCHENS	
NAME	DETAIL DRAWINGS
KIT-A	1/A-958

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (33)
STAIR - A	44"	0.3	146	16
STAIR - B	44"	0.3	146	17

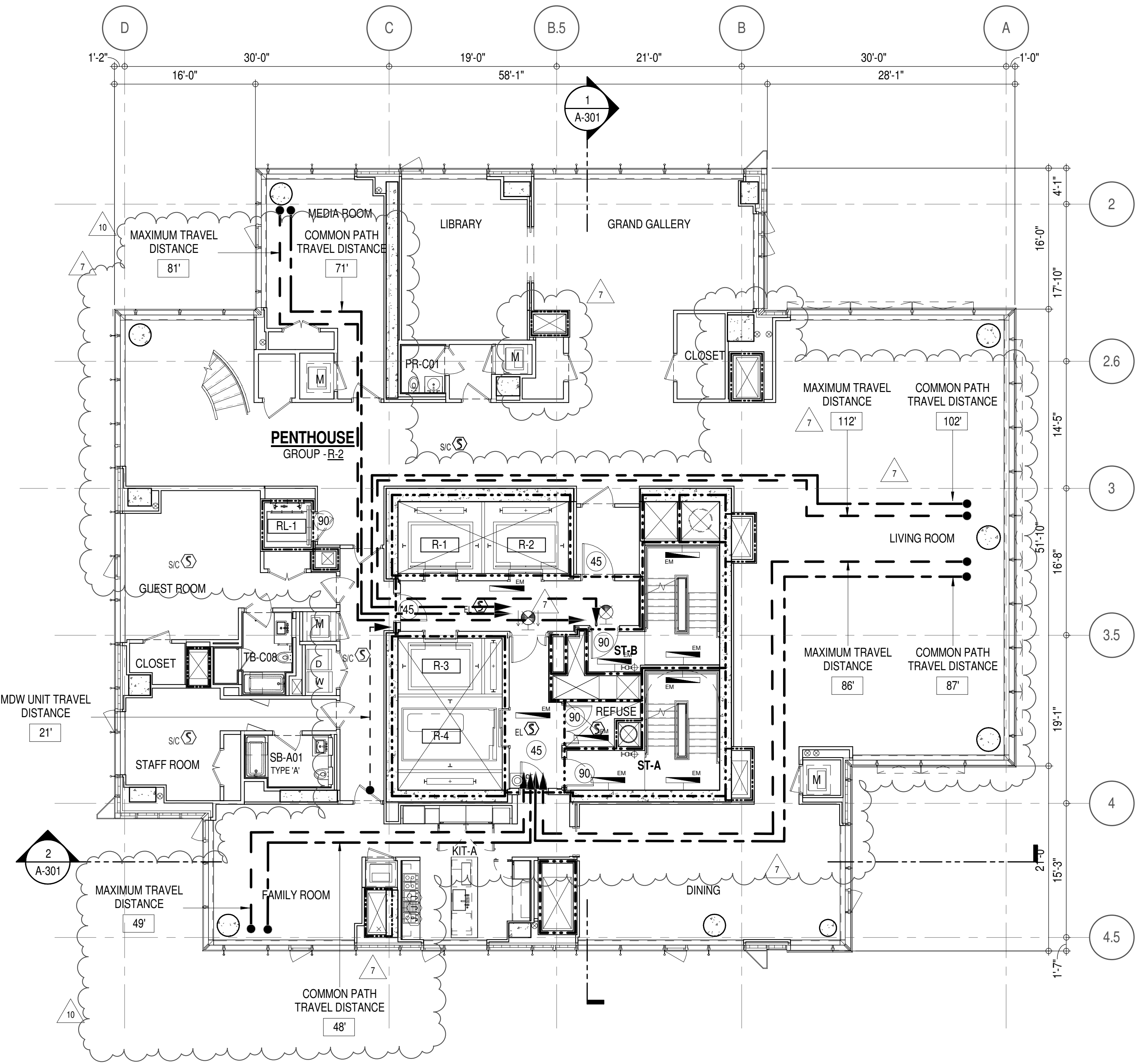
EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (33)
STAIR - A - DOOR	34"	0.2	170	16
STAIR - B - DOOR	34"	0.2	170	17

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"













LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW	
DOOR DESIGNATION	DOOR WIDTH (IN)		
SUITE A DOOR 1	36"	SECTION 103.1 (b) EGRESS FROM APARTMENT	
SUITE A DOOR 2	36"	MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS	
SUITE A DOOR 3	36"	FROM ANY ROOM WITHIN APARTMENT	
		50'	

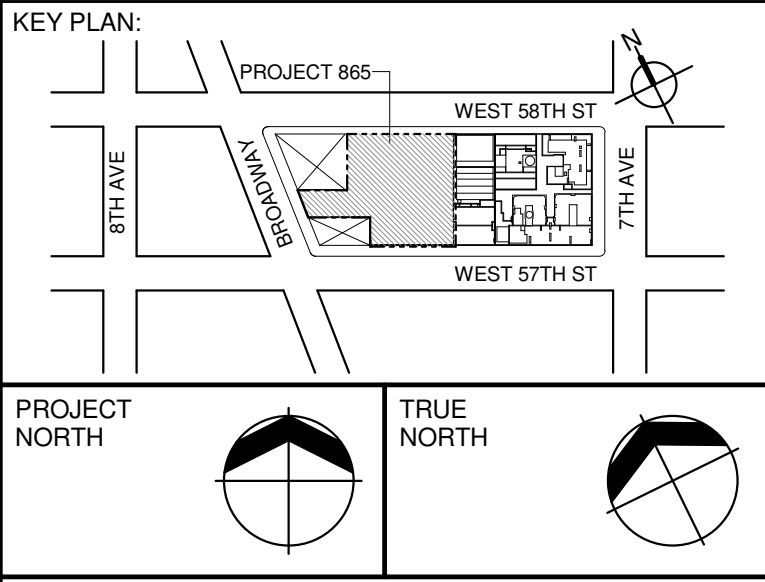
LIGHT & AIR CALCULATION 91ST FLOOR											
Room Name	Floor Area	LIGHT REQUIREMENT -BC-1205-				AIR REQUIREMENT -BC-1203-				Area of Natural Ventilating Openings	% of Natural Air
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	# of Operable Windows*	# of Operable Ventilating Windows*	Area of Ventilating Openings		
PENTHOUSE L1											
DINING	470 SF	10%	6.0	171.00 SF	36.35%	5%	2	0	27.28 SF	5.80%	
FAMILY ROOM	285 SF	10%	5.0	142.50 SF	50.04%	5%	2	0	27.28 SF	9.55%	
GRAND GALLERY	511 SF	10%	5.0	142.50 SF	27.87%	5%	2	0	27.28 SF	5.33%	
GUEST ROOM	249 SF	10%	3.0	85.50 SF	34.31%	5%	1	0	13.64 SF	5.47%	
KIT-A	219 SF	10%	2.0	57.00 SF	26.02%	5%	1	0	13.64 SF	6.23%	
LIBRARY	256 SF	10%	2.0	57.00 SF	22.28%	5%	1	0	13.64 SF	5.33%	
LIVING ROOM	1,483 SF	10%	15.0	427.50 SF	28.83%	5%	0	14	45.64 SF	3.08%	
MEDIA ROOM	234 SF	10%	4.0	114.00 SF	48.80%	5%	1	0	13.64 SF	5.84%	
STAFF ROOM	134 SF	10%	2.0	57.00 SF	42.39%	5%	1	0	13.64 SF	10.14%	
*AREA OF VENTILATING OPENINGS IN LIVING ROOM: 3.43 SF 2.846 SF 4.75 SF 4.168 SF											
*AREA OF VENTILATING OPENING / UNIT: 13.64 SF											
**AREA OF NATURAL LIGHT SOURCES: 28.50 SF (BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)											



EGRESS AND FIRE RATING LEGEND			
-----	ONE HOUR RATED PARTITION	_____	COMMON TRAVEL DISTANCE
-----	TWO HOUR RATED PARTITION	• • • • •	DEAD END
-----	THREE HOUR RATED PARTITION	_____	MAXIMUM TRAVEL DISTANCE
-----	FOUR HOUR RATED PARTITION	-----	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
-----	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND					
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN		FEC FIRE EXTINGUISHER CABINET
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		SPRINKLER HEAD (REFER TO FP DRAWINGS)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)		ILLUMINATED NO EXIT SIGN		STANDPIPE
	ILLUMINATED EXIT SIGN		ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)		SIAMESE CONNECTION

SYMBOLS LEGEND	
↔	REVERSIBLE DOOR SWING
W/D	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
M	MECHANICAL UNIT



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
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No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CD PROGRESS ISSUE 7	29 JAN 16
10	CD ISSUE 8 - GMP SET	31 MAR 16
11	CD BULLETIN ISSUE - 7	14 SEP 16
12	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
91ST FLOOR PLAN
BUILDING CODE NOTES
(PENTHOUSE L1 - TIER 4)
(MFD-129TH FLOOR)

SEAL & SIGNATURE: PROJECT No: 1216-00 DATE: 15 OCT 14
DRAWN: Author REV: 10
CHECKED: Checker
SCALE: 1/8" = 1'-0"
DWG No: A-072.02

DOB PAGE No: 76 of 164
DOB B-SCAN:

DOB EMPLOYEE STAMP:

DOB B-SCAN:

DOB B-SCAN:

DOB B-SCAN:

DOB B-SCAN:

DOB B-SCAN:

OCCUPANT LOADS SUMMARY 92ND FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
PENTHOUSE	R-2	4,792 SF	200 SF	24
Grand total				24

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
MB-C09	ADAPTABLE	1/A-977
MB-C10	ADAPTABLE	9/A-977
OB-C04	ADAPTABLE	9/A-986
OB-C05	ADAPTABLE	1/A-987
SB-A01	A	1/A-970
TB-C01	ADAPTABLE	1/A-961

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (24)
STAIR - A	44"	0.3	146	12
STAIR - B	44"	0.3	146	12

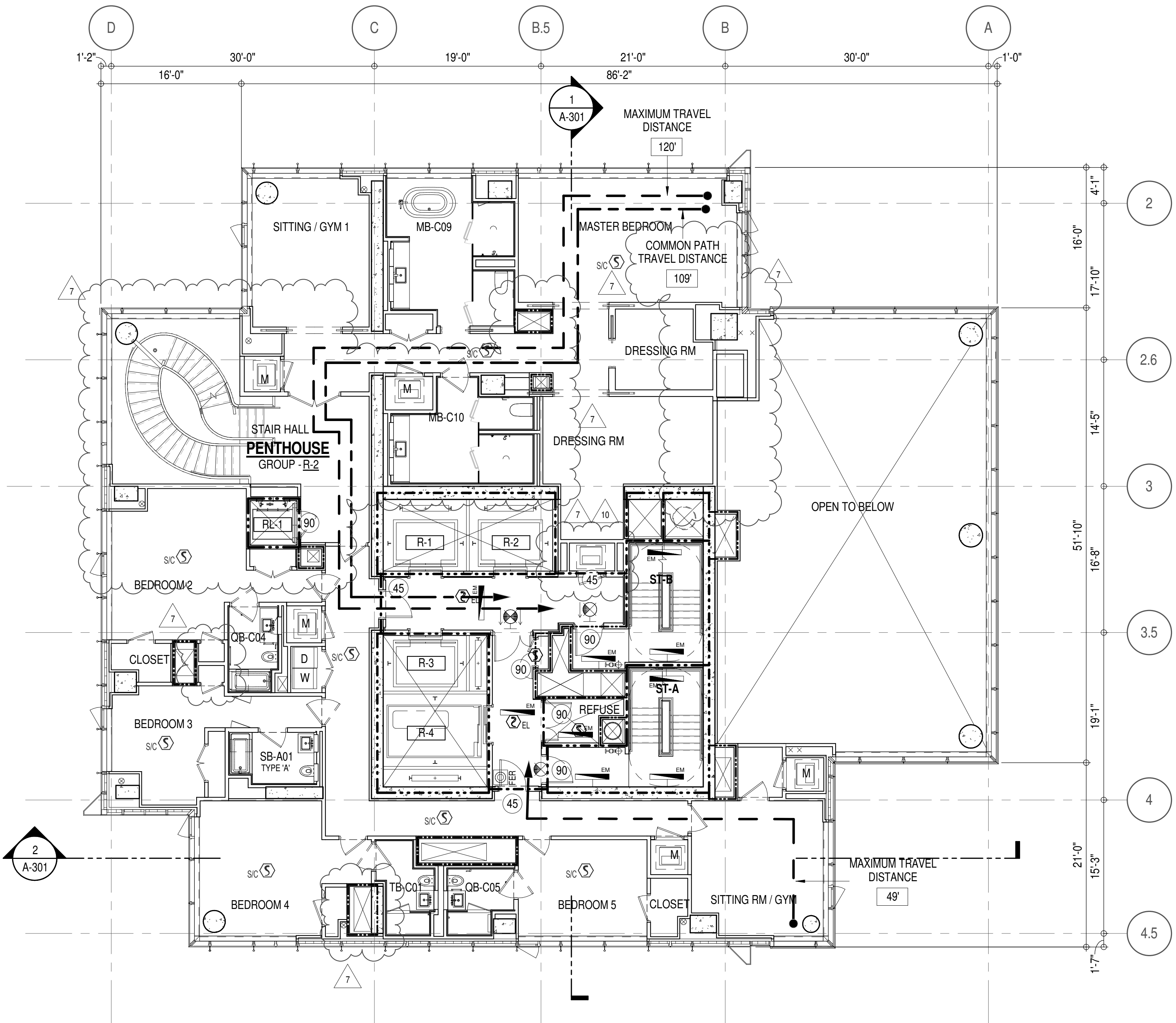
EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (24)
STAIR - A - DOOR	34"	0.2	170	12
STAIR - B - DOOR	34"	0.2	170	12

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1015.3)	DEAD END (BC 1015.3)
R-2	200'	125'	40'

SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW
DOOR DESIGNATION	DOOR WIDTH (IN)	SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT 50'
SUITE A DOOR 1	36"	
SUITE A DOOR 2	36"	

LIGHT & AIR CALCULATION 92ND FLOOR									
Room Name	Floor Area	LIGHT REQUIREMENT <BC-1205>				AIR REQUIREMENT <BC-1203>			
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	PROVIDED Natural Light Area of Vision Glass	% of Natural Light	REQ'D % of Air	# of Operable Windows*	PROVIDED Natural Ventilating Openings Area of Ventilating Openings	% of Natural Air
PENTHOUSE L2									
BEDROOM 2	256 SF	10%	3.0	85.50 SF	33.35%	5%	1	13.64 SF	5.32%
BEDROOM 3	144 SF	10%	2.0	57.00 SF	39.58%	5%	1	13.64 SF	9.49%
BEDROOM 4	223 SF	10%	4.0	114.00 SF	51.17%	5%	1	13.64 SF	6.12%
BEDROOM 5	173 SF	10%	3.0	85.50 SF	49.42%	5%	1	13.64 SF	7.88%
MASTER BEDROOM	366 SF	10%	5.0	142.50 SF	38.94%	5%	2	27.28 SF	7.45%
SITTING / GYM 1	234 SF	10%	4.0	114.00 SF	48.76%	5%	1	13.64 SF	5.83%
SITTING RM / GYM	228 SF	10%	4.0	114.00 SF	49.94%	5%	1	13.64 SF	5.98%
*AREA OF VENTILATING OPENING / UNIT: 13.64 SF									
**AREA OF NATURAL LIGHT SOURCES: 28.50 SF (BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)									



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

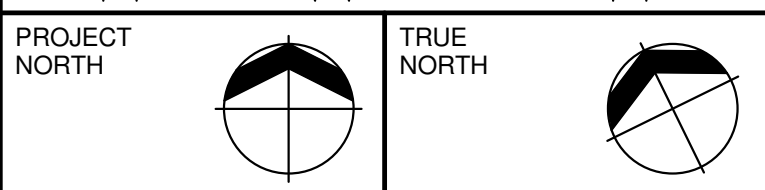
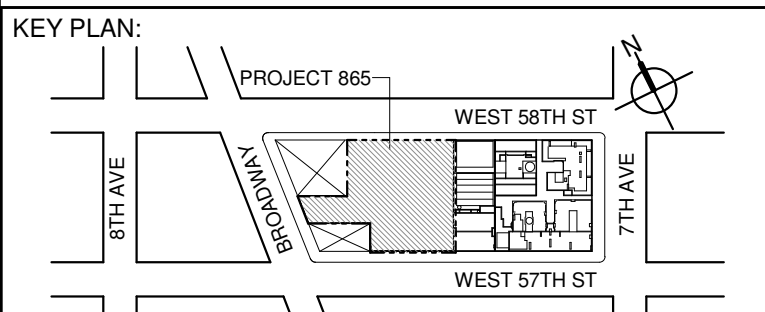
SYMBOLS LEGEND

ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)
WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER
		SIAMSE CONNECTION

SC SMOKE DETECTOR	SC SMOKE / CARBON MONOXIDE DETECTOR
SC CEILING MOUNTED EMERGENCY LIGHT	WALL MOUNTED EMERGENCY LIGHT
90 DOOR RATING (MINUTES)	

SYMBOLS LEGEND

REVERSIBLE DOOR SWING	STACKED WD TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
M MECHANICAL UNIT	



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EXTELL DEVELOPMENT COMPANY
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TEL: 312 920 1888 FAX: 312 920 1775

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No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD ISSUE 8 - GMP SET	31 MAR 16
11	CD BULLETIN ISSUE - 7	14 SEP 16
12	D.O.B. AMENDMENT 3	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**92ND FLOOR PLAN
BUILDING CODE NOTES
(PENTHOUSE L2 - TIER 4)
(MFD-130TH FLOOR)**

SEAL & SIGNATURE:	DATE:	15 OCT 14
PROJECT No:	1216.00	
DRAWN: Author	CHECKED: Checker	REV: 10
SCALE: 1/8" = 1'-0"		
DWG No:		
DOB PAGE No:	77 of 164	
DOB B-SCAN:		

DOB EMPLOYEE STAMP:

DOB B-SCAN:

OCCUPANT LOADS SUMMARY 93RD FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
PENTHOUSE	R-2	3,931 SF	200 SF	20
Grand total				20

RESTROOM TYPES		
NAME	TYPE	DETAIL DRAWINGS
PR-C01	ADAPTABLE	1/A-988
PR-C01	ADAPTABLE	1/A-988

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (IN)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (20)
STAIR - A	44"	0.3	146	10
STAIR - B	44"	0.3	146	10

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (IN)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (20)
STAIR - A - DOOR	34"	0.2	170	10
STAIR - B - DOOR	34"	0.2	170	10

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.62"	29	53.56"
STAIR - B	9.5"	7.62"	29	53.56"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
R-2	200'	125'	40'
F-2	250'	100'	50'

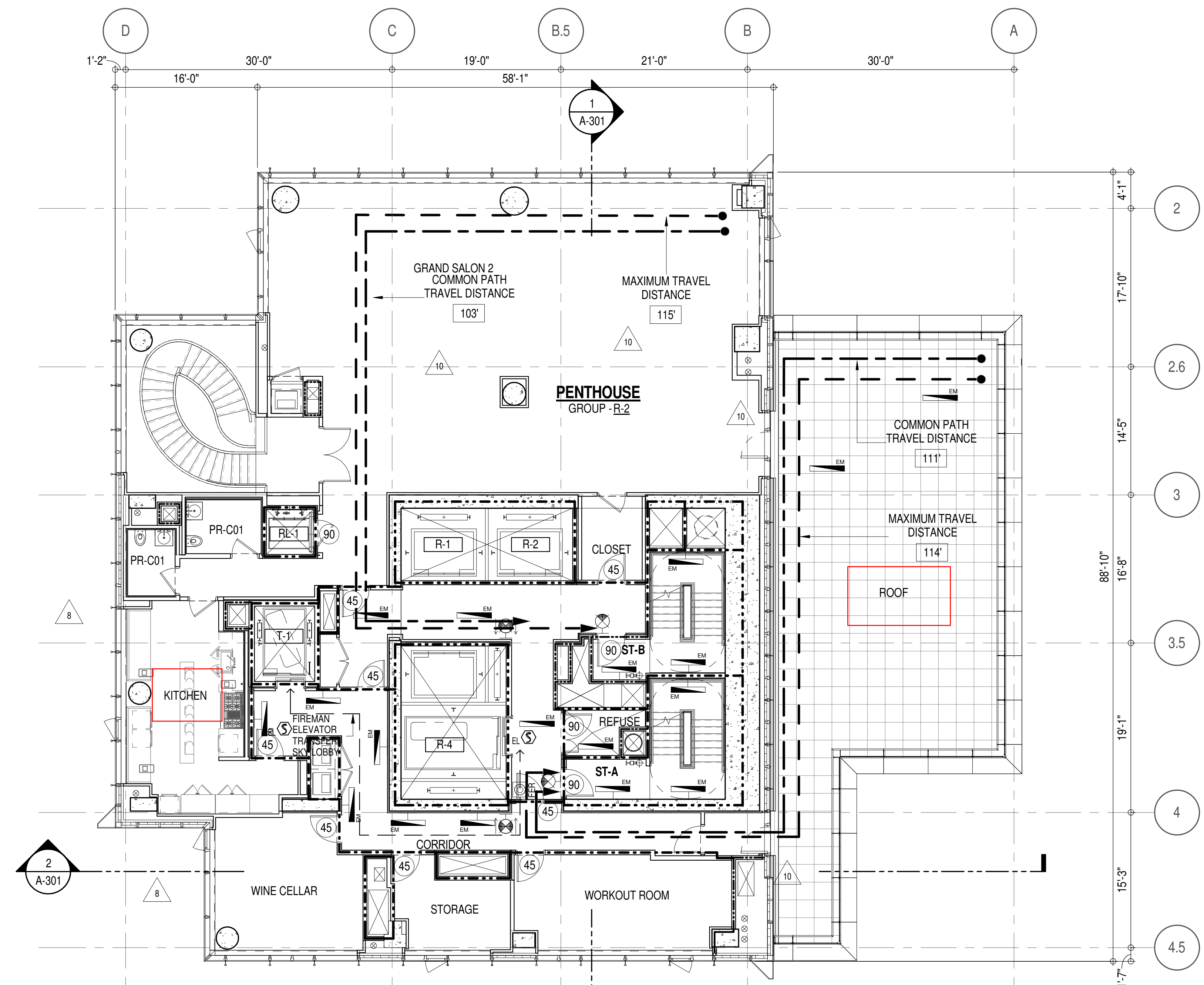
SUITE EXIT DOOR SUMMARY		MULTI DWELLING LAW SECTION 103.1 (b) EGRESS FROM APARTMENT MAXIMUM TRAVEL DISTANCE TO MEANS OF EGRESS FROM ANY ROOM WITHIN APARTMENT
DOOR DESIGNATION	DOOR WIDTH (IN)	
SUITE A DOOR	36"	
		50'

LIGHT & AIR CALCULATION 93RD		LIGHT REQUIREMENT -BC-1205-				AIR REQUIREMENT -BC-1203-			
		REQ'D % of Light	# of Curtain Wall Panels (5' typ.)**	Area of Vision Glass	% of Natural Light	REQ'D % of Air	Door Opening Area	# of Operable Windows*	% of Natural Air
PENTHOUSE L3	64 SF	N / A				N / A			
CLOSET	1,850 SF	10%	14.5	413.25 SF	22.34%	5%	20.00 SF	2	47.28 SF 2.56%
GRAND SALON 2	336 SF	10%	3.0	85.50 SF	25.45%	5%	0.00 SF	1	8.22 SF 2.45%
KITCHEN	117 SF	10%	2.0	57.00 SF	48.61%	5%	0.00 SF	1	13.64 SF 11.63%
STORAGE	248 SF	10%	6.5	185.25 SF	74.75%	5%	0.00 SF	1	13.64 SF 5.50%
WINE CELLAR	261 SF	10%	6.0	171.00 SF	65.46%	5%	0.00 SF	2	27.28 SF 10.44%

*AREA OF VENTILATING OPENING / UNIT: 13.64 SF 8.22 SF

**AREA OF NATURAL LIGHT SOURCES: 28.50 SF
(BASED ON THE MINIMUM AREA PROVIDED FROM 5'-0" MODULE W/ SPLIT MULLION)

* F-2 IS ACCESSORY TO RESIDENTIAL R-2



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION
- - - - -	TWO HOUR RATED PARTITION
- . - . - . -	THREE HOUR RATED PARTITION
- - - - -	FOUR HOUR RATED PARTITION
- - - - -	NON RATED SMOKE SEPARATION

---	COMMON TRAVEL DISTANCE
- . - . - . -	DEAD END
- - - - -	MAXIMUM TRAVEL DISTANCE
- - - - -	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

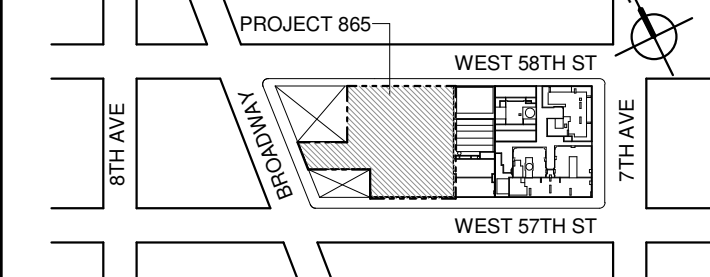
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN	FEC FIRE EXTINGUISHER CABINET
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER HEAD (REFER TO FP DRAWINGS)
ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	ILLUMINATED NO EXIT SIGN	STANDPIPE
ILLUMINATED EXIT SIGN	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)	SPRINKLER RISER
		SIAMESE CONNECTION

SMOKE DETECTOR	CEILING MOUNTED EMERGENCY LIGHT
SMOKE (CARBON MONOXIDE) DETECTOR	WALL MOUNTED EMERGENCY LIGHT
DOOR RATING (MINUTES)	

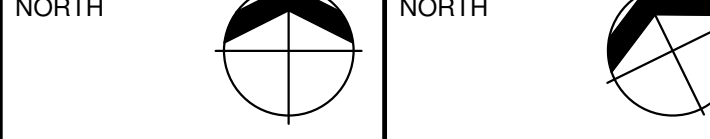
SYMBOLS LEGEND

REVERSIBLE DOOR SWING
STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
MECHANICAL UNIT

KEY PLAN:



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
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MEP ENGINEERS:
AKF GROUP
1501 Broadway
New York, NY 10036 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza, 380 West 31st Street, 8th Floor
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TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
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TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
59 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD ISSUE 8 - GMP SET	29 JAN 16
11	CD BULLETIN ISSUE - 5	31 MAR 16
12	D.O.B. AMENDMENT 3	12 AUG 16
13		03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Corrections must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

93RD FLOOR PLAN
BUILDING CODE NOTES
(PENHOUSE L3 - TIER 4)
(MFD-131ST FLOOR)

SEAL & SIGNATURE: DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author REV: 10

SCALE: 1/8" = 1'-0"

DWG No: A-074.01

DOB PAGE No: 76 of 164

DOB B-SCAN:

DOB EMPLOYEE STAMP:

DOB EMPLOYEE STAMP:

DOB EMPLOYEE STAMP:

DOB EMPLOYEE STAMP:

DOB EMPLOYEE STAMP:

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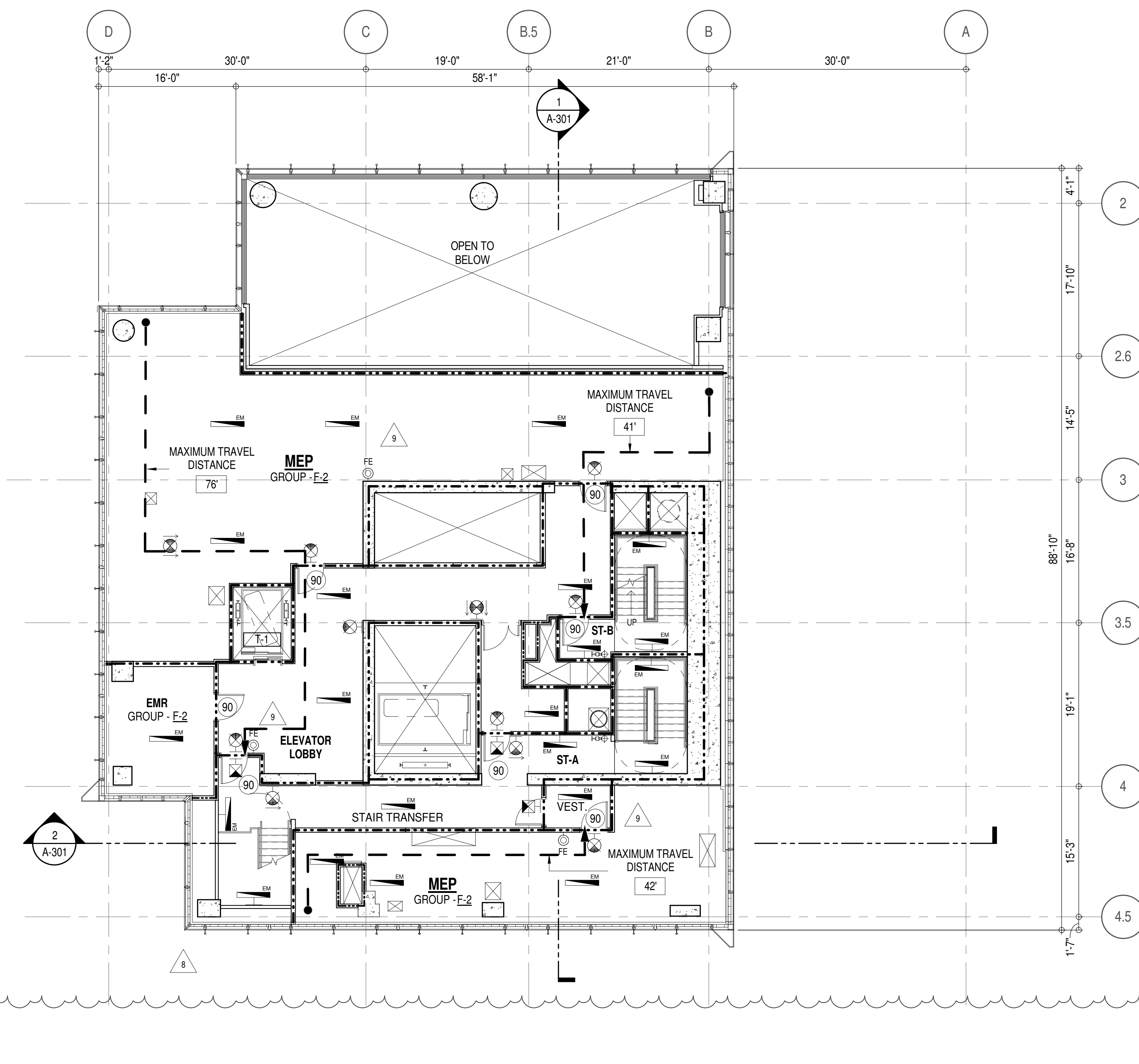
DOB EMPLOYEE STAMP:

DOB EMPLOYEE STAMP:




DOB EMPLOYEE STAMP:

DOB EMPLOYEE STAMP:

DOB EMPLOYEE STAMP:



SYMBOLS LEGEND

	REVERSIBLE DOOR SWING
	STACKED W/D TO BE REPLACED BY ACCESSIBLE COMBINATION UNIT AT REQUEST OF DWELLING UNIT OWNER
	MECHANICAL UNIT

<p>KEY PLAN:</p>		
<p>PROJECT NORTH</p>		<p>TRUE NORTH</p>
<p>DEVELOPER:</p> <p>EXTELL DEVELOPMENT COMPANY 805 THIRD AVENUE, 7TH FLOOR NEW YORK, NY 10022 USA TEL: 212 712 6000 FAX: 212 712 6100</p>		
<p>DESIGN ARCHITECT: Base Building Shell & Core ADRIAN SMITH + GORDON GILL ARCHITECTURE 111 WEST MONROE STREET SUITE 2300 CHICAGO, IL 60601 TEL: 312 920 1888 FAX: 312 920 1775</p>		
<p>ARCHITECT OF RECORD: Base Building Shell & Core AOI ARCHITECTS, P.C. 401 Wellington St. W., 5nd Floor Toronto, ON M5V 1E7 Canada TEL: 416 967 1500 FAX: 416 967 7150</p>		
<p>STRUCTURAL ENGINEERS: WSP CANTOR SENEK 228 EAST 45th Street New York, NY 10017 USA TEL: 212 687 9888 FAX: 646 487 5501</p>		
<p>MEP ENGINEERS: AKF GROUP 1501 Broadway New York, NY 10036 USA TEL: 212 534 6666 FAX: 212 534 6668</p>		
<p>GEOTECHNICAL ENGINEERS: Langan Engineering & Environmental Services 21 Penn Plaza - 360 West 31st Street, 8th Floor New York, NY 10001-2232 TEL: 212 479 5400 FAX: 212 479 5444</p>		
<p>CODE CONSULTANTS: Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1818 FAX: 212 385 1911</p>		
<p>CURTAINWALL CONSULTANT: AJLP Consulting 40 Worth Street, Suite 828 New York, NY 10013 TEL: 212 757 5559 FAX: 646 219 8508</p>		
<p>LANDMARK/PRESERVATION CONSULTANT: Higgins Quasebarth & Partners LLC 11 Hanover Square, 16th Floor New York, NY 10005 TEL: 212 274 9468 FAX: 646 274 9380</p>		
<p>LANDMARK/PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc. 39 West 37th Street, 12A New York, NY 10018 TEL: 212 759 6462 FAX: 212 759 6540</p>		
No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
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4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
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	D.O.B. AMENDMENT 2	21 SEP 15
7	CD PROGRESS ISSUE 6	02 NOV 15
8	CD PROGRESS ISSUE 7	29 JAN 16
9	CD ISSUE 8 - GMP SET	31 MAR 16
	D.O.B. AMENDMENT 3	03 OCT 16
<p>0 4'-0" 8'-0" 16'-0"</p>		
<p>D.O.B. SUBMISSION</p>		
<p>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.</p>		
<p>ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p>		
<p>CONSULTANT:</p> <div style="display: flex; align-items: center; justify-content: center;"> <div> <p>AAI ARCHITECTS, P.C.</p> </div> </div>		
<p>PROJECT:</p> <p style="text-align: center;">217 WEST 57TH STREET NEW YORK, NY</p>		
<p>DRAWING TITLE:</p> <p style="text-align: center;">94TH FLOOR PLAN BUILDING CODE NOTES (MECHANICAL) (MPD-132ND FLOOR)</p>		
<p>SEAL & SIGNATURE:</p> <div style="display: flex; align-items: center;"> <div> <p>_____ DAVID HIRSCH Professional Engineer No. 02889 State of New York</p> </div> </div>	<p>DATE: 15 OCT 14</p> <p>PROJECT NO: 1276-00</p> <p>DRAWN: ACH CHECK: Checker</p> <p>REV: 9</p> <p>DWG NO: A-075.01</p> <p>DOB PAGE NO: 79 of 454</p>	
<p>DOB EMPLOYEE STAMP:</p>	<p>DOB B-SCAN:</p>	

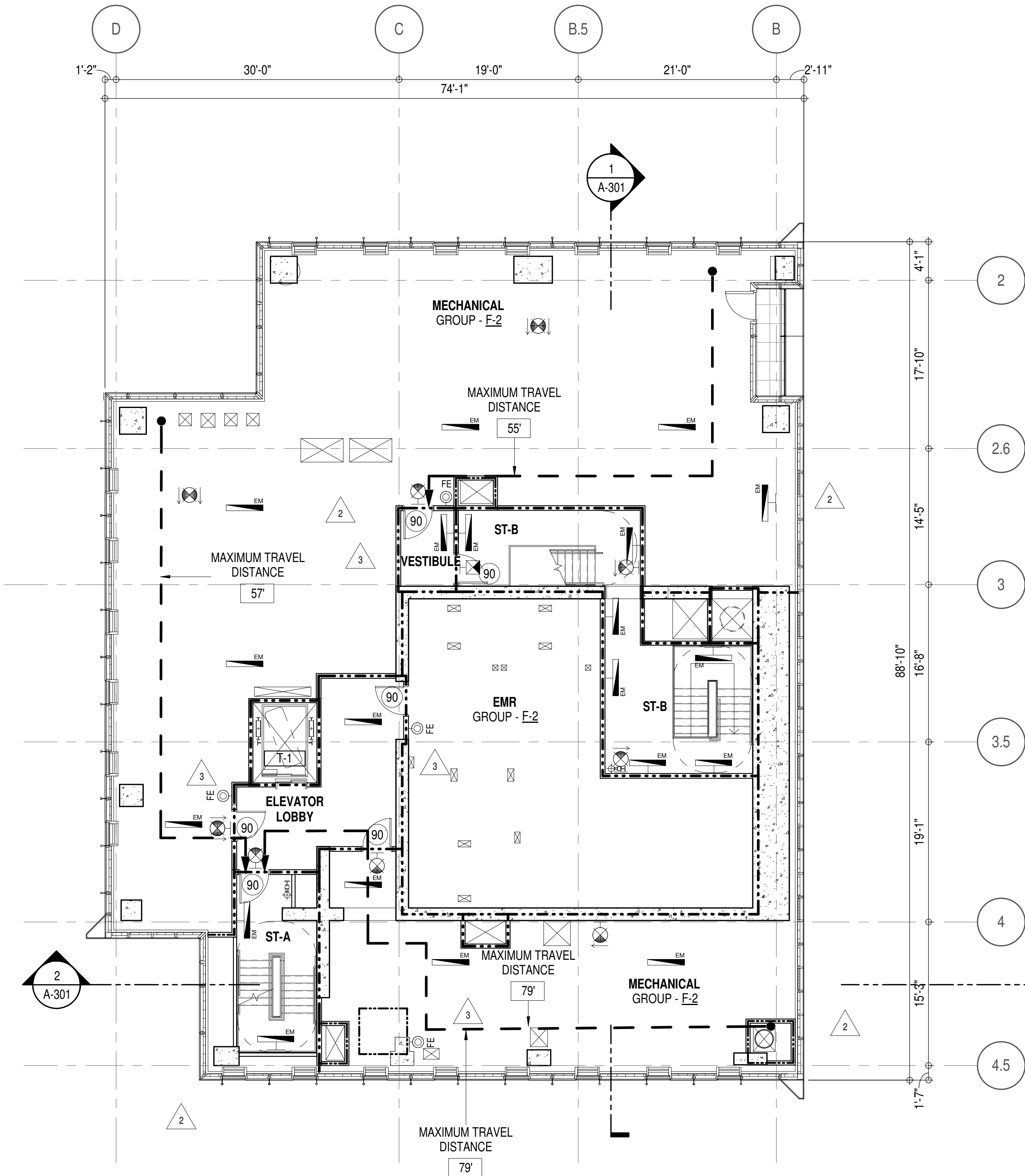
OCCUPANT LOADS SUMMARY 95TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2	3,238 SF	300 SF	11
EMR	F-2	878 SF	300 SF	3
MECHANICAL	F-2	909 SF	300 SF	4
Grand total				18

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (292)	TOTAL (14)
STAIR - A	44"	0.3	146	7
STAIR - B	44"	0.3	146	7

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (340)	TOTAL (14)
STAIR - A - DOOR	34"	0.2	170	7
STAIR - B - DOOR	34"	0.2	170	7

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.69"	28	54.00"
STAIR - B	9.5"	7.69"	28	54.00"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION
- - - - -	TWO HOUR RATED PARTITION
- . - . -	THREE HOUR RATED PARTITION
-	FOUR HOUR RATED PARTITION
---	NON RATED SMOKE SEPARATION

---	COMMON TRAVEL DISTANCE
-	DEAD END
---	MAXIMUM TRAVEL DISTANCE
- - - - -	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

SYMBOLS LEGEND

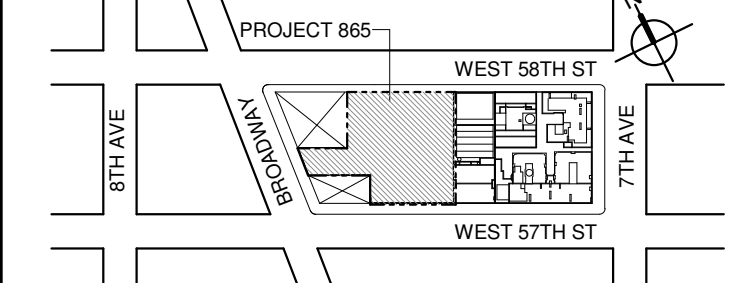
☼	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
☼	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
☼	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
☼	ILLUMINATED EXIT SIGN

☼	WALL MOUNTED ILLUMINATED NO EXIT SIGN
☼	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
☼	ILLUMINATED NO EXIT SIGN
☼	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)

☼	FEC FIRE EXTINGUISHER CABINET
☼	SPRINKLER HEAD (REFER TO FP DRAWINGS)
☼	STANDPIPE
☼	SPRINKLER RISER
☼	SIAMESE CONNECTION

☼	SMOKE DETECTOR
☼	SMOKE / CARBON MONOXIDE DETECTOR
☼	CEILING MOUNTED EMERGENCY LIGHT
☼	WALL MOUNTED EMERGENCY LIGHT
☼	DOOR RATING (MINUTES)

KEY PLAN:



PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1750

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TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
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CURTAINWALL CONSULTANT:
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New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
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11 Hanover Square, 16th Floor
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TEL: 212 274 9468 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 57th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
	D.O.B. AMENDMENT 2	21 SEP 15
1	CD PROGRESS ISSUE 6	02 NOV 15
2	CD PROGRESS ISSUE 7	29 JAN 16
3	CD ISSUE 8 - GMP SET	31 MAR 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

95TH FLOOR PLAN
BUILDING CODE NOTES (EMR)
(MFD-133RD FLOOR)

SEAL & SIGNATURE: DATE: 21 SEP 15

PROJECT No: 1216-00

DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"

DWG No: **A-076.01**

DOB PAGE No: 86 of 154

DOB EMPLOYEE STAMP: DOB B-SCAN:

OCCUPANT LOADS SUMMARY 96TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2 (300)	2,577 SF	300 SF	9
MASS TUNE DAMPER	F-2 (300)	2,282 SF	300 SF	8

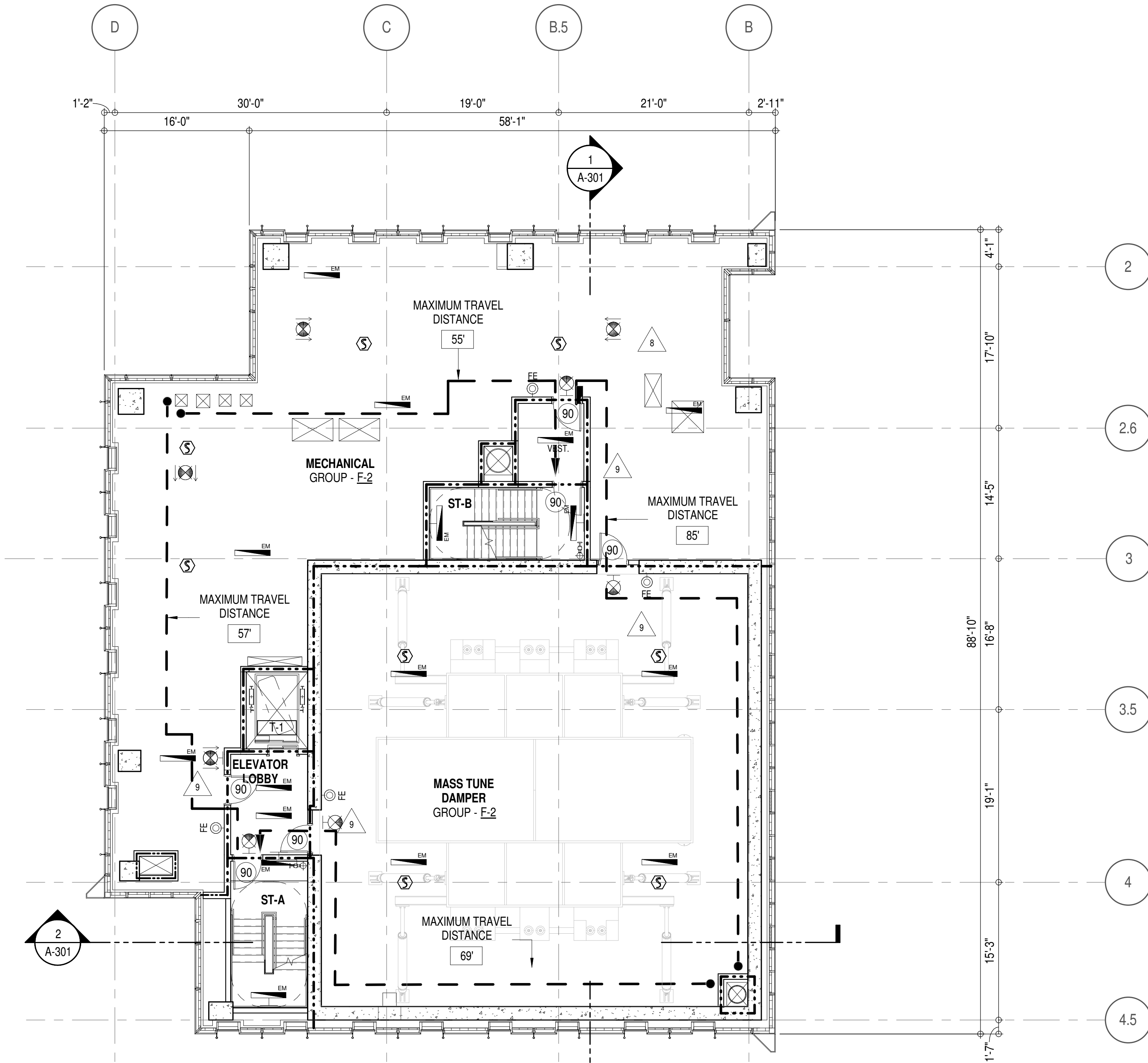
17

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (292)	TOTAL (16)
STAIR - A	44"	0.3	146	8
STAIR - B	44"	0.3	146	8

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (340)	TOTAL (16)
STAIR - A - DOOR	34"	0.2	170	8
STAIR - B - DOOR	34"	0.2	170	8

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.38"	26	51.69"
STAIR - B	9.5"	7.38"	26	51.69"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'



EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION
- - - - -	TWO HOUR RATED PARTITION
- . - . - .	THREE HOUR RATED PARTITION
-	FOUR HOUR RATED PARTITION
---	NON RATED SMOKE SEPARATION

---	COMMON TRAVEL DISTANCE
- . - . - .	DEAD END
---	MAXIMUM TRAVEL DISTANCE
- . - . - .	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

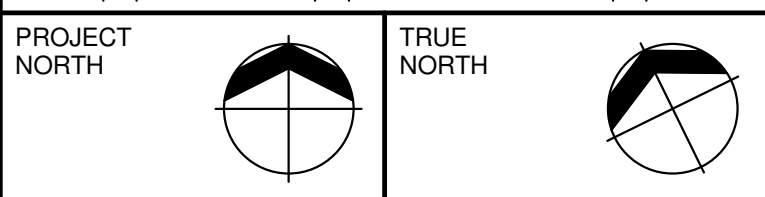
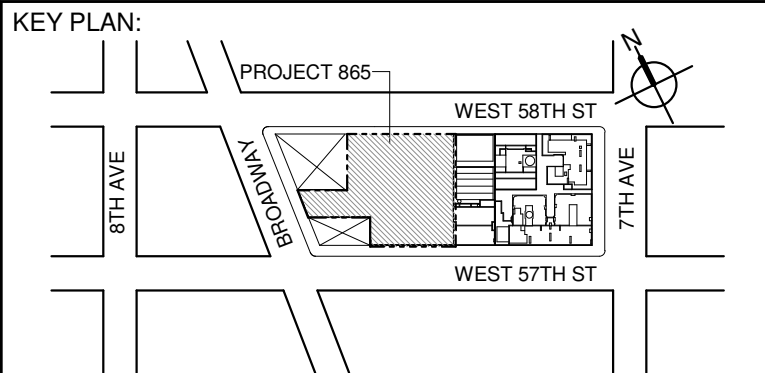
SYMBOLS LEGEND

	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
	ILLUMINATED EXIT SIGN

	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ARROW INDICATES DIRECTION)
	ILLUMINATED NO EXIT SIGN
	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)

	FIRE EXTINGUISHER CABINET
	SPRINKLER HEAD (REFER TO FP DRAWINGS)
	STANDPIPE
	SPRINKLER RISER
	SIAMESE CONNECTION

	SMOKE DETECTOR
	SMOKE / CARBON MONOXIDE DETECTOR
	CEILING MOUNTED EMERGENCY LIGHT
	WALL MOUNTED EMERGENCY LIGHT
	DOOR RATING (MINUTES)



DEVELOPER:
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805 THIRD AVENUE, 17TH FLOOR
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ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
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No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	08 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
96TH FLOOR PLAN
BUILDING CODE NOTES (DAMPER)
(MFD-134TH FLOOR)

SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	9
	DWG No:	A-077.01

DOB PAGE No: 91 of 164

DOB B-SCAN:

OCCUPANT LOADS SUMMARY 97TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2 (300)	2,647 SF	300 SF	9

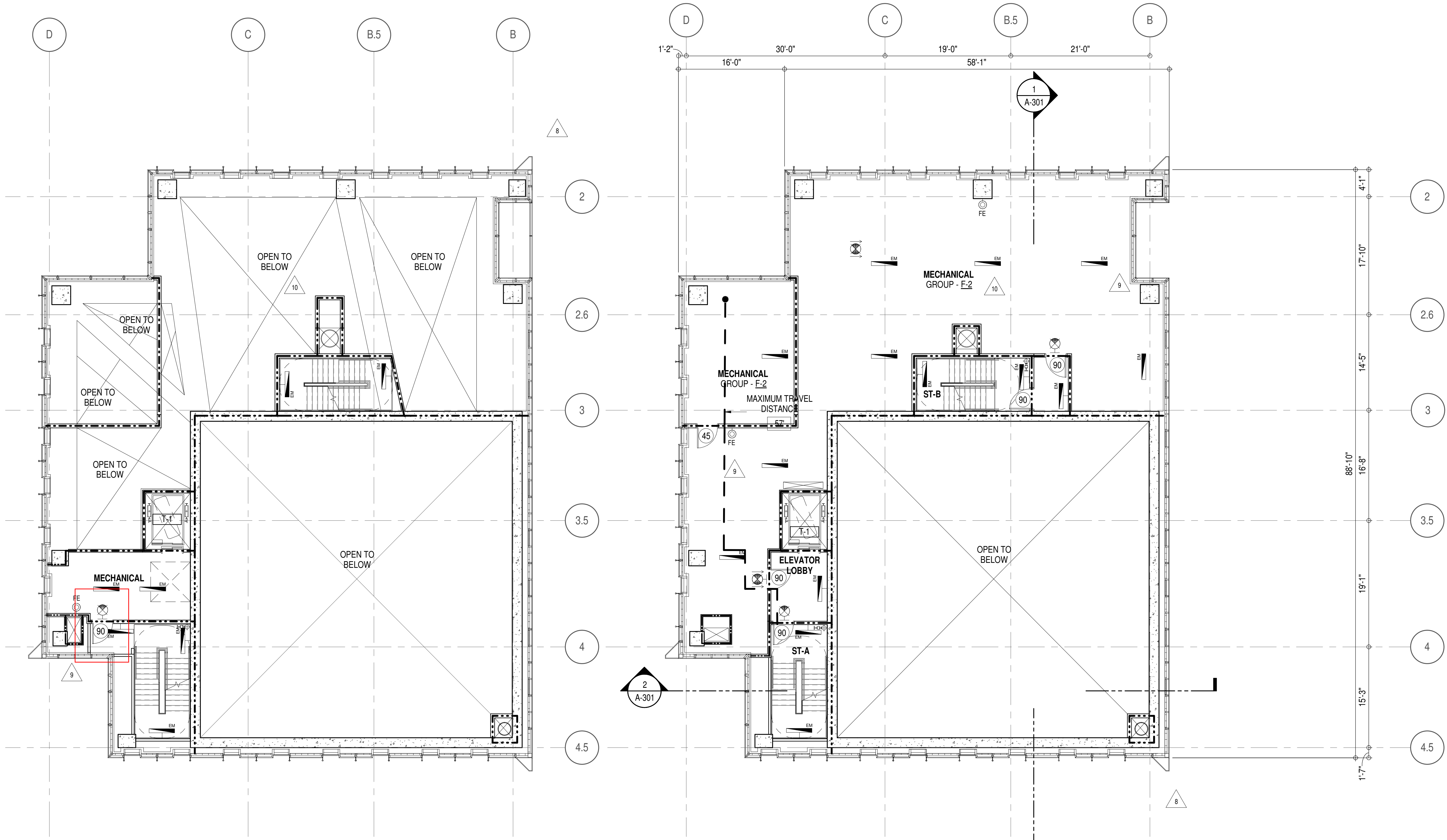
OCCUPANT LOADS SUMMARY 98TH FLOOR PLAN				
OCCUPANCY	OCCUPANCY GROUP	AREA	OCCUPANCY LOAD FACTOR	OCCUPANT LOAD
MECHANICAL	F-2 (300)	223 SF	300 SF	1

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY TOTAL (292)	STAIR LOAD TOTAL (10)
STAIR - A	44"	0.3	146	5
STAIR - B	44"	0.3	146	5

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY TOTAL (340)	DOOR LOAD TOTAL (10)
STAIR - A - DOOR	34"	0.2	170	5
STAIR - B - DOOR	34"	0.2	170	5

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.62"	54	82.50"
STAIR - B	9.5"	7.62"	54	88.81"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'



3 98TH FLOOR
A-301
1/8" = 1'-0"

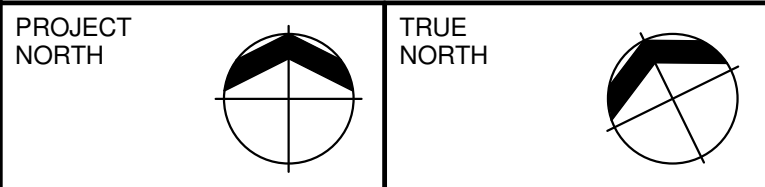
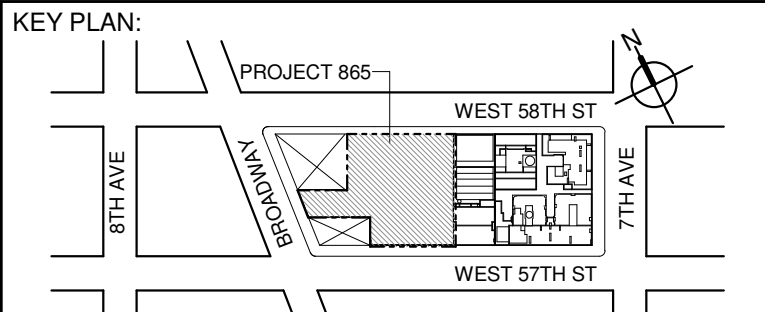
1 97TH FLOOR
A-301
1/8" = 1'-0"

EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION	---	COMMON TRAVEL DISTANCE
---	TWO HOUR RATED PARTITION	---	DEAD END
---	THREE HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE
---	FOUR HOUR RATED PARTITION	---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT
---	NON RATED SMOKE SEPARATION		

SYMBOLS LEGEND

⊙	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⊙	FIRE EXTINGUISHER CABINET	⊙	SMOKE DETECTOR
⊙	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⊙	SPRINKLER HEAD (REFER TO FP DRAWINGS)	⊙	SMOKE / CARBON MONOXIDE DETECTOR
⊙	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⊙	STANDPIPE	⊙	CEILING MOUNTED EMERGENCY LIGHT
⊙	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⊙	SPRINKLER RISER	⊙	WALL MOUNTED EMERGENCY LIGHT
⊙	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)	⊙	SIAMESE CONNECTION	⊙	DOOR RATING (MINUTES)
⊙	ILLUMINATED EXIT SIGN				
⊙	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)				
⊙	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)				



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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
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TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
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6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 7	14 SEP 16
13	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
97TH AND 98TH FLOOR PLANS
BUILDING CODE NOTES
(MECHANICAL) (MFD-135TH-136TH FLOOR)

SEAL & SIGNATURE: DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"

DWG No: **A-079.01**
DOB PAGE No: 82 of 154
DOB B-SCAN:

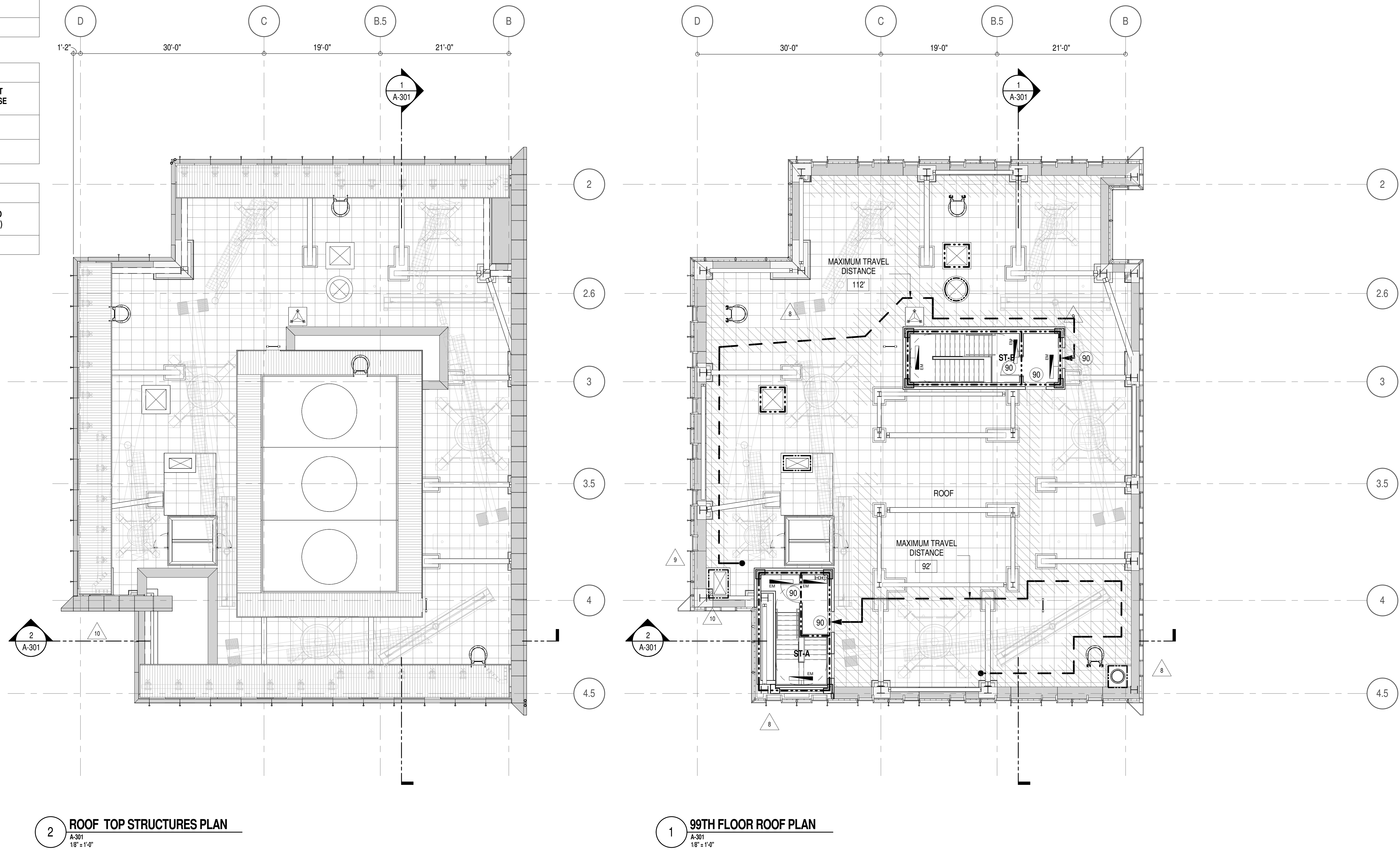
DOB EMPLOYEE STAMP: DOB B-SCAN:

EXIT STAIR SUMMARY - BC TABLE 1005.1				
STAIR DESIGNATION	STAIR WIDTH (N)	STAIRWAYS (INCHES PER OCCUPANT)	STAIR CAPACITY	STAIR LOAD
			TOTAL (232)	TOTAL (17)
STAIR - A	44"	0.3	146	8
STAIR - B	44"	0.3	146	9

EXIT SELF CLOSING DOOR SUMMARY - BC TABLE 1005.1				
DOOR DESIGNATION	DOOR CLEAR WIDTH (N)	DOORWAY (INCHES PER OCCUPANT)	DOOR CAPACITY	DOOR LOAD
			TOTAL (340)	TOTAL (17)
STAIR - A - DOOR	34"	0.2	170	8
STAIR - B - DOOR	34"	0.2	170	9

EXIT STAIR TREADS AND RISERS - BC TABLE 1009				
STAIR DESIGNATION	TREAD (IN)	RISER (IN)	NO. RISERS (FLOOR TO FLOOR)	MAX. FLIGHT VERTICAL RISE
STAIR - A	9.5"	7.75"	23	85.12"
STAIR - B	9.5"	7.75"	23	85.12"

LENGTH OF TRAVEL DISTANCE (WITH SPRINKLER SYSTEM)			
OCCUPANCY GROUP	MAX. TRAVEL DISTANCE (BC TABLE 1015.1)	COMMON PATH OF EGRESS TRAVEL (BC 1013.3)	DEAD END (BC 1016.3)
F-2	250'	100'	50'



2 ROOF TOP STRUCTURES PLAN
A-301
1/8" = 1'-0"

1 99TH FLOOR ROOF PLAN
A-301
1/8" = 1'-0"

EGRESS AND FIRE RATING LEGEND

---	ONE HOUR RATED PARTITION
- - -	TWO HOUR RATED PARTITION
- - - - -	THREE HOUR RATED PARTITION
- - - - - -	FOUR HOUR RATED PARTITION
---	NON RATED SMOKE SEPARATION

---	COMMON TRAVEL DISTANCE
---	DEAD END
---	MAXIMUM TRAVEL DISTANCE
---	MAXIMUM TRAVEL DISTANCE WITHIN DWELLING UNIT

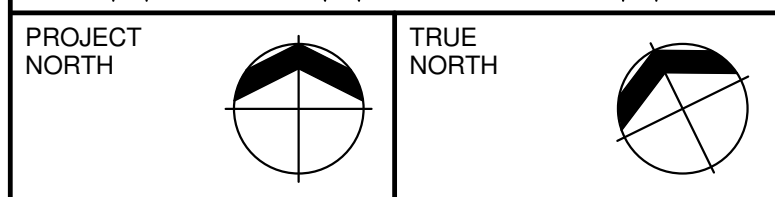
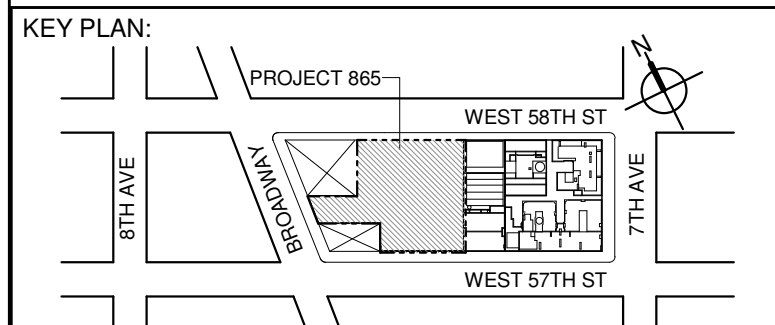
SYMBOLS LEGEND

⬤	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬤	ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬤	WALL MOUNTED ILLUMINATED EXIT SIGN (ARROW INDICATES DIRECTION)
⬤	ILLUMINATED EXIT SIGN

⬤	WALL MOUNTED ILLUMINATED NO EXIT SIGN
⬤	WALL MOUNTED ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)
⬤	ILLUMINATED NO EXIT SIGN
⬤	ILLUMINATED NO EXIT SIGN (ROOF ACCESS ONLY)

⬤	FEC FIRE EXTINGUISHER CABINET
⬤	SPRINKLER HEAD (REFER TO FP DRAWINGS)
⬤	STANDPIPE
⬤	SPRINKLER RISER
⬤	SIAMESE CONNECTION

⬤	SMOKE DETECTOR
⬤	SMOKE / CARBON MONOXIDE DETECTOR
⬤	CEILING MOUNTED EMERGENCY LIGHT
⬤	WALL MOUNTED EMERGENCY LIGHT
⬤	DOOR RATING (MINUTES)



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No.	DESCRIPTION:	DATE:
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
6	D.O.B. SUBMISSION	27 APR 15
7	CD PROGRESS ISSUE 4	01 JUN 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
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11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 7	14 SEP 16
13	D.O.B. AMENDMENT 3	03 OCT 16

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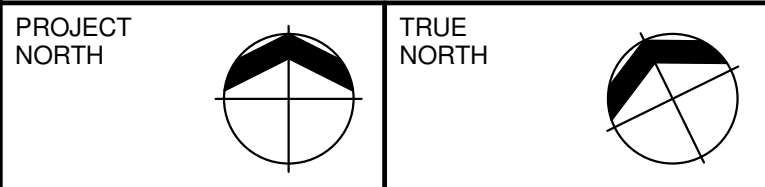
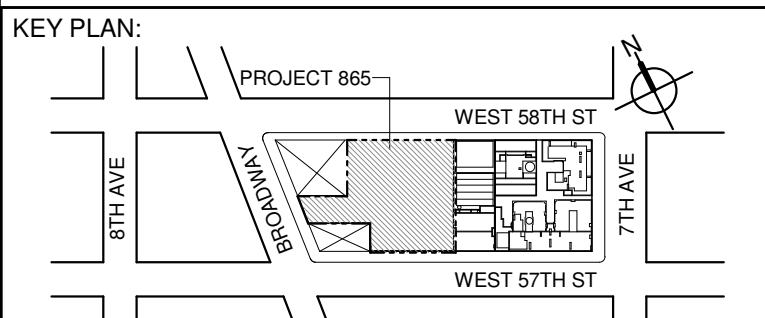
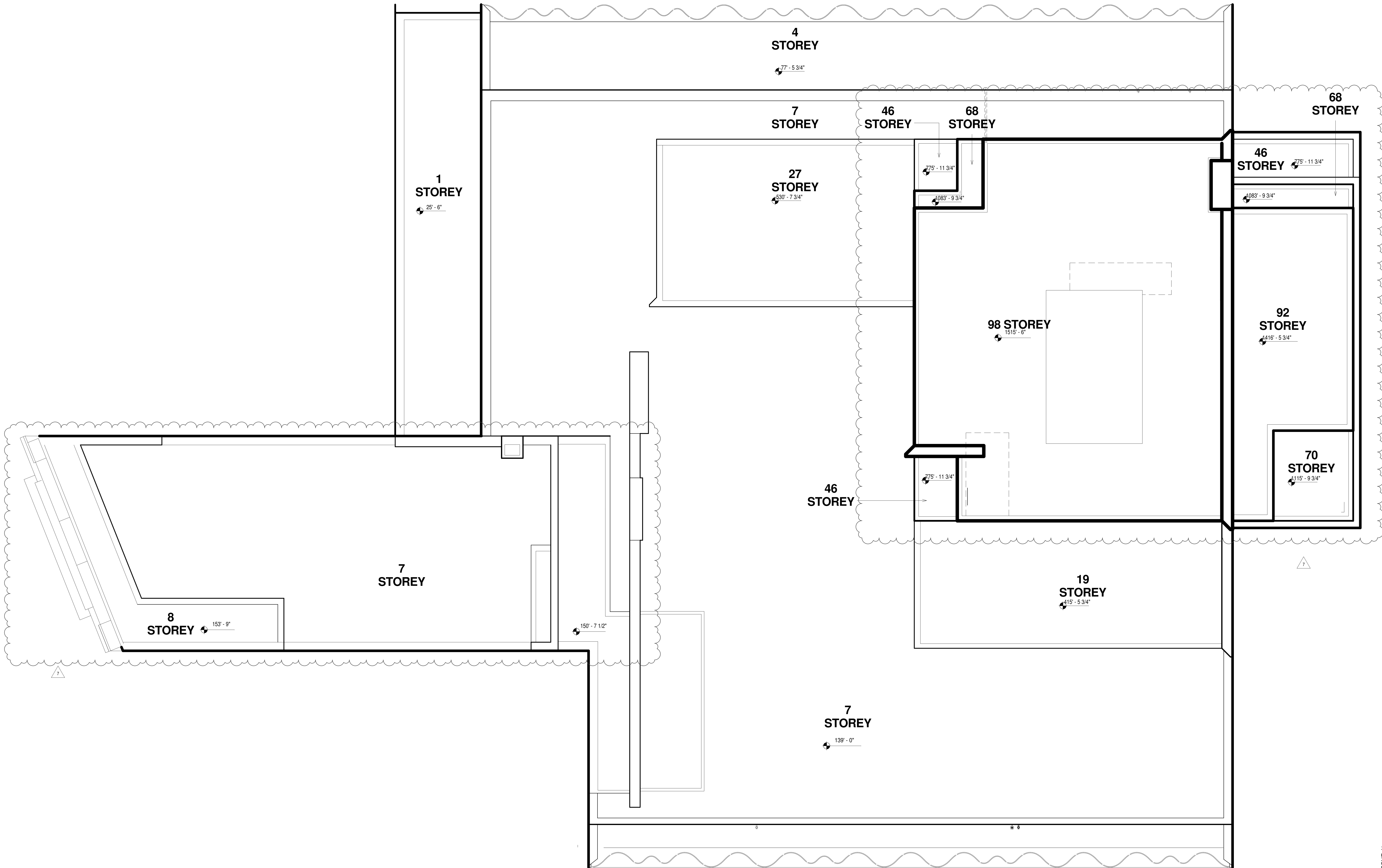
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
99TH FLOOR AND ROOF PLAN
BUILDING CODE NOTES (ROOF)
(MFD-137TH FLOOR)

SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	10
	DWG No:	A-080.01

DOB PAGE No: 83 of 164

DOB EMPLOYEE STAMP: DOB B-SCAN:



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
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111 WEST MONROE STREET SUITE 2300
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TEL: 212 687 9888 FAX: 646 487 5501

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D.O.B. SUBMISSION

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CONSULTANT:

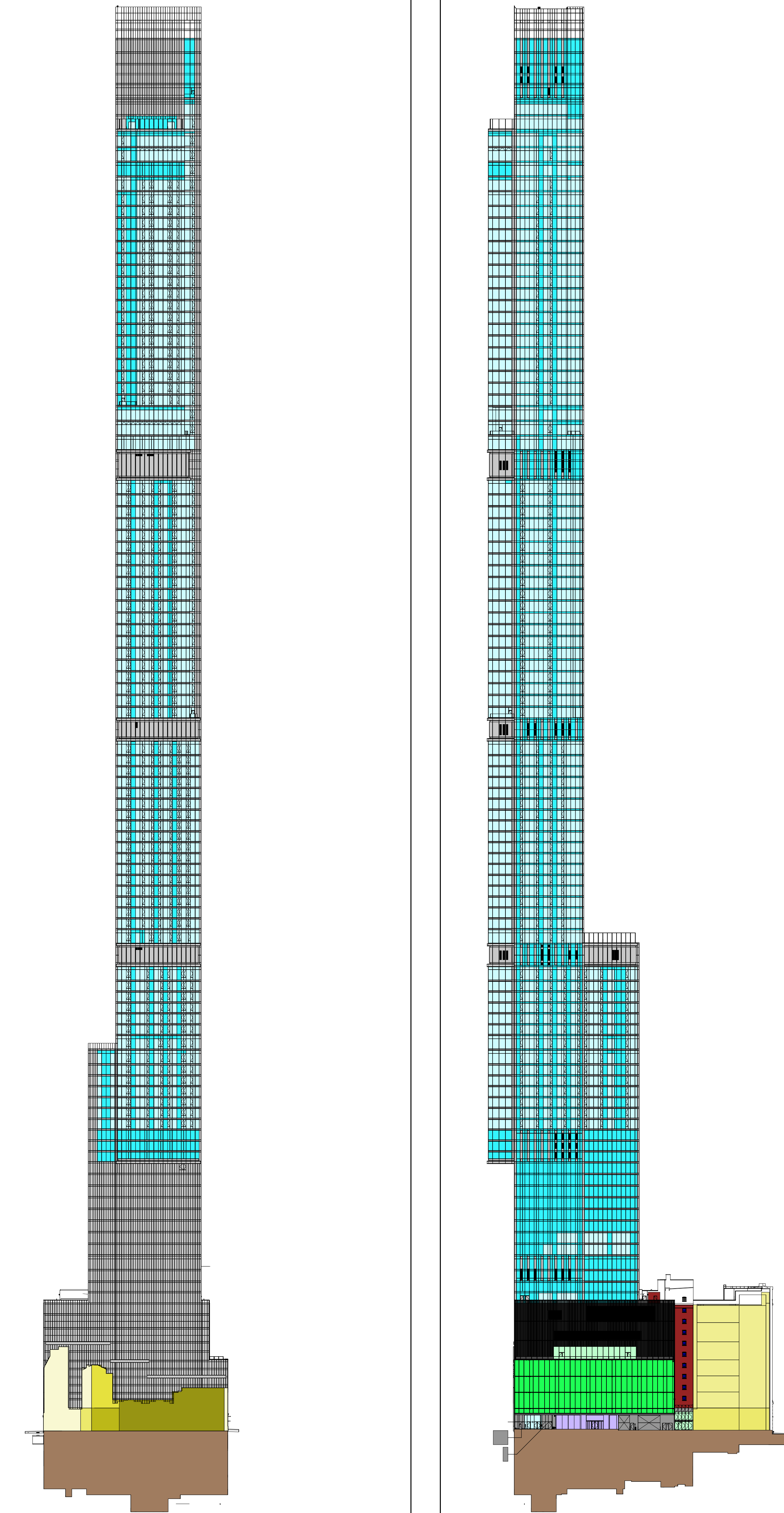


PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

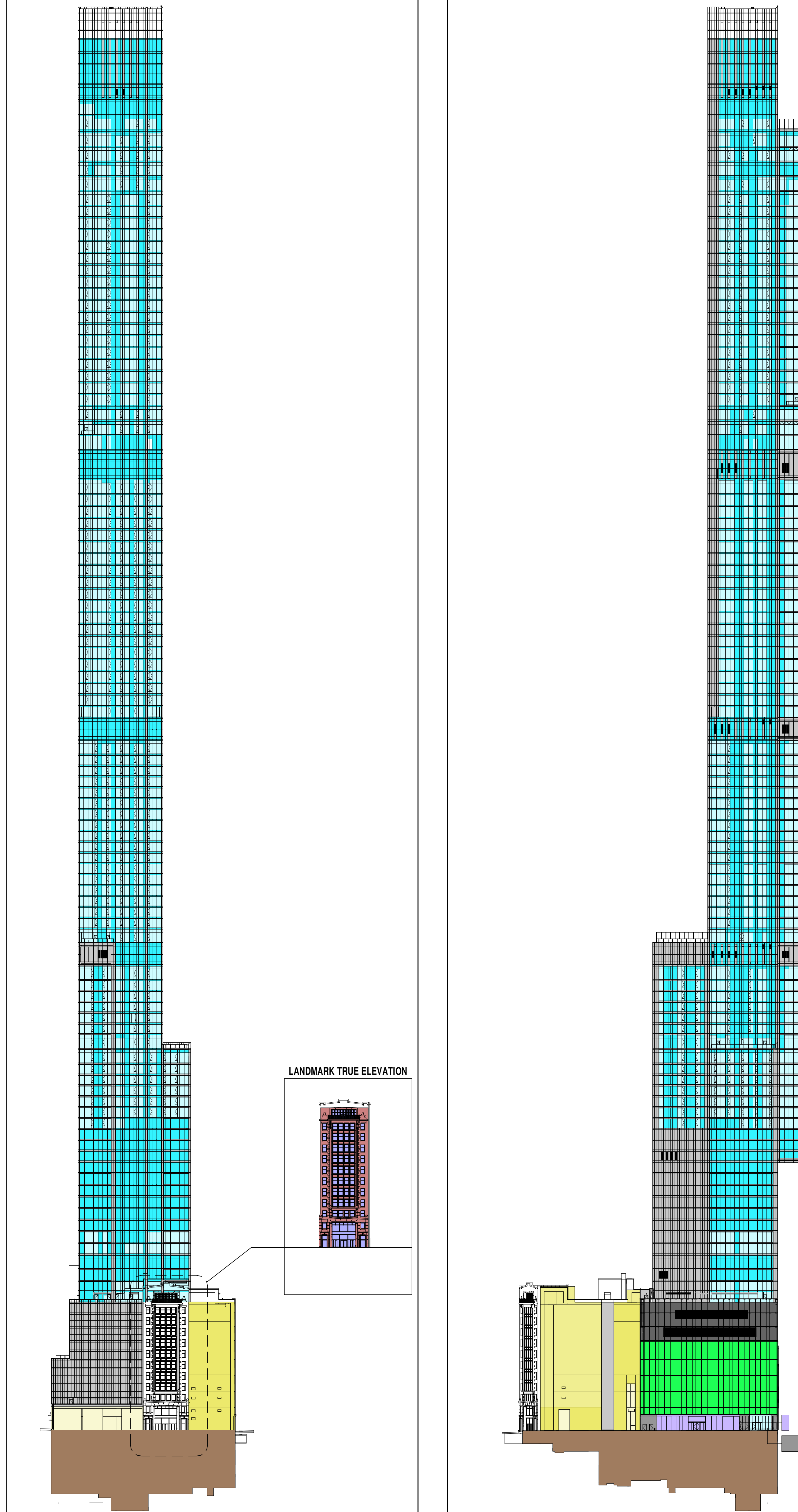
OVERALL ROOF PLAN

SEAL & SIGNATURE:	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHK: Checker	9
	SCALE: 1/8" = 1'-0"	
DWG No:	A-081.01	
DOB PAGE No:	86 of 154	
DOB EMPLOYEE STAMP:	DOB B-SCAN:	



5 EAST ELEVATION
1/8" = 1'0"

4 NORTH ELEVATION - WEST 56TH STREET
1/8" = 1'0"



3 WEST ELEVATION - BROADWAY
1/8" = 1'0"

2 SOUTH ELEVATION - WEST 57TH STREET
1/8" = 1'0"

BUILDING ENVELOPE - SOUTH ELEVATION				
ID	CONSTRUCTION MATERIAL	AREA TOTAL (SF)	% OF TOTAL	U-VALUE SHGC
A	GLAZING VISION (G.U.)	2407	11.1%	0.38 0.26
B	GLAZING SPANDREL (G.U.)	5947	28.3%	0.17 N/A
C	ARCHITECTURAL METAL PANEL (INSULATED)	22639	11.31%	0.05 N/A
D	PODIUM METAL PANEL (INSULATED)	862	0.40%	0.07 N/A
E	AIR WELL LOUVER (NON-ACTIVE)	875	0.40%	0.16 N/A
F	LOUVER (ACTIVE)	2355	1.10%	12.00 N/A
G	PODIUM CURVED LOUVER	0	0.00%	0.22 N/A
H	RETAL GLAZING VISION (CURVED)	13769	6.47%	0.55 0.35
J	RETAL GLAZING VISION (G.U.)	0	0.00%	0.31 0.60
K	RETAL GLAZING VISION (STORE FRONT)	1803	0.85%	0.95 0.85
L1	ADJACENT BUILDING WALL AREA (LOT LINE)	763	0.00%	0.35 N/A
L2	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.63 N/A
L3	ADJACENT BUILDING WALL AREA (LOT LINE)	8003	4.25%	0.43 N/A
L4	ADJACENT BUILDING WALL AREA (LOT LINE)	8003	4.25%	0.43 N/A
L5	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.27 N/A
L6	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.20 N/A
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.09 N/A
M	LANDMARK RECONSTRUCTION WALL AREA	0	0.00%	0.09 N/A
N	LANDMARK RECONSTRUCTION WINDOW AREA	0	0.00%	0.95 0.85
P	LANDMARK WALL AREA	0	0.00%	0.95 0.85
Q	LANDMARK WINDOW AREA	0	0.00%	0.95 0.85
TOTAL		200266	100.00%	
R	BELOW GRADE (WALLS 100% BELOW GRADE)	14254	24.42%	N/A N/A

BUILDING ENVELOPE - WEST ELEVATION				
ID	CONSTRUCTION MATERIAL	AREA TOTAL (SF)	% OF TOTAL	U-VALUE SHGC
A	GLAZING VISION (G.U.)	5094	25.00%	0.38 0.26
B	GLAZING SPANDREL (G.U.)	9246	45.70%	0.17 N/A
C	ARCHITECTURAL METAL PANEL (INSULATED)	22639	11.31%	0.05 N/A
D	PODIUM METAL PANEL (INSULATED)	0	0.00%	0.07 N/A
E	AIR WELL LOUVER (NON-ACTIVE)	0	0.00%	0.16 N/A
F	LOUVER (ACTIVE)	80	0.00%	12.00 N/A
G	PODIUM CURVED LOUVER	0	0.00%	0.22 N/A
H	RETAL GLAZING VISION (CURVED)	0	0.00%	0.55 0.35
J	RETAL GLAZING VISION (G.U.)	0	0.00%	0.31 0.60
K	RETAL GLAZING VISION (STORE FRONT)	0	0.00%	0.95 0.85
L1	ADJACENT BUILDING WALL AREA (LOT LINE)	2573	1.27%	0.35 N/A
L2	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.63 N/A
L3	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.43 N/A
L4	ADJACENT BUILDING WALL AREA (LOT LINE)	1534	0.75%	0.35 N/A
L5	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.27 N/A
L6	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.20 N/A
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.09 N/A
M	LANDMARK RECONSTRUCTION WALL AREA	0	0.00%	0.09 N/A
N	LANDMARK RECONSTRUCTION WINDOW AREA	0	0.00%	0.95 0.85
P	LANDMARK WALL AREA	1650	0.80%	0.95 0.85
Q	LANDMARK WINDOW AREA	3135	1.51%	0.95 0.85
TOTAL		163916	100.00%	
R	BELOW GRADE (WALLS 100% BELOW GRADE)	14400	24.87%	N/A N/A

BUILDING ENVELOPE - NORTH ELEVATION				
ID	CONSTRUCTION MATERIAL	AREA TOTAL (SF)	% OF TOTAL	U-VALUE SHGC
A	GLAZING VISION (G.U.)	8209	41.00%	0.38 0.26
B	GLAZING SPANDREL (G.U.)	9376	46.90%	0.17 N/A
C	ARCHITECTURAL METAL PANEL (INSULATED)	22639	11.31%	0.05 N/A
D	PODIUM METAL PANEL (INSULATED)	2094	1.03%	0.07 N/A
E	AIR WELL LOUVER (NON-ACTIVE)	0	0.00%	0.16 N/A
F	LOUVER (ACTIVE)	2340	1.16%	12.00 N/A
G	PODIUM CURVED LOUVER	7083	3.54%	0.22 N/A
H	RETAL GLAZING VISION (CURVED)	12003	5.95%	0.55 0.35
J	RETAL GLAZING VISION (G.U.)	1700	0.85%	0.31 0.60
K	RETAL GLAZING VISION (STORE FRONT)	1083	0.54%	0.95 0.85
L1	ADJACENT BUILDING WALL AREA (LOT LINE)	2573	1.27%	0.35 N/A
L2	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.63 N/A
L3	ADJACENT BUILDING WALL AREA (LOT LINE)	3480	1.73%	0.43 N/A
L4	ADJACENT BUILDING WALL AREA (LOT LINE)	1865	0.93%	0.35 N/A
L5	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.27 N/A
L6	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.20 N/A
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.09 N/A
M	LANDMARK RECONSTRUCTION WALL AREA	2287	1.14%	0.09 N/A
N	LANDMARK RECONSTRUCTION WINDOW AREA	97	0.00%	0.95 0.85
P	LANDMARK WALL AREA	0	0.00%	0.95 0.85
Q	LANDMARK WINDOW AREA	0	0.00%	0.95 0.85
TOTAL		200266	100.00%	
R	BELOW GRADE (WALLS 100% BELOW GRADE)	15048	25.83%	N/A N/A

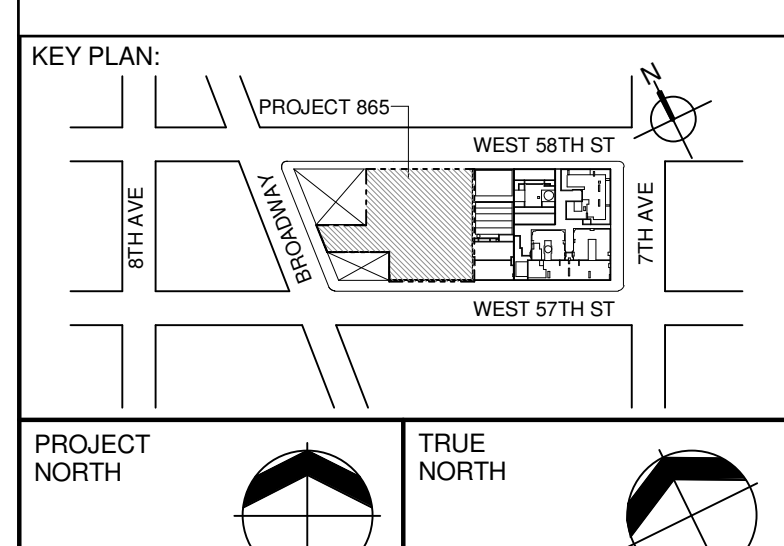
BUILDING ENVELOPE - EAST ELEVATION				
ID	CONSTRUCTION MATERIAL	AREA TOTAL (SF)	% OF TOTAL	U-VALUE SHGC
A	GLAZING VISION (G.U.)	6148	30.77%	0.38 0.26
B	GLAZING SPANDREL (G.U.)	20253	10.12%	0.17 N/A
C	ARCHITECTURAL METAL PANEL (INSULATED)	22639	11.31%	0.05 N/A
D	PODIUM METAL PANEL (INSULATED)	0	0.00%	0.07 N/A
E	AIR WELL LOUVER (NON-ACTIVE)	0	0.00%	0.16 N/A
F	LOUVER (ACTIVE)	49	0.00%	12.00 N/A
G	PODIUM CURVED LOUVER	0	0.00%	0.22 N/A
H	RETAL GLAZING VISION (CURVED)	0	0.00%	0.55 0.35
J	RETAL GLAZING VISION (G.U.)	0	0.00%	0.31 0.60
K	RETAL GLAZING VISION (STORE FRONT)	0	0.00%	0.95 0.85
L1	ADJACENT BUILDING WALL AREA (LOT LINE)	3311	1.65%	0.35 N/A
L2	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.63 N/A
L3	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.43 N/A
L4	ADJACENT BUILDING WALL AREA (LOT LINE)	299	0.15%	0.35 N/A
L5	ADJACENT BUILDING WALL AREA (LOT LINE)	1056	0.53%	0.27 N/A
L6	ADJACENT BUILDING WALL AREA (LOT LINE)	748	0.37%	0.20 N/A
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	499	0.25%	0.09 N/A
M	LANDMARK RECONSTRUCTION WALL AREA	0	0.00%	0.09 N/A
N	LANDMARK RECONSTRUCTION WINDOW AREA	0	0.00%	0.95 0.85
P	LANDMARK WALL AREA	0	0.00%	0.95 0.85
Q	LANDMARK WINDOW AREA	0	0.00%	0.95 0.85
TOTAL		162760	100.00%	
R	BELOW GRADE (WALLS 100% BELOW GRADE)	14400	24.87%	N/A N/A

BUILDING ENVELOPE SUMMARY CHART - GROSS WALL AREA				
ID	CONSTRUCTION MATERIAL	AREA TOTAL (SF)	% OF TOTAL	U-VALUE SHGC
A	GLAZING VISION (G.U.)	28012	16.87%	0.38 0.26
B	GLAZING SPANDREL (G.U.)	19713	12.73%	0.17 N/A
C	ARCHITECTURAL METAL PANEL (INSULATED)	16539	10.24%	0.05 N/A
D	PODIUM METAL PANEL (INSULATED)	2046	1.30%	0.07 N/A
E	AIR WELL LOUVER (NON-ACTIVE)	862	0.55%	0.16 N/A
F	LOUVER (ACTIVE)	534	0.34%	12.00 N/A
G	PODIUM CURVED LOUVER	7083	4.45%	0.22 N/A
H	RETAL GLAZING VISION (CURVED)	23769	14.84%	0.55 0.35
J	RETAL GLAZING VISION (G.U.)	1700	1.06%	0.31 0.60
K	RETAL GLAZING VISION (STORE FRONT)	2886	1.80%	0.95 0.85
L1	ADJACENT BUILDING WALL AREA (LOT LINE)	5601	3.44%	0.35 N/A
L2	ADJACENT BUILDING WALL AREA (LOT LINE)	0	0.00%	0.63 N/A
L3	ADJACENT BUILDING WALL AREA (LOT LINE)	17863	11.14%	0.43 N/A
L4	ADJACENT BUILDING WALL AREA (LOT LINE)	14371	8.91%	0.35 N/A
L5	ADJACENT BUILDING WALL AREA (LOT LINE)	1056	0.65%	0.27 N/A
L6	ADJACENT BUILDING WALL AREA (LOT LINE)	748	0.46%	0.20 N/A
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	499	0.31%	0.09 N/A
M	LANDMARK RECONSTRUCTION WALL AREA	2287	1.41%	0.09 N/A
N	LANDMARK RECONSTRUCTION WINDOW AREA	97	0.01%	0.95 0.85
P	LANDMARK WALL AREA	4935	3.05%	0.95 0.85
Q	LANDMARK WINDOW AREA	3135	1.93%	0.95 0.85
TOTAL		162760	100.00%	
R	BELOW GRADE (WALLS 100% BELOW GRADE)	58252	100.00%	N/A N/A

BUILDING ROOF, SOFFIT, AND SLAB ON GRADE SUMMARY CHART				
ID	CONSTRUCTION MATERIAL	AREA TOTAL (SF)	% OF TOTAL	U-VALUE SHGC
S	ROOF (RT-01 & RT-02)	4200	100.00%	0.04 N/A
T	SOFFIT (INSULATED)	4227	100.00%	0.00 N/A
U	SLAB ON GRADE	40704	100.00%	N/A N/A

BUILDING ENVELOPE DESIGN INTENT ASSEMBLIES		
ID	CONSTRUCTION MATERIAL	U-VALUE SHGC
A	GLAZING VISION (G.U.)	0.38 0.26
B	GLAZING SPANDREL (G.U.)	0.17 N/A
C	ARCHITECTURAL METAL PANEL (INSULATED)	0.05 N/A
D	PODIUM METAL PANEL (INSULATED)	0.07 N/A
E	AIR WELL LOUVER (NON-ACTIVE)	0.10 N/A
F	LOUVER (ACTIVE)	12.00 N/A
G	PODIUM CURVED LOUVER	0.22 N/A
H	RETAL GLAZING VISION (CURVED)	0.55 0.35
J	RETAL GLAZING VISION (G.U.)	0.31 0.60
K	RETAL GLAZING VISION (STORE FRONT)	0.95 0.85
L1	ADJACENT BUILDING WALL AREA (LOT LINE)	0.35 N/A
L2	ADJACENT BUILDING WALL AREA (LOT LINE)	0.63 N/A
L3	ADJACENT BUILDING WALL AREA (LOT LINE)	0.43 N/A
L4	ADJACENT BUILDING WALL AREA (LOT LINE)	0.35 N/A
L5	ADJACENT BUILDING WALL AREA (LOT LINE)	0.27 N/A
L6	ADJACENT BUILDING WALL AREA (LOT LINE)	0.20 N/A
J7	ADJACENT BUILDING WALL AREA (LOT LINE)	0.09 N/A
M	LANDMARK RECONSTRUCTION WALL AREA	0.09 N/A
N	LANDMARK RECONSTRUCTION WINDOW AREA	0.95 0.85
P	LANDMARK WALL AREA	0.95 0.85
Q	LANDMARK WINDOW AREA	0.95 0.85
R	BELOW GRADE (WALLS 100% BELOW GRADE)	N/A N/A
S	ROOF (RT-01 & RT-02)	0.04 N/A
T	SOFFIT (INSULATED)	0.00 N/A
U	SLAB ON GRADE (UNHEATED)	N/A N/A

AREA ID LEGEND	
A	GLAZING VISION (G.U.)
B	GLAZING SPANDREL (G.U.)
C	ARCHITECTURAL METAL PANEL (INSULATED)
D	PODIUM METAL PANEL (INSULATED)
E	AIR WELL LOUVER (NON-ACTIVE)
F	LOUVER (ACTIVE)
G	PODIUM CURVED LOUVER
H	RETAL GLAZING VISION (CURVED)
J	RETAL GLAZING VISION (G.U.)
K	RETAL GLAZING VISION (STORE FRONT)
L1	ADJACENT BUILDING WALL AREA (LOT LINE)
L2	ADJACENT BUILDING WALL AREA (LOT LINE)
L3	ADJACENT BUILDING WALL AREA (LOT LINE)
L4	ADJACENT BUILDING WALL AREA (LOT LINE)
L5	ADJACENT BUILDING WALL AREA (LOT LINE)
L6	ADJACENT BUILDING WALL AREA (LOT LINE)
J7	ADJACENT BUILDING WALL AREA (LOT LINE)
M	LANDMARK RECONSTRUCTION WALL AREA
N	LANDMARK RECONSTRUCTION WINDOW AREA
P	LANDMARK WALL AREA
Q	LANDMARK WINDOW AREA
R	BELOW GRADE (WALLS 100% BELOW GRADE)



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EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
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40 Worth Street, Suite 826
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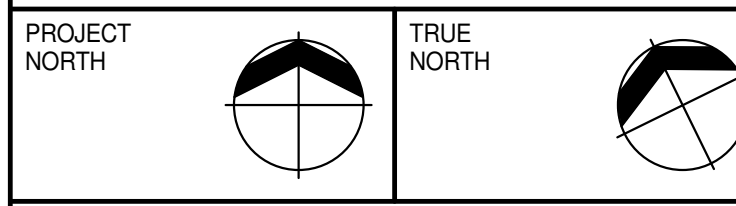
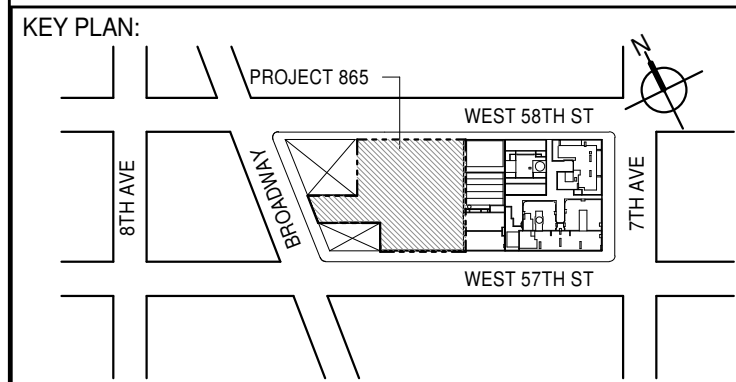
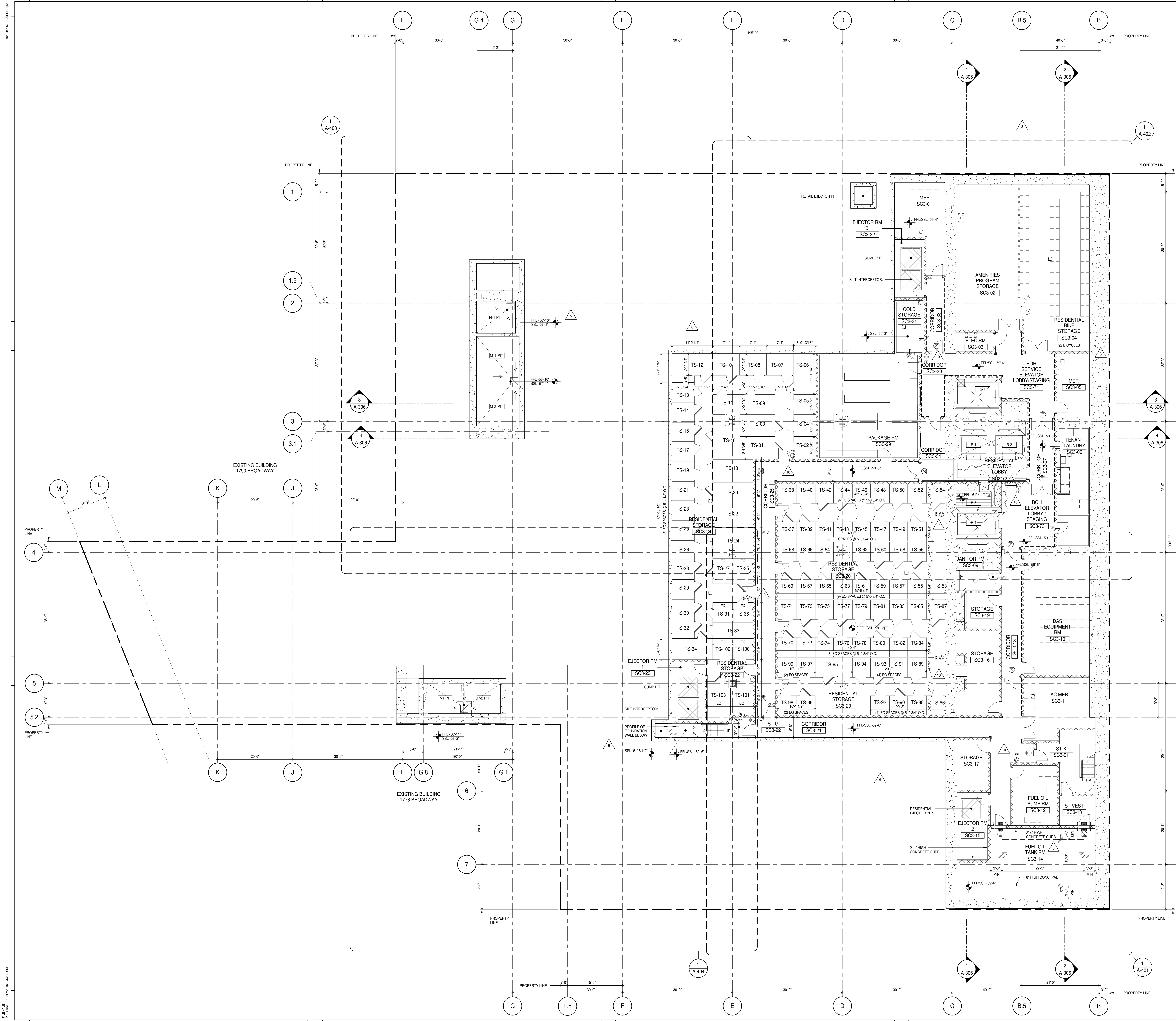
LANDMARK/PRESERVATION CONSULTANT:
Higgins Quasebarth & Partners LLC
11 Hanover Square, 16th Floor
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TEL: 212 274 9458 FAX: 646 274 9380

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
50 West 57th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	D.O.B. SUBMISSION	05 DEC 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 7	29 JAN 16
9	CD ISSUE 8 - GMP SET	31 MAR 16
10	D.O.B. AMENDMENT 3	03 OCT 16

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CONSULTANT:	
PROJECT:	
217 WEST 57TH STREET NEW YORK, NY	
DRAWING TITLE:	
ENERGY CONSERVATION CODE - ENVELOPE AREAS	

SEAL & SIGNATURE		DATE:
	DRAWN: Author	05 DEC 14
	CHECK: Checker	12/16/10
	SCALE: As indicated	8
	DWG No:	A-090.02
DOB EMPLOYEE STAMP:		DOB PAGE No: 85 of 164
		DOB S-CAN:



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
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Base Building Shell & Core
111 WEST MONROE STREET SUITE 2300
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INTERIOR DESIGNER: **Rotter Architecture and Design Studio, PLLC**
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MEP ENGINEERS: **AKF GROUP**
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TEL: 212 385 1918 FAX: 212 385 1911

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New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 37th Street, 12A
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TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD PROGRESS ISSUE 8 - GMP SET	29 JAN 16
12	CD BULLETIN ISSUE - 4	31 MAR 16
13	D.O.B. AMENDMENT 3	15 JUL 16
14		03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

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CONSULTANT: **AAI ARCHITECTS, P.C.**

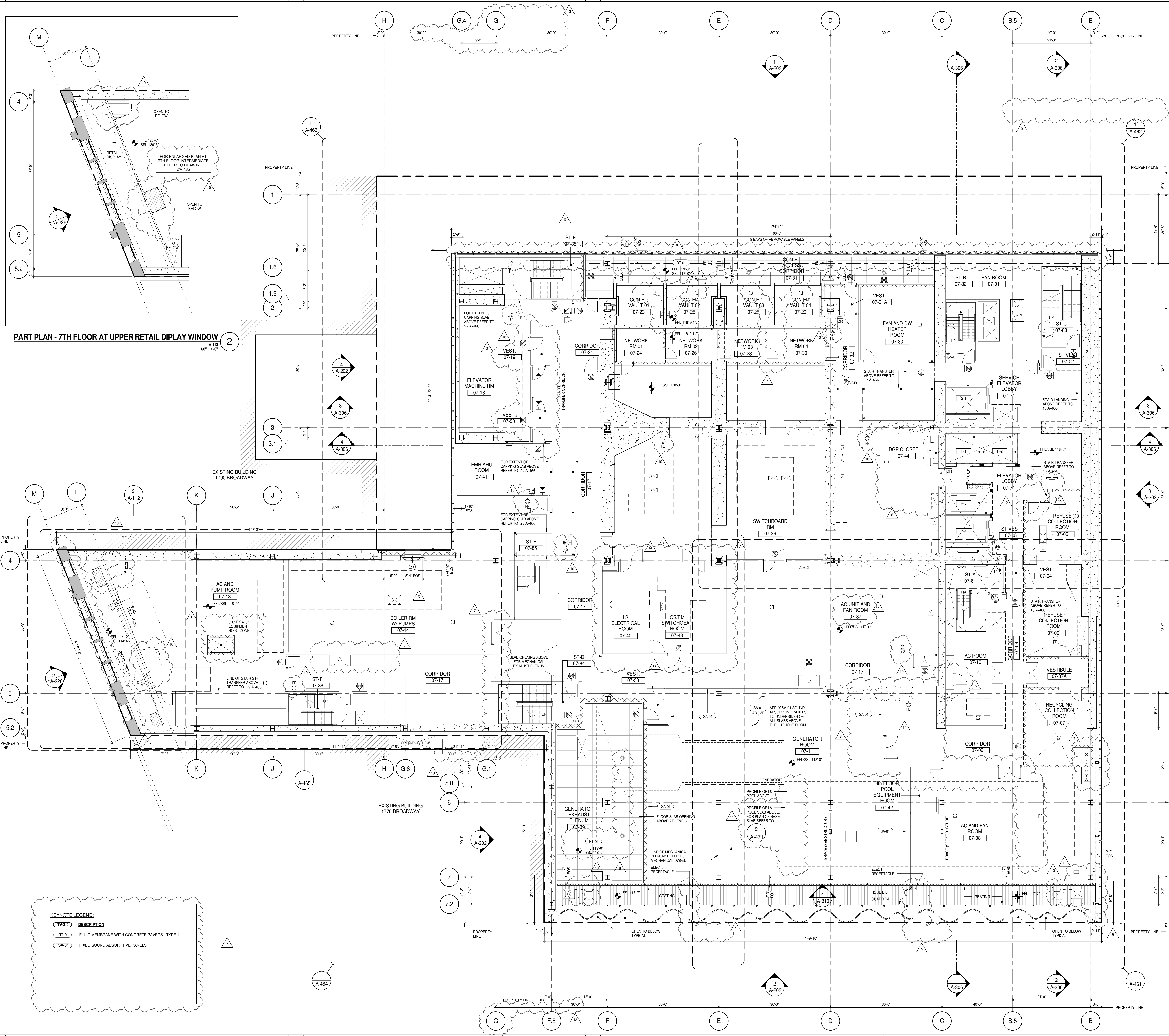
PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **SUB CELLAR 3 FLOOR PLAN (B.O.H. SUPPORT) (MFD-SUB CELLAR 3)**

SEAL & SIGNATURE:	DATE: 15 OCT 14
DRAWN: Author	PROJECT No: 1216-00
CHECKED: Checker	REV: 11
DWG No: A-101.02	SCALE: 1/8" = 1'-0"

DOB PAGE No: 86 of 454

DOB EMPLOYEE STAMP: DOB 5-SCAN:



PART PLAN - 7TH FLOOR AT UPPER RETAIL DIPLAY WINDOW
A-112
18" x 11" 2

KEYNOTE LEGEND:

TAB #	DESCRIPTION
RT-01	FLUID MEMBRANE WITH CONCRETE PAVERS - TYPE 1
SA-01	FIXED SOUND ABSORPTIVE PANELS

KEY PLAN:

PROJECT NORTH:

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
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AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
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INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave., 7th Floor
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No.	DESCRIPTION	DATE
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7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 1	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD ISSUE 8 - GMP SET	29 JAN 16
12	CD BULLETIN ISSUE - 1	31 MAR 16
13	CD BULLETIN ISSUE - 2	11 MAY 16
14	CD BULLETIN ISSUE - 3	18 MAY 16
15	CD BULLETIN ISSUE - 4	25 MAY 16
16	CD BULLETIN ISSUE - 5	15 JUL 16
17	CD BULLETIN ISSUE - 6	14 SEP 16
18	D.O.B. AMENDMENT 2	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

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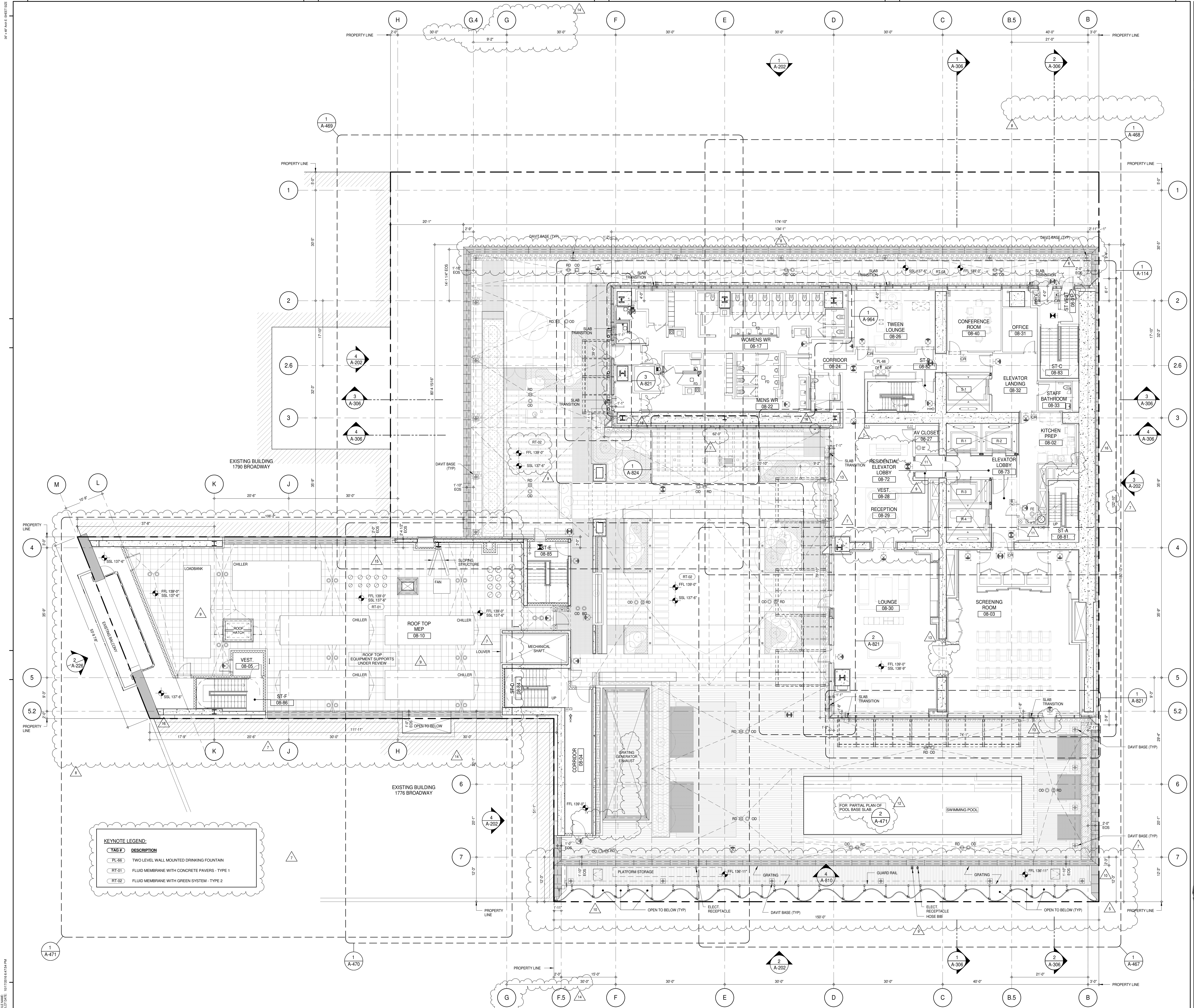
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CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
7TH FLOOR PLAN (MECHANICAL)
(MFD-7TH FLOOR)

SEAL & SIGNATURE:	DATE:
	15 OCT 14
	1216-00
PROJECT NO: 1216-00 DRAWN BY: Author CHECKED BY: Checker SCALE: 1/8" = 1'-0" DWG NO: A-112.02	REV: 16 DOB PAGE NO: 87 of 464 DOB 5-SCAN:



KEY PLAN:

PROJECT NORTH:

DEVELOPER: EXTREME DEVELOPMENT COMPANY
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7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 1	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD PROGRESS ISSUE 8	29 JAN 16
12	CD PROGRESS ISSUE 9	18 MAR 16
13	CD ISSUE 8 - GMP SET	31 MAR 16
14	CD BULLETIN ISSUE - 1	22 APR 16
15	CD BULLETIN ISSUE - 2	11 MAY 16
16	CD BULLETIN ISSUE - 3	18 MAY 16
17	CD BULLETIN ISSUE - 4	25 MAY 16
18	CD BULLETIN ISSUE - 5	12 AUG 16
19	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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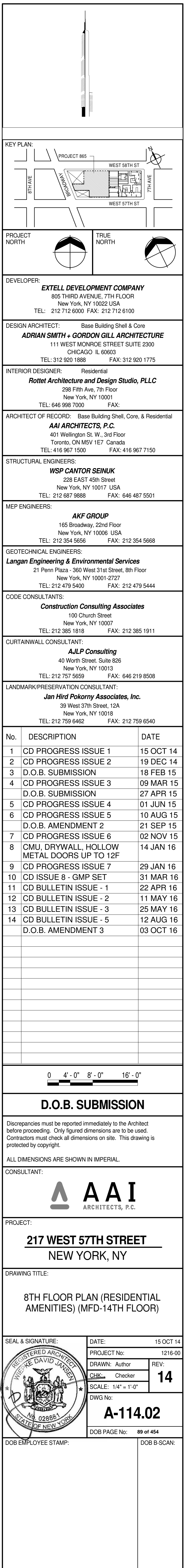
AAI ARCHITECTS, P.C.

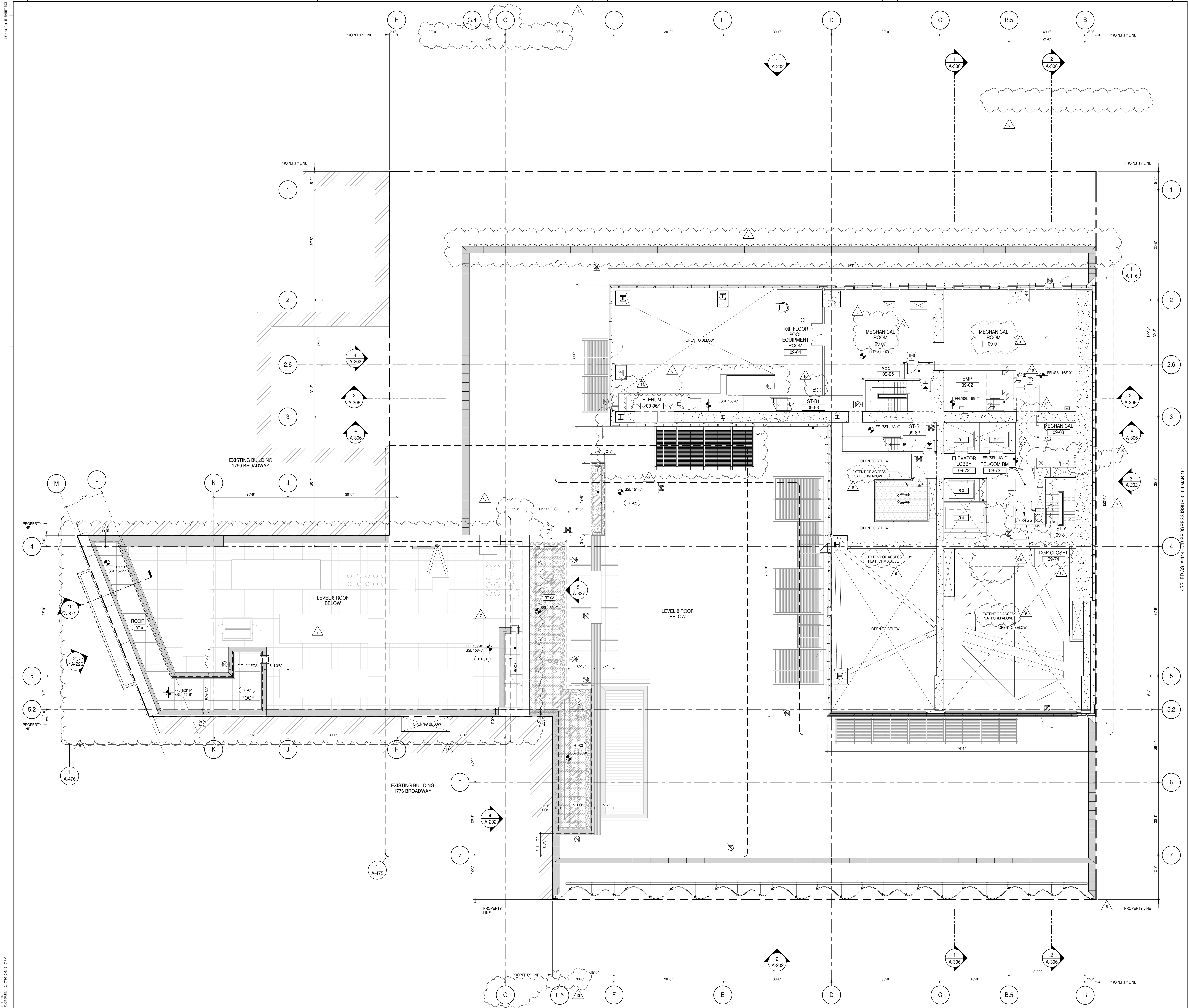
PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE: 8TH FLOOR PLAN (RESIDENTIAL AMENITIES) (MFD-14TH FLOOR)

SEAL & SIGNATURE:

DATE: 15 OCT 14
PROJECT NO: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"
DWG NO: A-113.02
DOB PAGE NO: 88 of 164
DOB 5-SCAN:





KEY PLAN:

PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rottet Architecture and Design Studio, PLLC
 238 FIFTH AVE, 7TH FLOOR
 NEW YORK, NY 10001
 TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD:

Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
 401 WEST 9TH ST, 3RD FLOOR
 TORONTO, ON M5V 1E7 CANADA
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:

VSP CANTOR SEINUK
 228 EAST 45TH STREET
 NEW YORK, NY 10017 USA
 TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
 105 BROADWAY, 22ND FLOOR
 NEW YORK, NY 10006 USA
 TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services
 21 Penn Plaza - 360 West 51st Street, 9th Floor
 New York, NY 10001-2727
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates
 100 Church Street
 New York, NY 10007
 TEL: 212 385 1912 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

AJLP Consulting
 40 Worth Street, Suite 806
 New York, NY 10013
 TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
 39 West 57th Street, 12A
 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT - 1	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 2	11 MAY 16
14	CD BULLETIN ISSUE - 3	25 MAY 16
15	CD BULLETIN ISSUE - 7	14 SEP 16
16	D.O.B. AMENDMENT 3	03 OCT 16

ISSUED AS A-114 CD PROGRESS ISSUE 5 - 09 MAR 15

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AAI
 ARCHITECTS, P.C.

PROJECT:

**217 WEST 57TH STREET
 NEW YORK, NY**

DRAWING TITLE:

**9TH FLOOR PLAN (MECHANICAL)
 (MFD-15TH FLOOR)**

SEAL & SIGNATURE:

DATE:

15 OCT 14

PROJECT No:

1216-00

DRAWN: Author

CHECKED: Checker

SCALE: 1/8" = 1'-0"

DWG No:

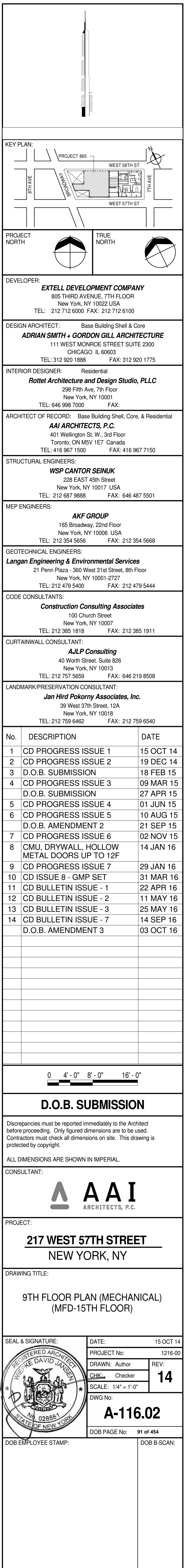
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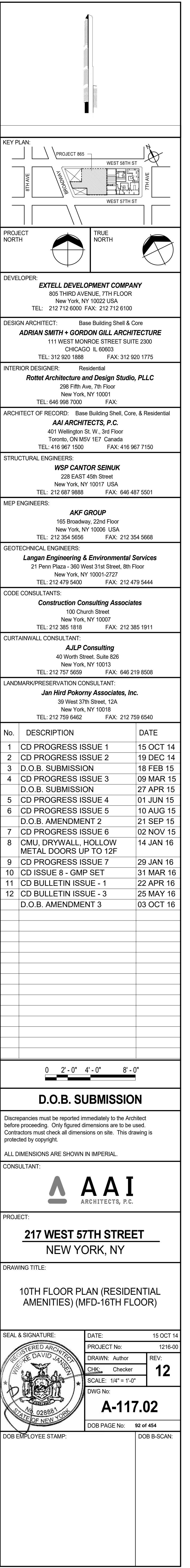
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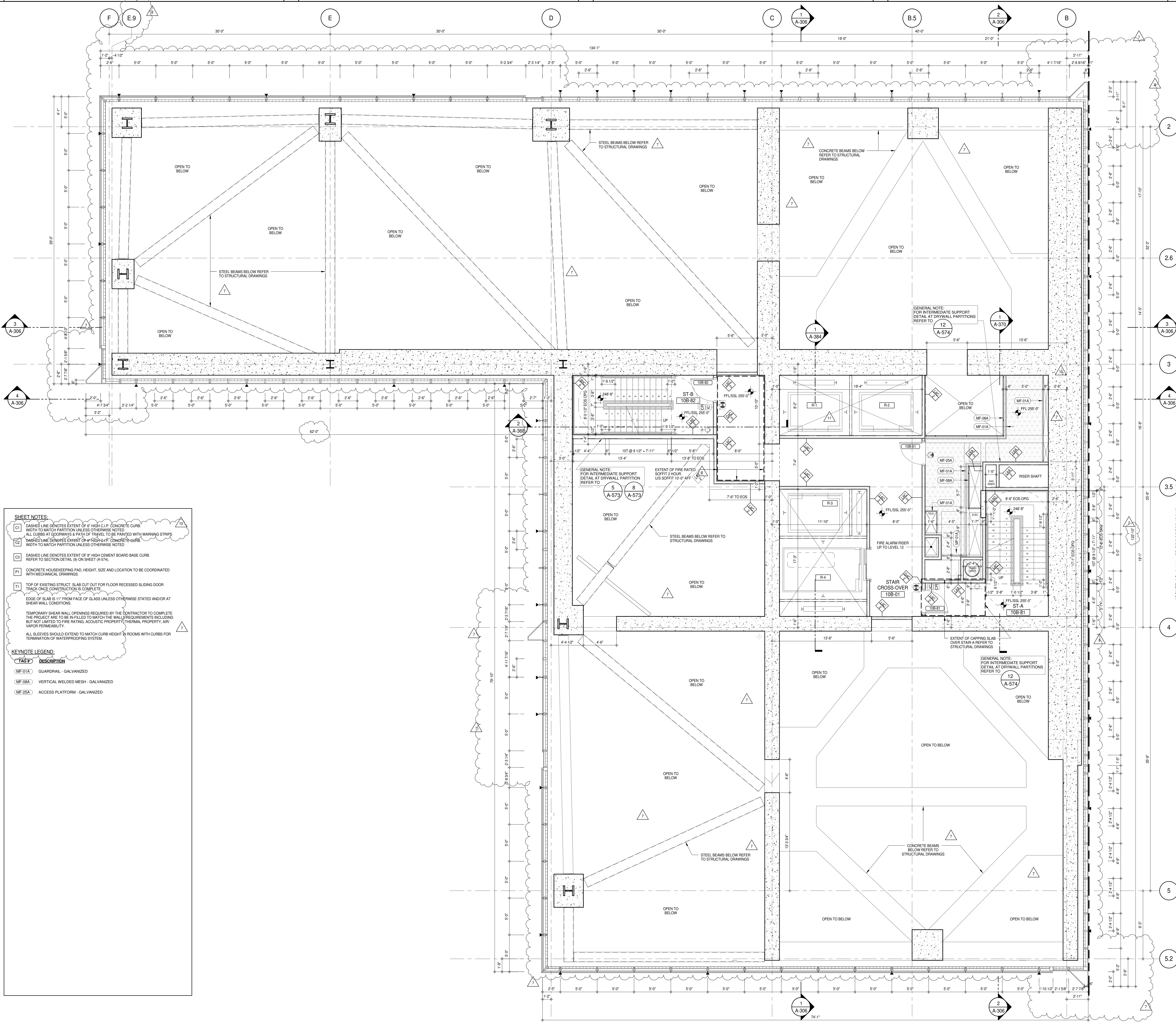
99 of 154

DOB EMPLOYEE STAMP:

DOB 5-SCAN:







SHEET NOTES:

1. DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

2. ALL CURBS AT DOORWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

3. DASHED LINE DENOTES EXTENT OF 8" HIGH C.I.P. CONCRETE CURB WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

4. DASHED LINE DENOTES EXTENT OF 8" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (S) ON SHEET (A-574).

5. CONCRETE HOUSEKEEPING PAD, HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

6. TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

7. EDGE OF SLAB IS 1" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

8. TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE INFILLED TO MATCH THE WALL REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

9. ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

MF-01A GUARDRAIL - GALVANIZED

MF-08A VERTICAL WELDED MESH - GALVANIZED

MF-25A ACCESS PLATFORM - GALVANIZED

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rotter Architecture and Design Studio, PLLC**
238 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
401 Wellington St. W., 2nd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **VSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 360 West 57th Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD ISSUE 8 - GMP SET	29 JAN 16
12	CD BULLETIN ISSUE - 1	31 MAR 16
13	D.O.B. AMENDMENT 3	22 APR 16
14		03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

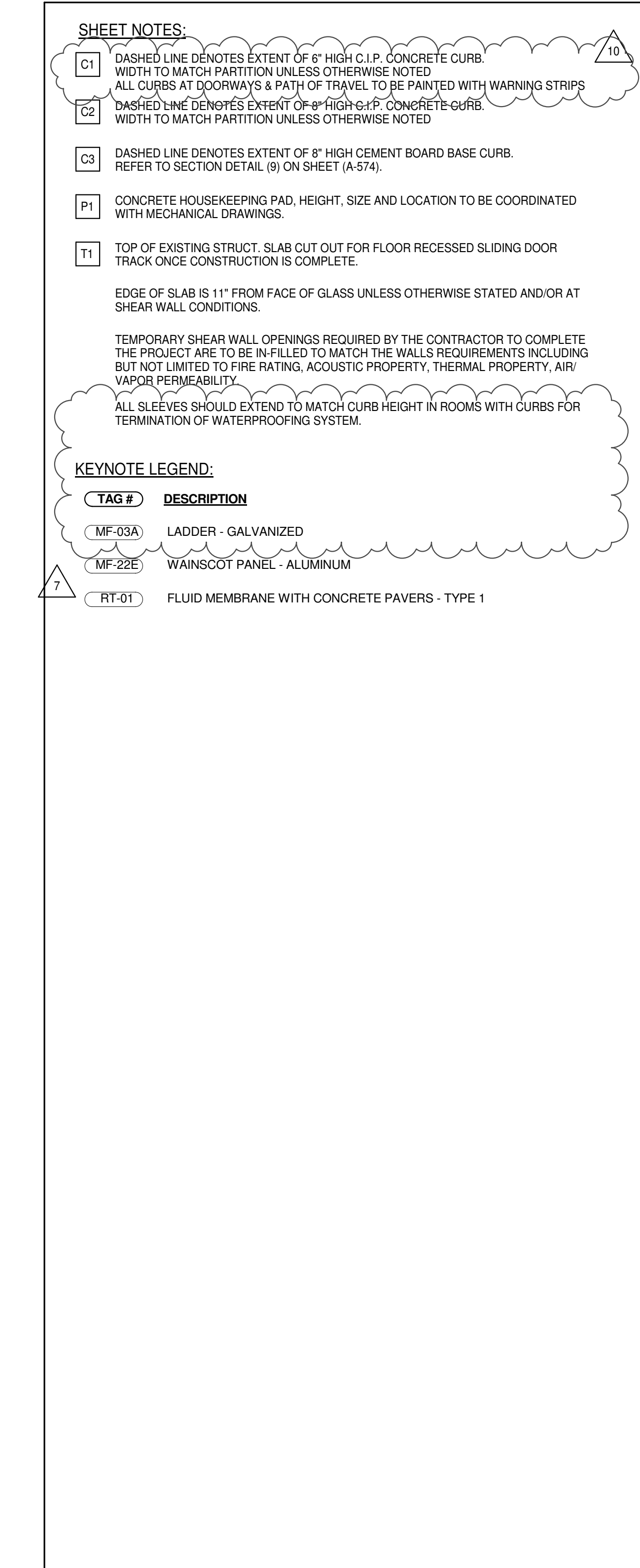
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

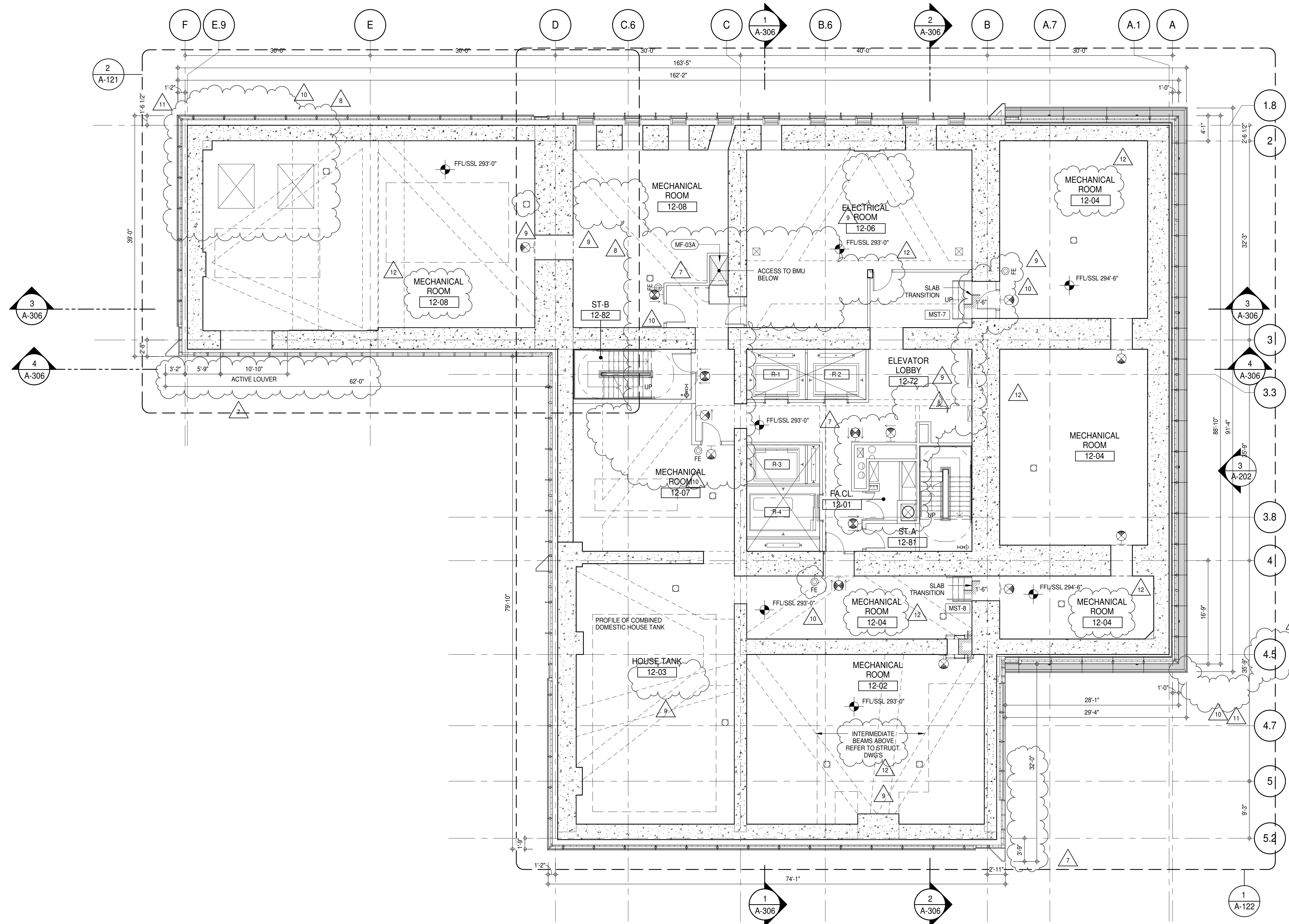
PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **10TH FLOOR INTERMEDIATE 2 PLAN
(MFD-18TH FLOOR)**

SEAL & SIGNATURE: **DAVID L. LEE**
DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/4" = 1'-0"
DWG No: **A-119.02**
DOB PAGE No: 94 of 154
DOB EMPLOYEE STAMP: DOB 5-SCAN:



<p>PROJECT NORTH </p> <p>TRUE NORTH </p>		
<p>DEVELOPER: EXTLE DEVELOPMENT COMPANY 805 THIRD AVENUE, 7TH FLOOR NEW YORK, NY 10022 USA TEL: 212 732 6000 FAX: 212 732 6100</p>		
<p>DESIGN ARCHITECT: Base Building Shell & Core ADRIAN SMITH + GORDON GILL ARCHITECTURE 111 WEST MONROE STREET SUITE 2300 CHICAGO, IL 60603 TEL: 312 920 1888 FAX: 312 920 1775</p>		
<p>INTERIOR DESIGNER: Residential Rotet Architecture and Design Studio, PLLC 298 Fifth Ave, 7th Floor New York, NY 10001 TEL: 646 998 7000 FAX:</p>		
<p>ARCHITECT OF RECORD: Base Building Shell, Core, & Residential AAI ARCHITECTS, P.C. 401 Wellington St. W., 3rd Floor Toronto, ON M5V 1E7 Canada TEL: 416 967 1500 FAX: 416 967 7150</p>		
<p>STRUCTURAL ENGINEERS: WSP CANTOR SENUK 229 East 45th Street New York, NY 10017 USA TEL: 212 697 9888 FAX: 646 487 5501</p>		
<p>MEP ENGINEERS: AKF GROUP 165 Broadway, 22nd Floor New York, NY 10006 USA TEL: 212 354 5656 FAX: 212 354 5668</p>		
<p>GEOTECHNICAL ENGINEERS: Langan Engineering & Environmental Services 21 Penn Plaza - 360 West 31st Street, 8th Floor New York, NY 10001-2727 TEL: 212 479 5400 FAX: 212 479 5444</p>		
<p>CODE CONSULTANTS: Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1818 FAX: 212 385 1911</p>		
<p>CURTAINWALL CONSULTANT: AJP Consulting 40 Worth Street, Suite 826 New York, NY 10013 TEL: 212 757 5859 FAX: 646 219 8508</p>		
<p>LANDMARK/PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc. 39 West 37th Street, 12A New York, NY 10018 TEL: 212 759 6462 FAX: 212 759 6540</p>		
No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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3	CD PROGRESS ISSUE 3	18 FEB 15
4	D.O.B. SUBMISSION	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	D.O.B. PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	D.O.B. PROGRESS ISSUE 6	02 NOV 15
10	CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
11	D.O.B. PROGRESS ISSUE 7	29 JAN 16
12	D.O.B. ISSUE 8 - GMP SET	31 MAR 16
13	D.O.B. BULLETIN ISSUE - 1	22 APR 16
14	D.O.B. BULLETIN ISSUE - 3	25 MAY 16
15	D.O.B. BULLETIN ISSUE - 7	14 SEP 16
16	D.O.B. AMENDMENT 3	03 OCT 16
<p>0 2'-0" 4'-0" 8'-0"</p>		
<p>D.O.B. SUBMISSION</p>		
<p>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.</p>		
<p>ALL DIMENSIONS ARE SHOWN IN IMPERIAL.</p>		
<p>CONSULTANT:</p> <div style="text-align: center;"> <p>AAI ARCHITECTS, P.C.</p> </div>		
<p>PROJECT:</p> <p style="text-align: center; border: 1px solid black; padding: 5px;"> 217 WEST 57TH STREET NEW YORK, NY </p>		
<p>DRAWING TITLE:</p> <p style="text-align: center; border: 1px solid black; padding: 5px;"> 11TH FLOOR BMU PLAN (MFD-19TH FLOOR) </p>		
<p>SEAL & SIGNATURE:</p> <div style="border: 1px solid black; padding: 5px; text-align: center;"> </div>	<p>DATE: 15 OCT 14</p> <p>PROJECT NO: 1215-00</p> <p>DRAWN: <i>Author</i></p> <p>CHECKED: <i>Author</i></p> <p>DWG NO: 114" = 1'-0"</p> <p style="font-size: 2em; font-weight: bold; text-align: center;">A-120.02</p> <p>DOB PAGE NO: 95 of 454</p>	<p>REV:</p> <p style="font-size: 2em; font-weight: bold; text-align: center;">13</p>
<p>DOB EMPLOYEE STAMP:</p> <div style="display: flex; justify-content: space-between;"> <div style="width: 45%; border: 1px solid black; height: 40px;"></div> <div style="width: 45%; border: 1px solid black; height: 40px;"></div> </div>		



SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C2 ALL CURBS AT DOORWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

C3 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

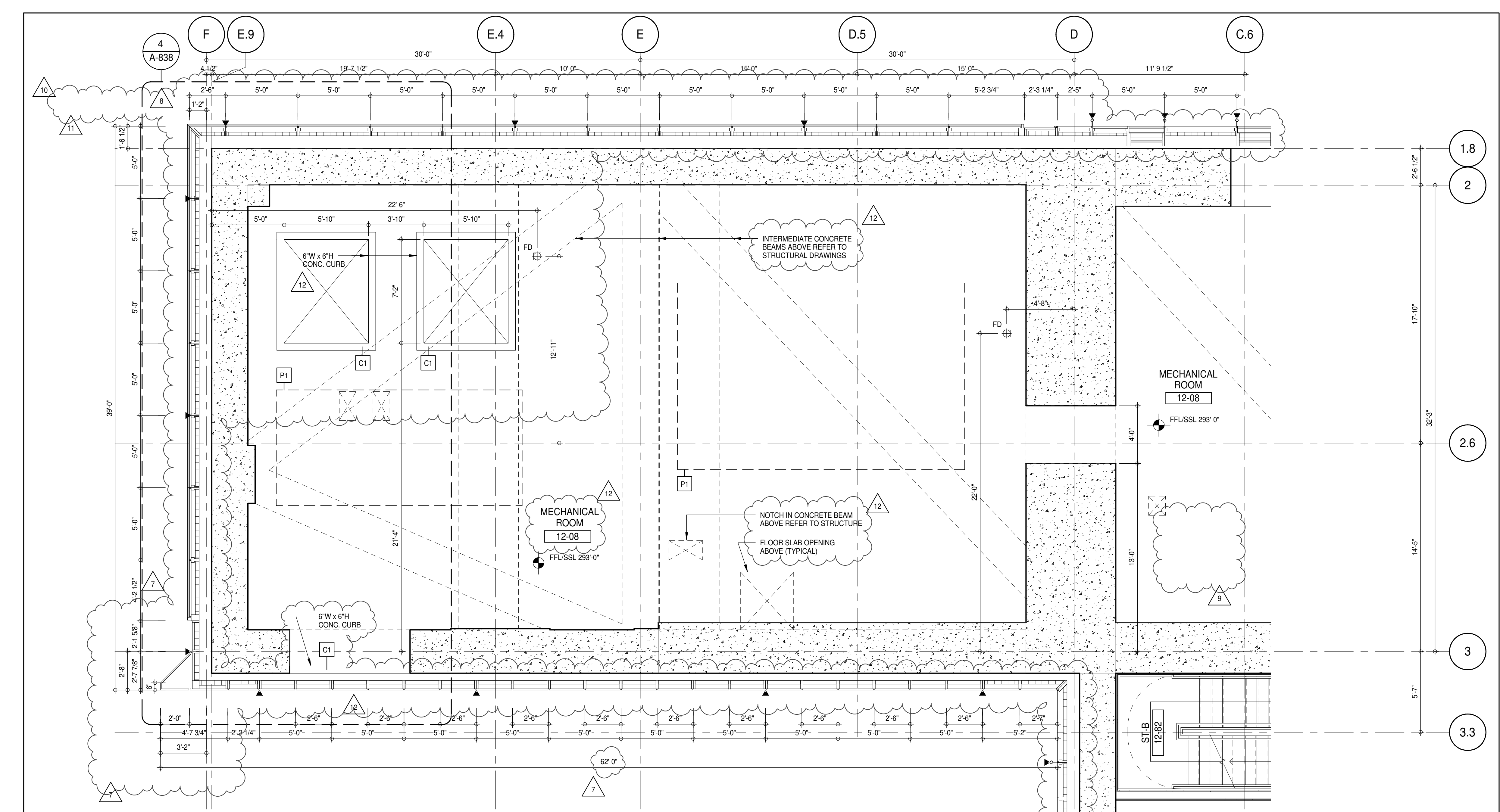
TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG # DESCRIPTION

MF-03A LADDER - GALVANIZED



12TH FLOOR PLAN - PARTIAL
A-121
14" x 11"

KEY PLAN:

PROJECT: 217 WEST 57TH STREET, NEW YORK, NY

DEVELOPER: EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Westchester St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza, 360 West 57th Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1912 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	14 JAN 16
11	CD ISSUE 8 - GMP SET	29 JAN 16
12	CD BULLETIN ISSUE - 3	31 MAR 16
13	CD BULLETIN ISSUE - 7	25 MAY 16
14	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

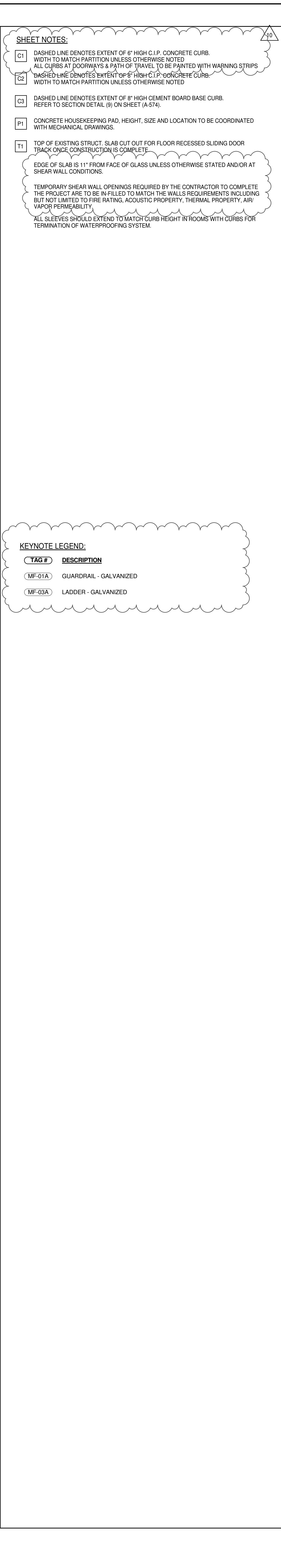
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

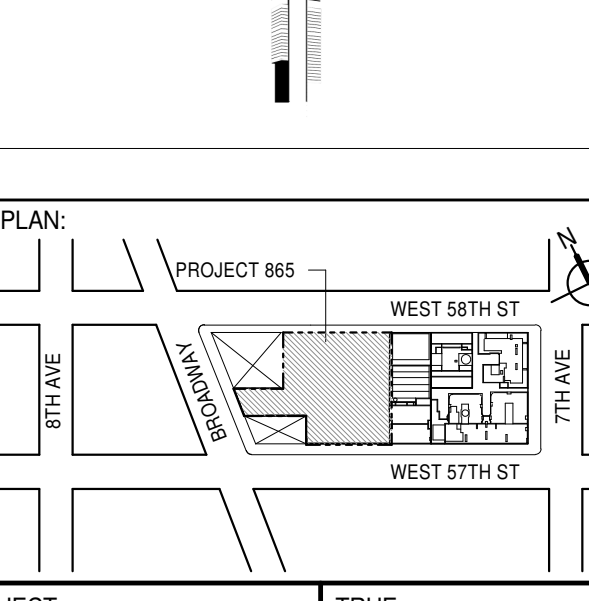
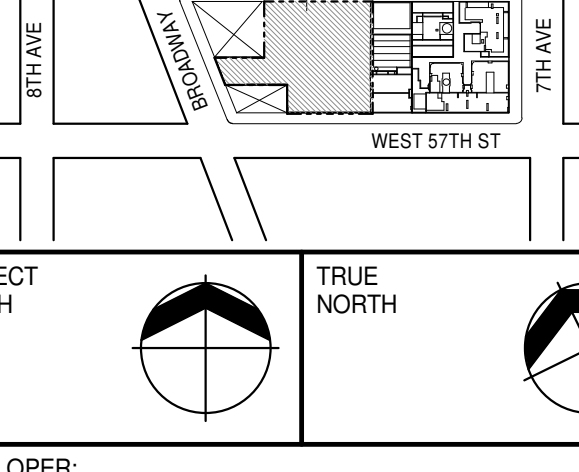




CONSULTANT: **AAI ARCHITECTS, P.C.**

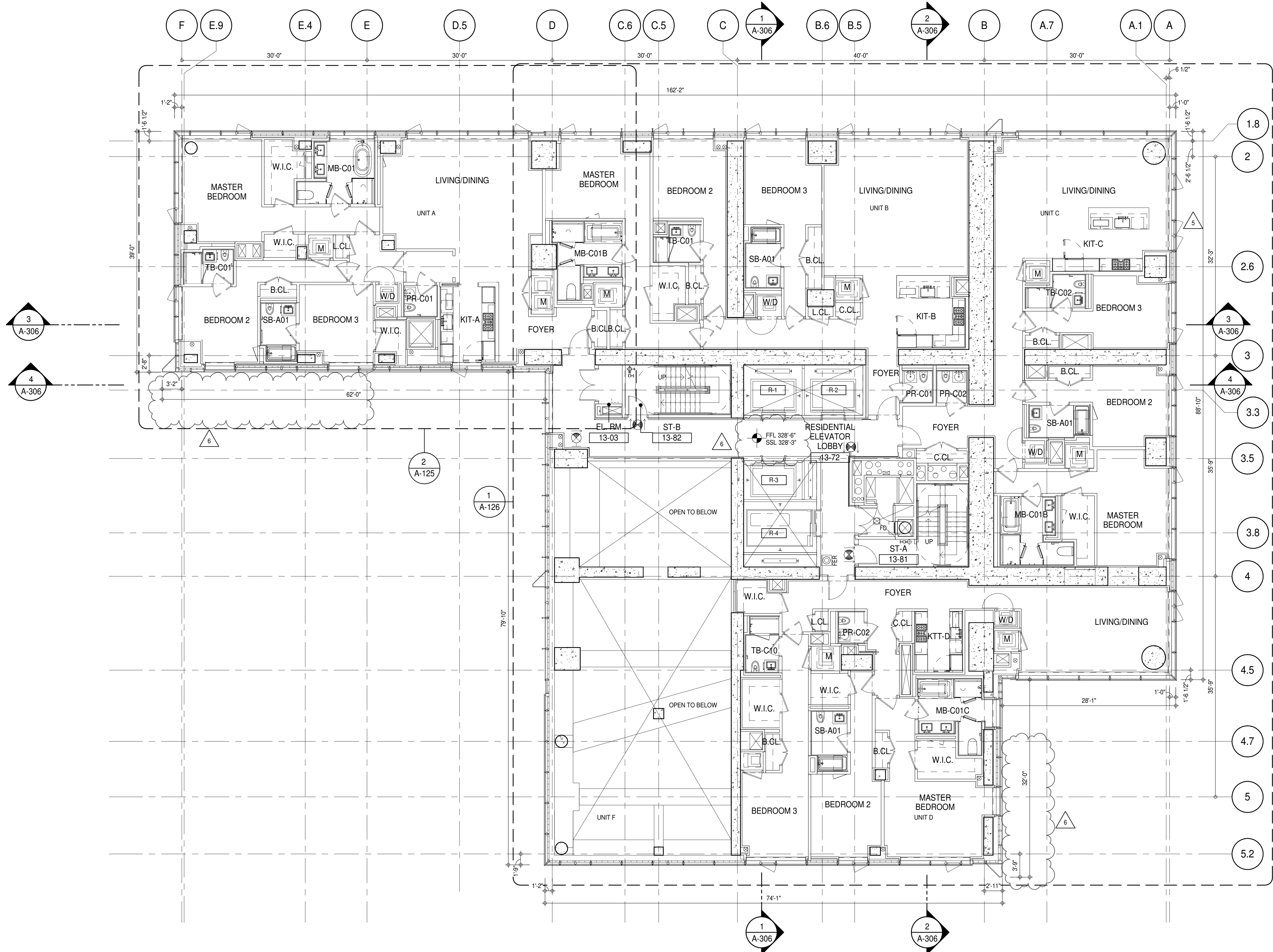
PROJECT: 217 WEST 57TH STREET, NEW YORK, NY

DRAWING TITLE: 12TH FLOOR PLAN (MECHANICAL) (MFD-20TH FLOOR)

SEAL & SIGNATURE: PROJECTED ARCHITECT: DAVID L. LAMORE
DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: As Indicated
REV: 12
DWG No: A-121.02
DOB PAGE No: 96 of 154
DOB EMPLOYEE STAMP: DOB 5-SCAN:



		
		
KEY PLAN:		
PROJECT NORTH  TRUE NORTH 		
DEVELOPER: EXTELL DEVELOPMENT COMPANY 805 THIRD AVENUE, 7TH FLOOR New York, NY 10022 USA TEL: 212 713 6000 FAX: 212 712 0100		
DESIGN ARCHITECT: Base Building Shell & Core ADRIAN SMITH + GORDON GILL ARCHITECTURE 111 WEST MONROE STREET SUITE 2300 CHICAGO, IL 60603 TEL: 212 476 1888 FAX: 212 476 1775		
INTERIOR DESIGNER: Residential Rotet Architecture and Design Studio, PLLC 298 Fifth Ave, 7th Floor New York, NY 10001 TEL: 646 998 7000 FAX: _____		
ARCHITECT OF RECORD: Base Building Shell, Core, & Residential AAI ARCHITECTS, P.C. 401 Wellington St. W., 3rd Floor Toronto, ON M5V 1E7 Canada TEL: 212 497 1500 FAX: 212 497 7150		
STRUCTURAL ENGINEERS: WSP CANTOR SEINUK 208 East 46th Street New York, NY 10017 USA TEL: 212 687 9888 FAX: 646 487 5501		
MEP ENGINEERS: AKF GROUP 165 Broadway, 22nd Floor New York, NY 10003 USA TEL: 212 354 5552 FAX: 212 354 5568		
GEOTECHNICAL ENGINEERS: Langan Engineering & Environmental Services 21 Penn Plaza - 360 West 31st Street, 8th Floor New York, NY 10001-2707 TEL: 212 478 5400 FAX: 212 479 5444		
CODE CONSULTANTS: Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1818 FAX: 212 385 1911		
CURTAINWALL CONSULTANT: AJP Consulting 40 Worth Street, Suite 525 New York, NY 10013 TEL: 212 757 5859 FAX: 646 219 8508		
LANDMARK/PRESERVATION CONSULTANT: Jan Hind Pokorny Associates, Inc. 39 West 37th Street, 12A New York, NY 10018 TEL: 212 759 6462 FAX: 212 759 6540		
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5	CD PROGRESS ISSUE 4	01 JUN 15
6	CD PROGRESS ISSUE 5	10 AUG 15
7	D.O.B. AMENDMENT 2	21 SEP 15
7	CD PROGRESS ISSUE 6	02 NOV 15
8	CMU, DRYWALL, HOLLOW METAL DOORS UP TO 12F	14 JAN 16
9	CD PROGRESS ISSUE 7	29 JAN 16
10	CD ISSUE 8 - GMP SET	31 MAR 16
11	CD BULLETIN ISSUE - 3	25 MAY 16
12	CD BULLETIN ISSUE - 7	14 SEP 16
12	D.O.B. AMENDMENT 3	03 OCT 16
0 2'-0" 4'-0" 8'-0"		
D.O.B. SUBMISSION		
<p>Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.</p>		
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.		
CONSULTANT:		
 AAI ARCHITECTS, P.C.		
PROJECT: 217 WEST 57TH STREET NEW YORK, NY		
DRAWING TITLE: 12TH FLOOR PLAN (MECHANICAL) (MFD-20TH FLOOR)		
SEAL & SIGNATURE:		
	DATE:	15 OCT 14
	PROJECT No.:	1216-00
	DRAWN: Author	REV:
	SCALE: 1/4" = 1'-0"	12
	AWG No.:	A-122.02
DOB PAGE No: 97 of 454		
DOB EMPLOYEE STAMP:		DOB B-SCAN:

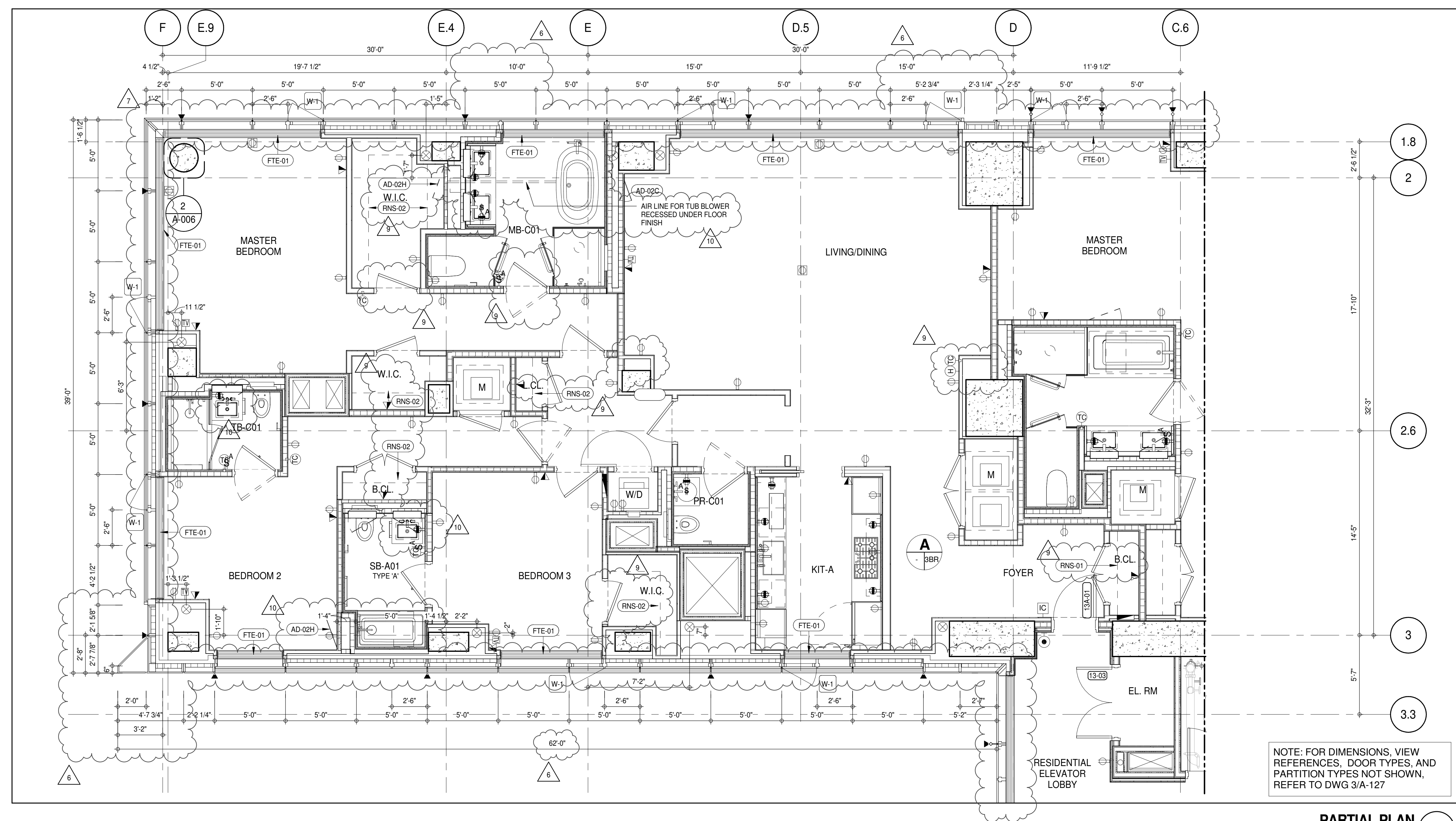


SHEET NOTES:

- 01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
- 02 ALL CURBS AT DOORWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS TRACK ONCE CONSTRUCTION IS COMPLETE.
- 03 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
- 04 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).
- 05 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.
- 11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.
- EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.
- TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE INFILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.
- ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

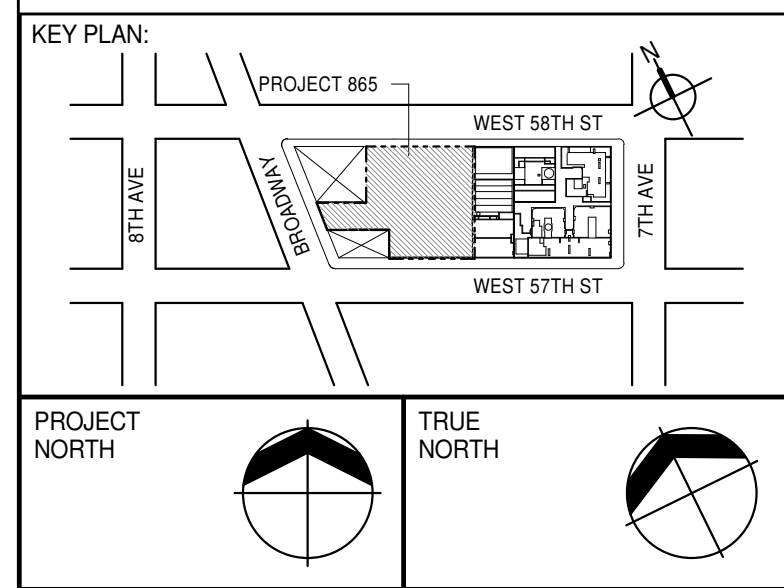
KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-02C	ACCESS DOOR FLUSH NON RATED 18" x 18" - GYP
AD-02H	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
FTE-01	FIN TUBE ENCLOSURE
RNS-01	ROD AND SHELF (REFER TO A1-880)
RNS-02	ROD AND SHELF (N.I.C)



NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 3/A-127

PARTIAL PLAN
1/4" = 1'-0"



PROJECT NORTH	TRUE NORTH
DEVELOPER:	EXTELL DEVELOPMENT COMPANY 805 THIRD AVENUE, 7TH FLOOR NEW YORK, NY 10022 USA TEL: 212 712 6000 FAX: 212 712 6100
DESIGN ARCHITECT:	Base Building Shell & Core ADRIAN SMITH + GORDON GILL ARCHITECTURE 111 WEST MONROE STREET SUITE 2300 CHICAGO, IL 60603 TEL: 312 920 1888 FAX: 312 920 1775
INTERIOR DESIGNER:	Residential Rottel Architecture and Design Studio, PLLC 228 Fifth Ave, 7th Floor New York, NY 10001 TEL: 646 998 7000 FAX:
ARCHITECT OF RECORD:	Base Building Shell, Core, & Residential AAI ARCHITECTS, P.C. 401 Westchester St., 3rd Floor Toronto, ON M5V 1E7 Canada TEL: 416 967 1500 FAX: 416 967 7150
STRUCTURAL ENGINEER:	VSP CANTOR SEINUK 228 EAST 45th Street New York, NY 10017 USA TEL: 212 887 8888 FAX: 646 487 5501
MEP ENGINEERS:	AKF GROUP 165 Broadway, 22nd Floor New York, NY 10008 USA TEL: 212 354 5656 FAX: 212 354 5668
GEOTECHNICAL ENGINEERS:	Langan Engineering & Environmental Services 21 Penn Plaza - 300 West 57th Street, 9th Floor New York, NY 10001-2722 TEL: 212 479 5400 FAX: 212 479 5444
CODE CONSULTANTS:	Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1918 FAX: 212 385 1911
CURTAINWALL CONSULTANT:	AJLP Consulting 40 Worth Street, Suite 806 New York, NY 10013 TEL: 212 757 5559 FAX: 646 219 8508
LANDMARK/PRESERVATION CONSULTANT:	Jan Hird Pokorny Associates, Inc. 39 West 37th Street, 12A New York, NY 10018 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 3	09 MAR 15
4	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15
6	D.O.B. AMENDMENT 2	21 SEP 15
7	CD PROGRESS ISSUE 5	02 NOV 15
8	D.O.B. SUBMISSION	29 JAN 16
9	CD PROGRESS ISSUE 6	31 MAR 16
10	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

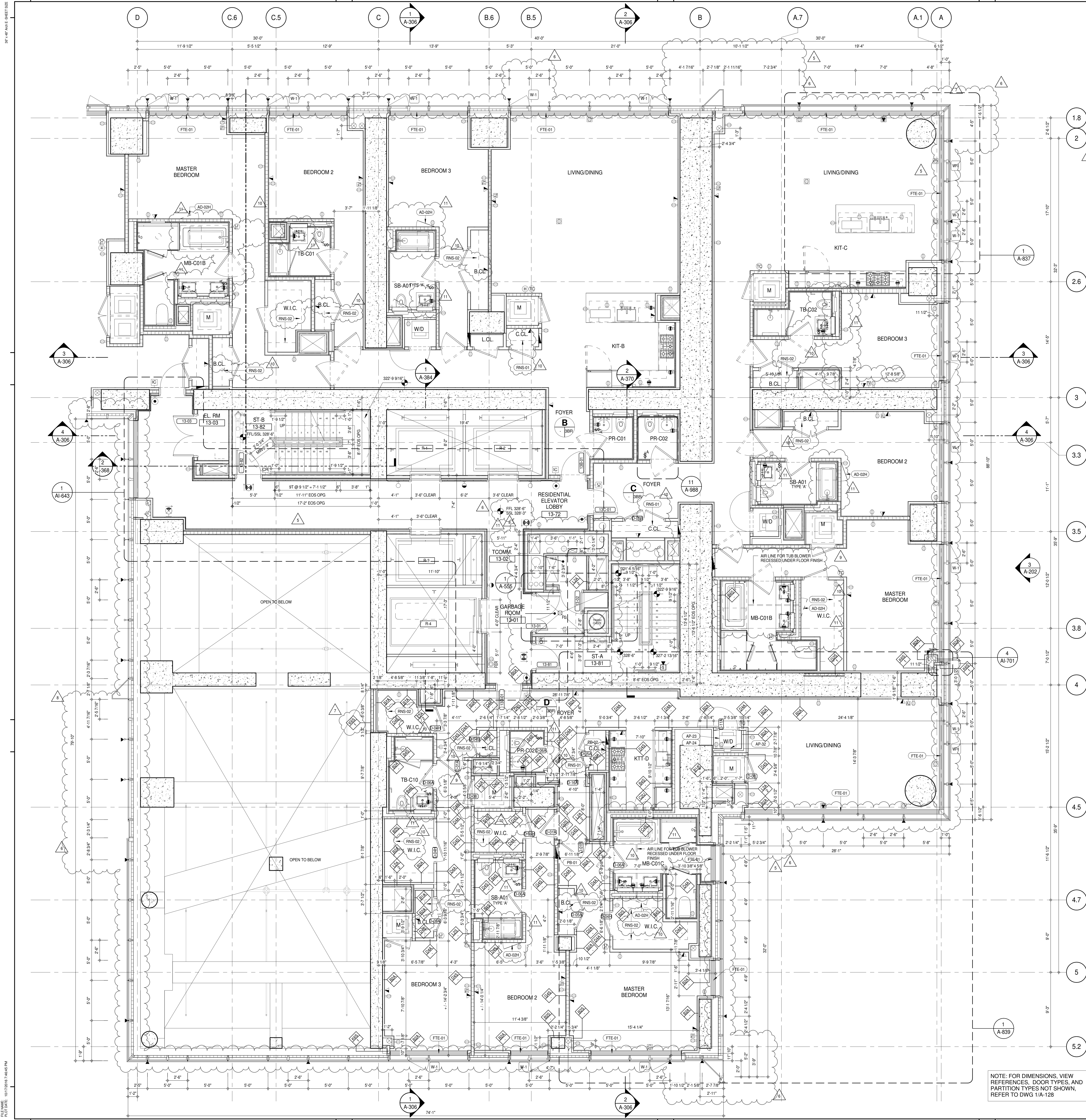


PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
13TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-32ND FLOOR)

SEAL & SIGNATURE	DATE: 19 DEC 14
PROJECT No: 1216-00	REV: 10
DRAWN: Author	CHECKED: Checker
SCALE: As indicated	DWG No: A-125.02
DOB PAGE No: 98 of 154	DOB 5-SCAN:

DOB EMPLOYEE STAMP:



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 1" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

(TAG #) DESCRIPTION

(AD-024) ACCESS DOOR FLUSH NON RATED 26" X 17" - GYP

(AP-23) COMPACT ELECTRIC DRYER

(AP-24) COMPACT WASHING MACHINE

(AP-32) RECESSED DRYER VENT BOX - UPWARD VENTING

(FTE-01) FIN TUBE ENCLOSURE

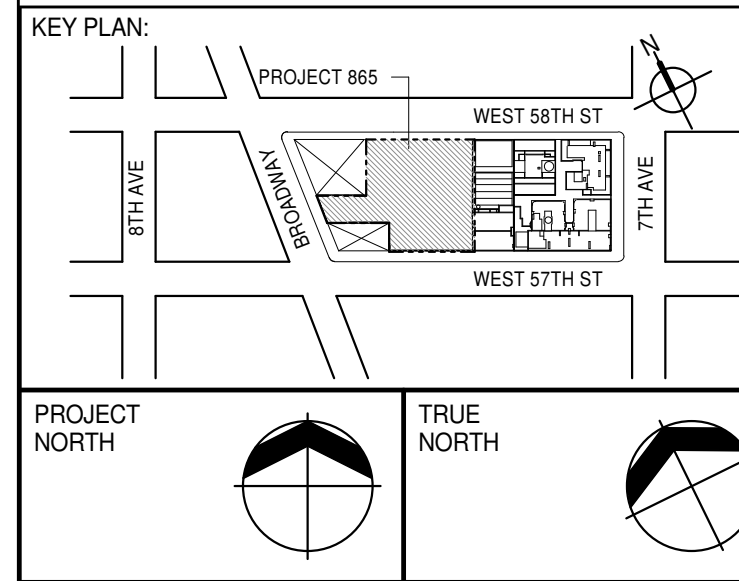
(PB-01) RESIDENTIAL ELECTRICAL PANELBOARD

(PB-02) RESIDENTIAL TELECOM PANELBOARD

(RNS-01) ROD AND SHELF (REFER TO A-880)

(RNS-02) ROD AND SHELF (N.I.C)

NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 1/A-126



DEVELOPER: EXTRELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1530 FAX: 416 967 7150

STRUCTURAL ENGINEER:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 57th Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 3	09 MAR 15
4	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15
6	CD PROGRESS ISSUE 5	10 AUG 15
7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CD PROGRESS ISSUE 7	29 JAN 16
10	CD ISSUE 8 - GMP SET	31 MAR 16
11	CD BULLETIN ISSUE - 1	22 APR 16
12	CD BULLETIN ISSUE - 5	12 AUG 16
13	CD BULLETIN ISSUE - 7	14 SEP 16
14	D.O.B. AMENDMENT 3	03 OCT 16

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
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14	D.O.B. AMENDMENT 3	03 OCT 16

0 2' 0" 4' 0" 8' 0"

D.O.B. SUBMISSION

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CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE: 13TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-32ND FLOOR)

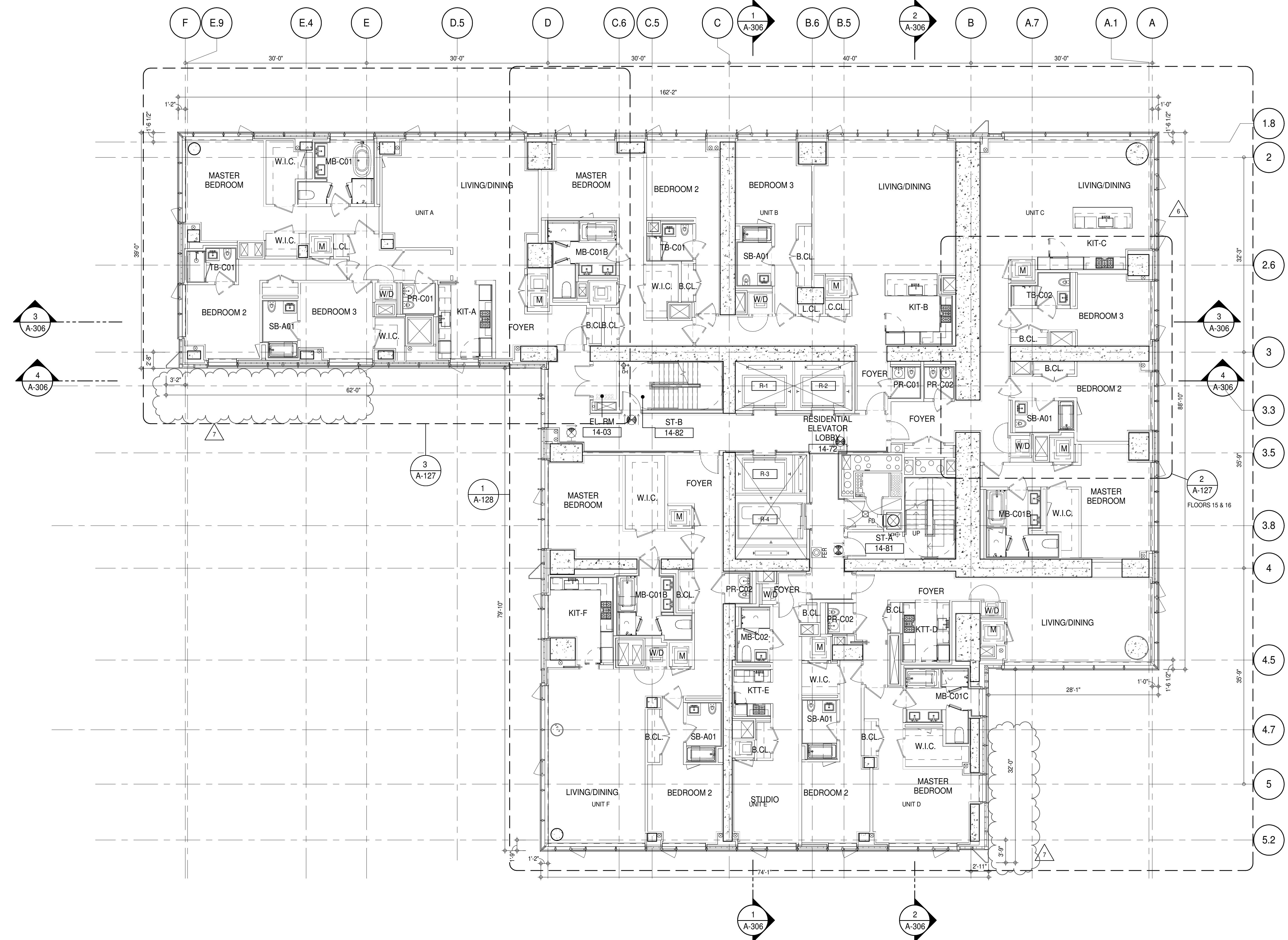
DATE: 19 DEC 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/4" = 1'-0"
DWG No: A-126.02

DOB PAGE No: 99 of 154
DOB 5-SIGN:

DOB EMPLOYEE SIGNATURE:

DOB EMPLOYEE SIGNATURE:

DOB EMPLOYEE SIGNATURE:



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED. ALL CURBS AT DOORWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

02 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. FOUNDATION CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

04 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK. ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

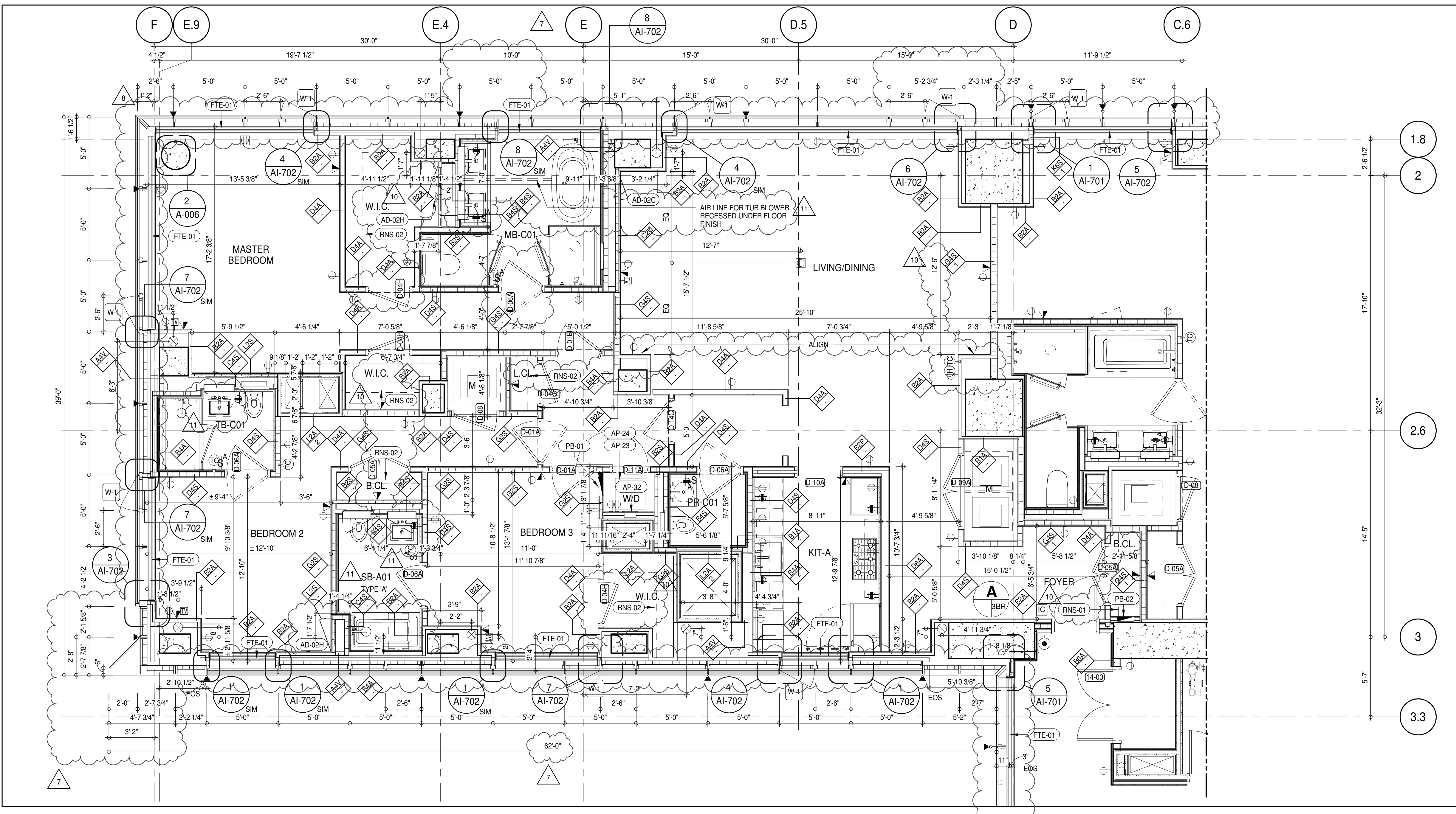
TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

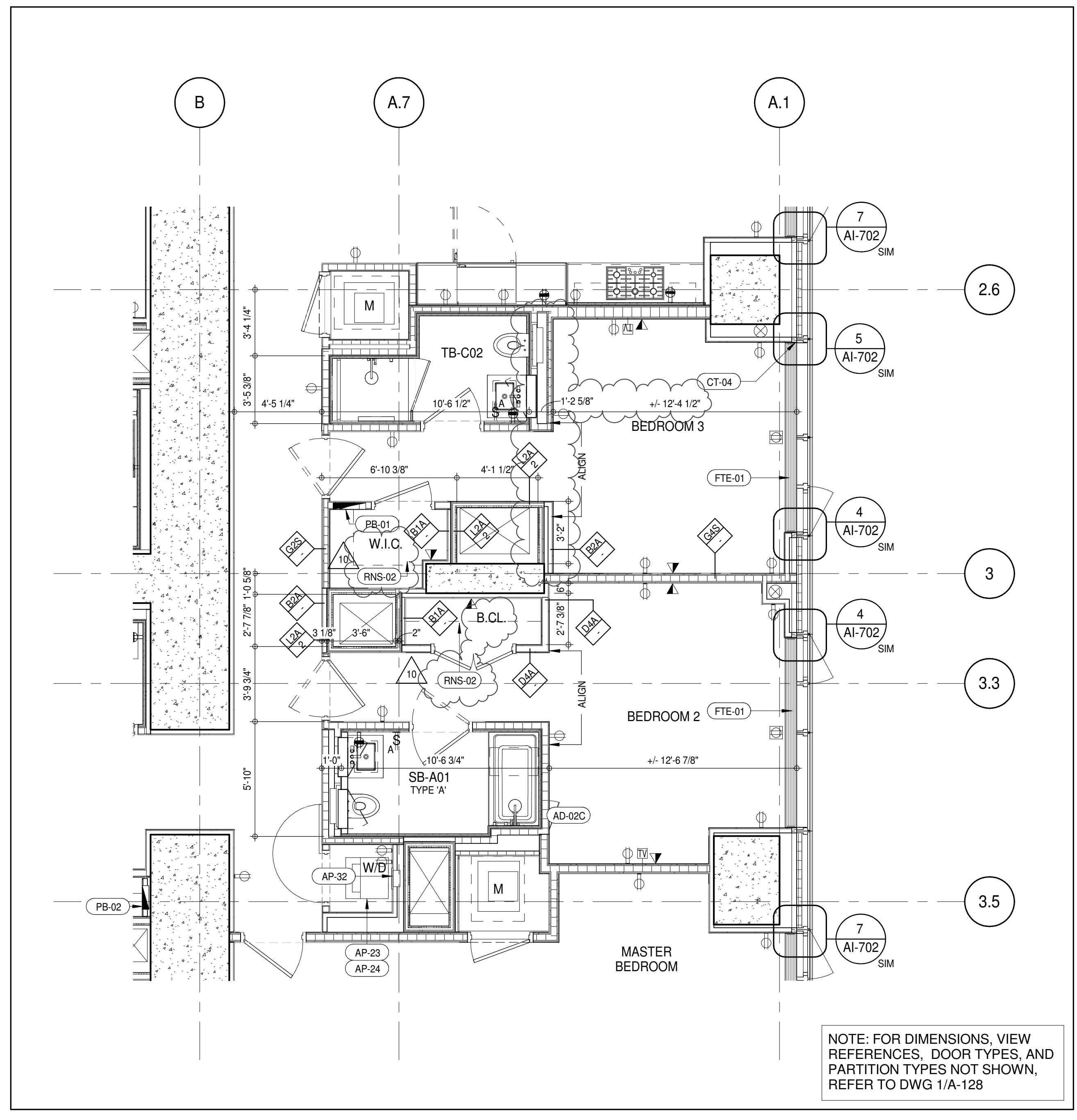
KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-02C	ACCESS DOOR FLUSH NON RATED 18" x 18" - GYP
AD-02H	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
AP-23	COMPACT ELECTRIC DRYER
AP-24	COMPACT WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
CT-04	PORCELAIN TILE
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO AI-880)
RNS-02	ROD AND SHELF (N.I.C.)

LEVEL	CORE ROOM ASSIGNMENT
16	TELECOM ROOM
15	FIRE ALARM CLOSET
14	TELECOM ROOM



PARTIAL PLAN 3
1/4" = 1'-0"



UNIT C - 15TH-16TH FLOOR PART PLAN 2
1/4" = 1'-0"

KEY PLAN:		
		
PROJECT NORTH	TRUE NORTH	
		
DEVELOPER:		
EXTELL DEVELOPMENT COMPANY 805 THIRD AVENUE, 7TH FLOOR New York, NY 10022 USA TEL: 212 712 6000 FAX: 212 712 6100		
DESIGN ARCHITECT:		
Base Building Shell & Core ADRIAN SMITH + GORDON GILL ARCHITECTURE 111 WEST MONROE STREET SUITE 2300 CHICAGO, IL 60603 TEL: 312 920 1888 FAX: 312 920 1775		
INTERIOR DESIGNER:		
Residential Rottel Architecture and Design Studio, PLLC 288 Fifth Ave, 7th Floor New York, NY 10001 TEL: 646 989 7000 FAX:		
ARCHITECT OF RECORD:		
Base Building Shell, Core, & Residential AAI ARCHITECTS, P.C. 401 Wellington St., W. 3rd Floor Toronto, ON M5V 1E7 Canada TEL: 416 967 1500 FAX: 416 967 7150		
STRUCTURAL ENGINEER:		
WSP CANTOR SENIUK 228 EAST 45th Street New York, NY 10017 USA TEL: 212 887 2888 FAX: 646 487 5501		
MEP ENGINEERS:		
AKF GROUP 165 Broadway, 22nd Floor New York, NY 10006 USA TEL: 212 354 5655 FAX: 212 354 5668		
GEOTECHNICAL ENGINEERS:		
Langan Engineering & Environmental Services 21 Penn Plaza - 360 West 51st Street, 9th Floor New York, NY 10001-2727 TEL: 212 479 5400 FAX: 212 479 5444		
CODE CONSULTANTS:		
Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1918 FAX: 212 385 1911		
CURTAINWALL CONSULTANT:		
AJLP Consulting 40 Worth Street, Suite 806 New York, NY 10013 TEL: 212 757 5559 FAX: 646 219 8508		
LANDMARK/PRESERVATION CONSULTANT:		
Jan Hind Pokorny Associates, Inc. 39 West 37th Street, 12A New York, NY 10018 TEL: 212 759 6452 FAX: 212 759 6540		
No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	D.O.B. AMENDMENT 3	03 OCT 16
13	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

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CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

14TH-16TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-33RD-35TH FLOOR)

SEAL & SIGNATURE:

DAVID L. LINDEN
REGISTERED ARCHITECT
STATE OF NEW YORK

DATE:

15 OCT 14

PROJECT No:

1216-00

DRAWN: Author

CHECKED: Checker

SCALE: As indicated

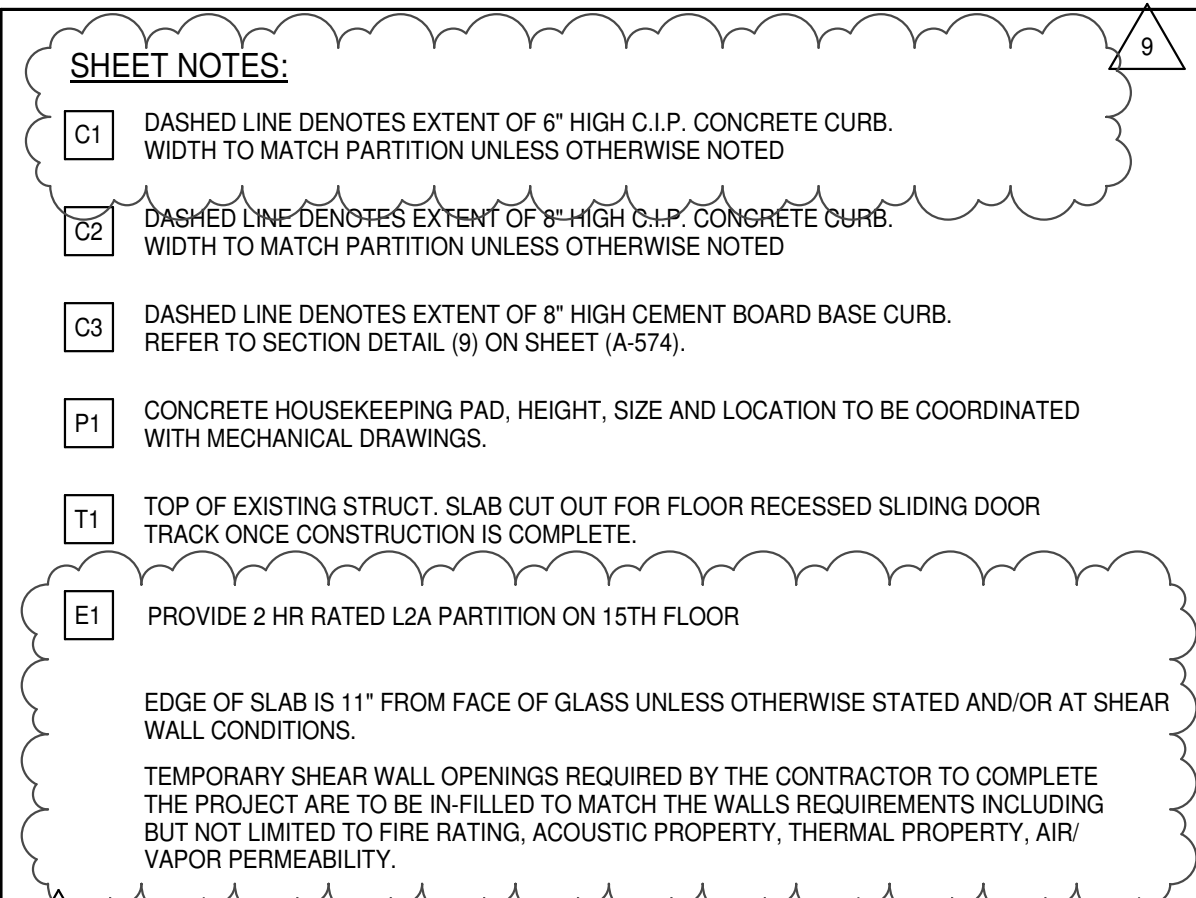
DWG No:

A-127.02

DOB PAGE No:

199 of 454

DOB 5-SCAN:



<u>KEYNOTE LEGEND:</u>	
<u>TAG #</u>	<u>DESCRIPTION</u>
<u>AD-091</u>	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
<u>AP-29</u>	COMPACT ELECTRIC DRYER
<u>AP-24</u>	COMPACT WASHING MACHINE
<u>AP-32</u>	RECESSED DRYER VENT BOX - UPWARD VENTING
<u>FTE-01</u>	FIN TUBE ENCLOSURE
<u>PB-01</u>	RESIDENTIAL ELECTRICAL PANELBOARD
<u>PB-02</u>	RESIDENTIAL TELECOM PANELBOARD
<u>RNS-01</u>	ROD AND SHELF (REFER TO A1-880)
<u>RNS-02</u>	ROD AND SHELF (N.I.C)

<u>LEVEL</u>	<u>CORE ROOM ASSIGNMENT</u>
16	TELECOM ROOM
15	FIRE ALARM CLOSET
14	TELECOM ROOM

D.O.B. SUBMISSION

discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL

CONSULTANT:



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY


DRAWING TITLE:

14TH-16TH FLOOR PLAN (RESIDENTIAL
TIER 1) (MED 23RD 25TH FLOOR)

- TIER 1) (MFD-33RD-35TH FLOOR)

REAL & SIGNATURE:	DATE:	15 OCT 44
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DATE:	15 OCT 14
PROJECT No:	1216-00

	DRAWN: Author	REV:
		12


 CHK: Checker
 SCALE: 1/4" = 1'-0"

A-128.02

DOB PAGE No: 101 of 454

DOB EMPLOYEE STAMP:	DOB B-SCAN:
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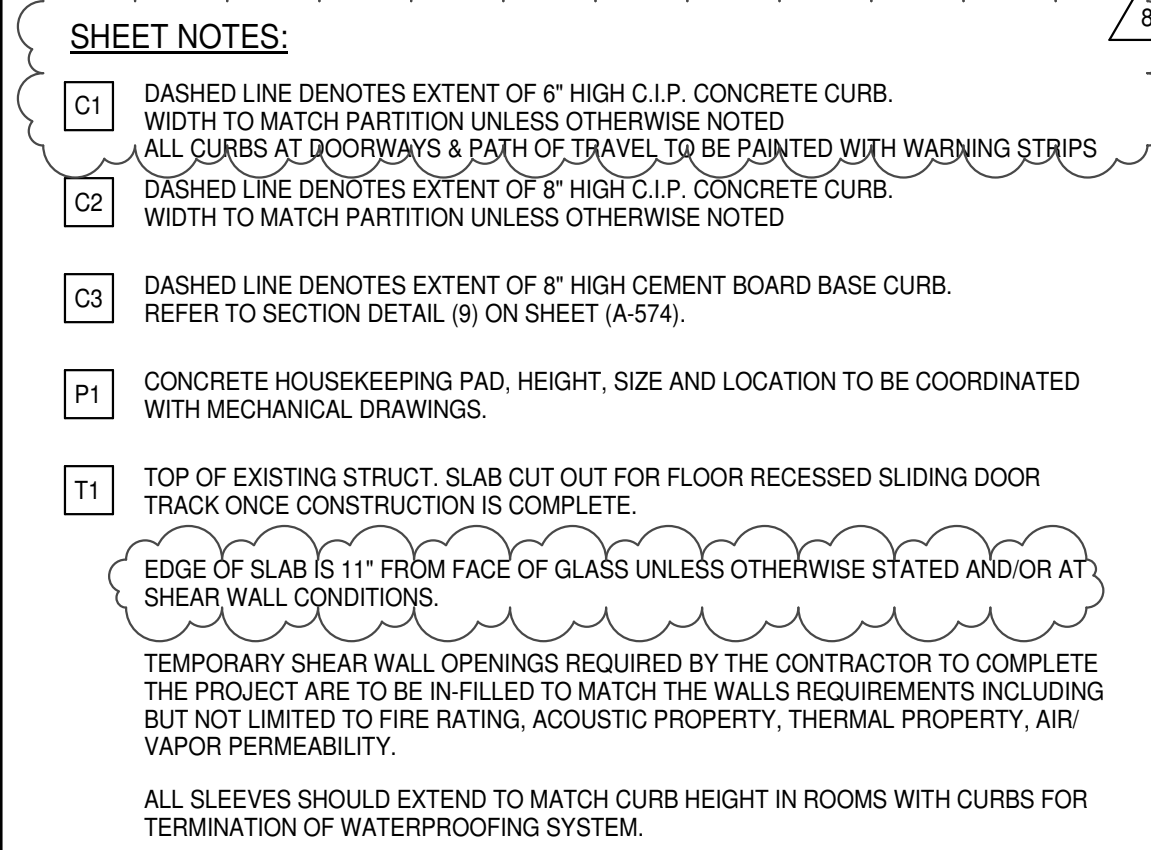
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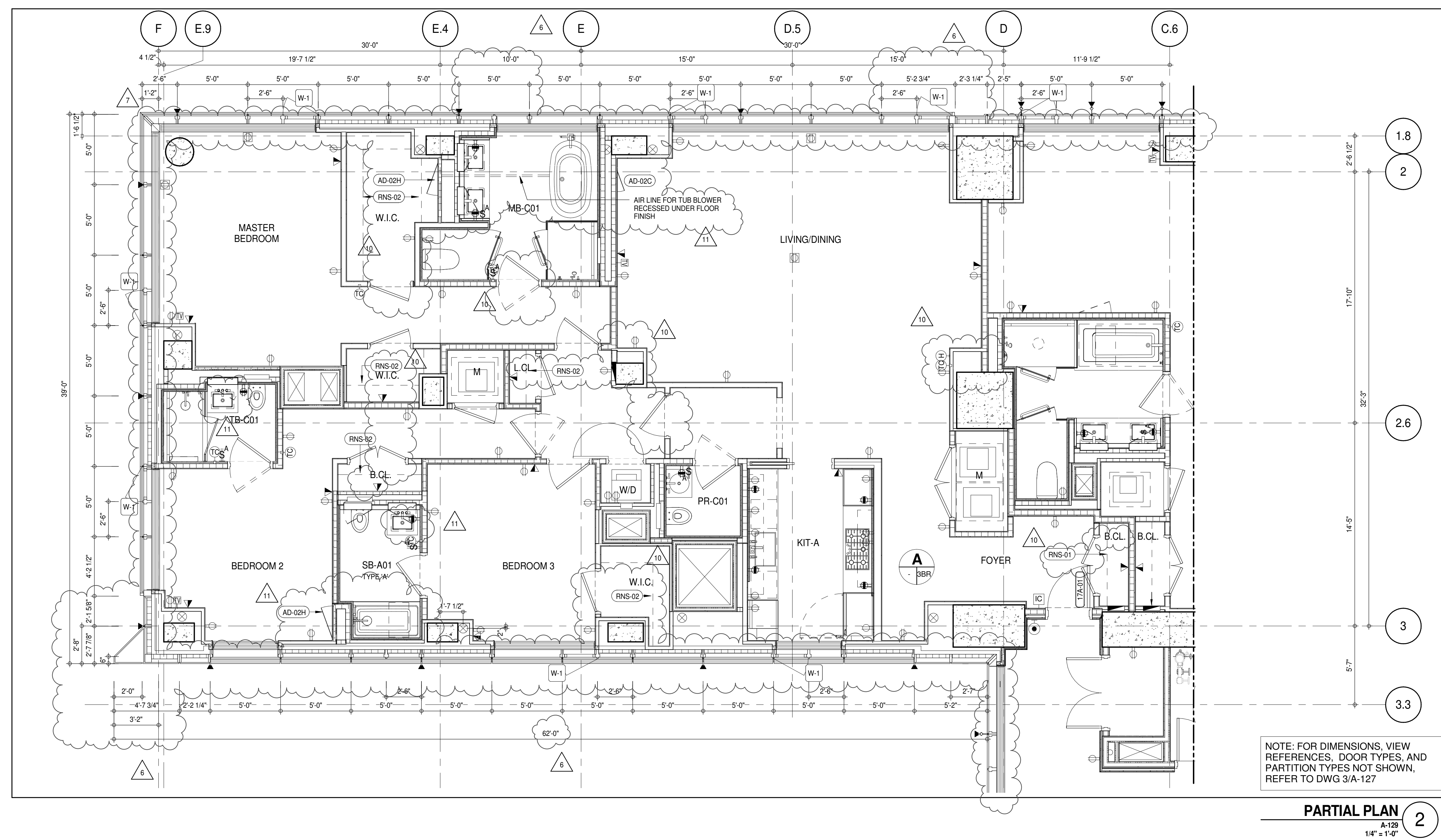
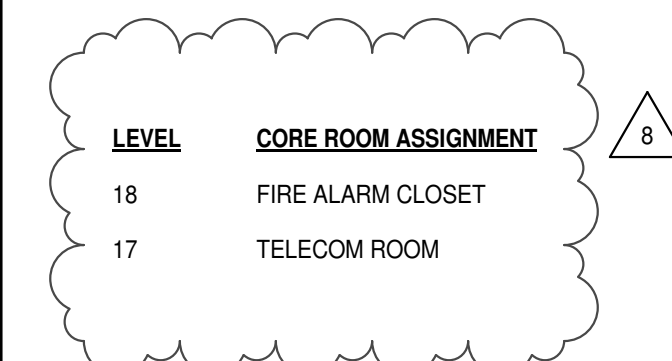
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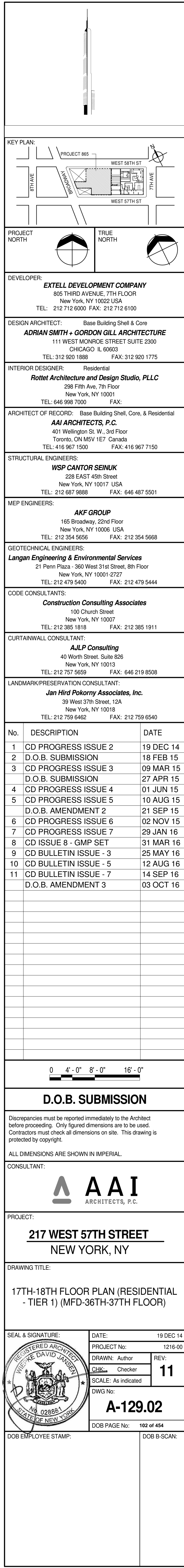
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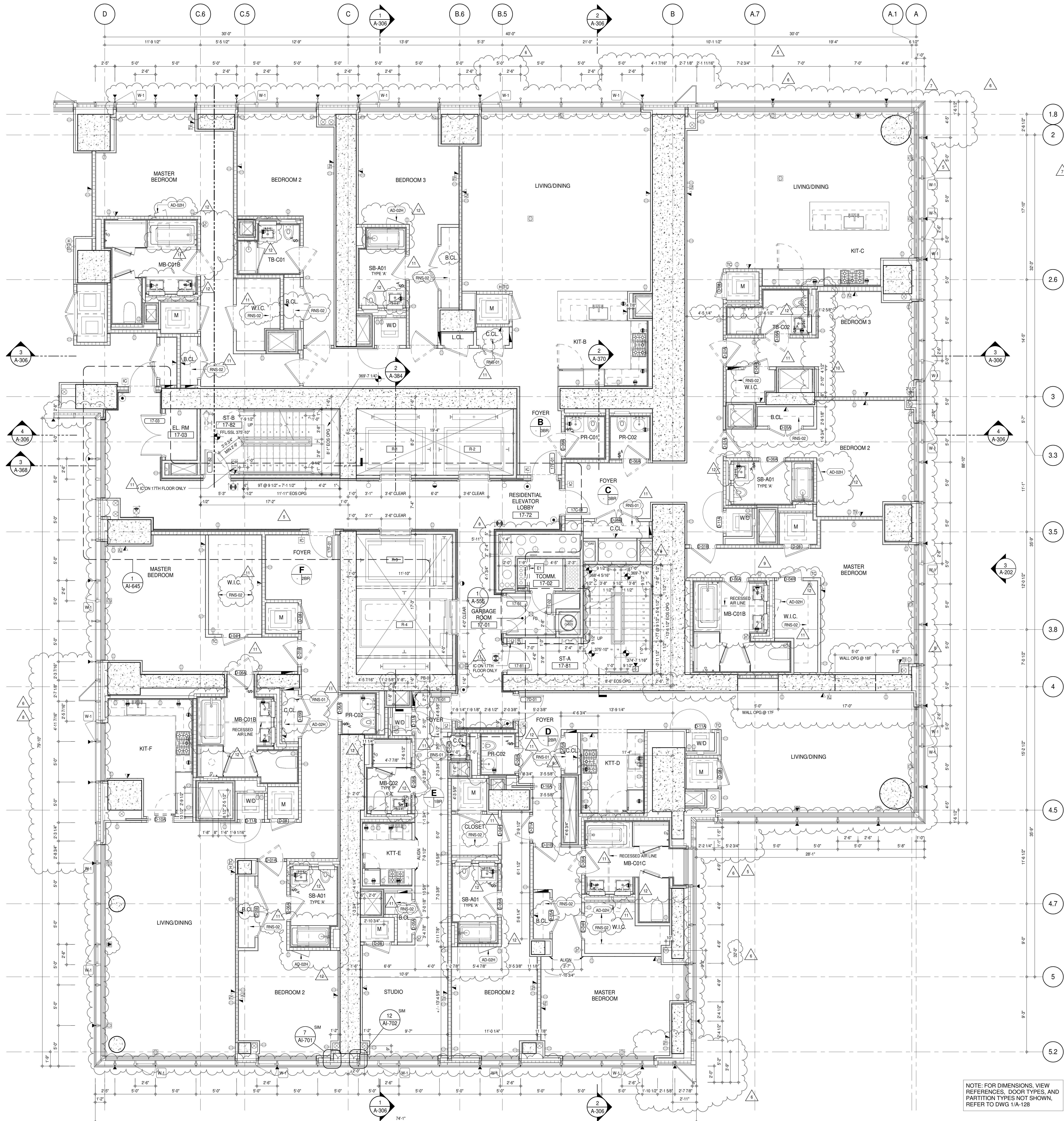
<u>TAG #</u>	<u>DESCRIPTION</u>
AD-02C	ACCESS DOOR FLUSH NON RATED 18" x 18" - GYP
AD-02H	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
RNS-01	ROD AND SHELF (REFER TO AI-880)
RNS-02	ROD AND SHELF (N.I.C)



NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 3/A-127

PARTIAL PLAN 2
A-129
1/4" = 1'-0"





SHEET NOTES:

- D1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
- D2 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
- D3 DASHED LINE DENOTES EXTENT OF 6" HIGH CONCRETE BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET A-574.
- P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.
- T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.
- E1 PROVIDE 2 HR RATED LSA PARTITION ON 18TH FLOOR.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE IN-FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-02H	ACCESS DOOR FLUSH NON RATED 26" X 17" - GYP
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
RNS-01	ROD AND SHELF (REFER TO A1-880)
RNS-02	ROD AND SHELF (N.I.C)

LEVEL CORE ROOM ASSIGNMENT

LEVEL	CORE ROOM ASSIGNMENT
18	FIRE ALARM CLOSET
17	TELECOM ROOM

NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 1/A-128

KEY PLAN:

PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX: 646 998 7000

ARCHITECT OF RECORD:

Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:

VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Langan Engineering & Environmental Services
21 Penn Plaza - 350 West 57th Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 3	09 MAR 15
4	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15
6	CD PROGRESS ISSUE 5	10 AUG 15
7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CD PROGRESS ISSUE 7	29 JAN 16
10	CD ISSUE 8 - GMP SET	31 MAR 16
11	CD BULLETIN ISSUE - 1	22 APR 16
12	CD BULLETIN ISSUE - 3	25 MAY 16
13	CD BULLETIN ISSUE - 5	12 AUG 16
14	CD BULLETIN ISSUE - 7	14 SEP 16
15	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

17TH-18TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-36TH-37TH FLOOR)

SEAL & SIGNATURE:

DATE:

19 DEC 14

PROJECT No:

1216-00

DRAWN: Author

CHECKED: Checker

SCALE: 1/4" = 1'-0"

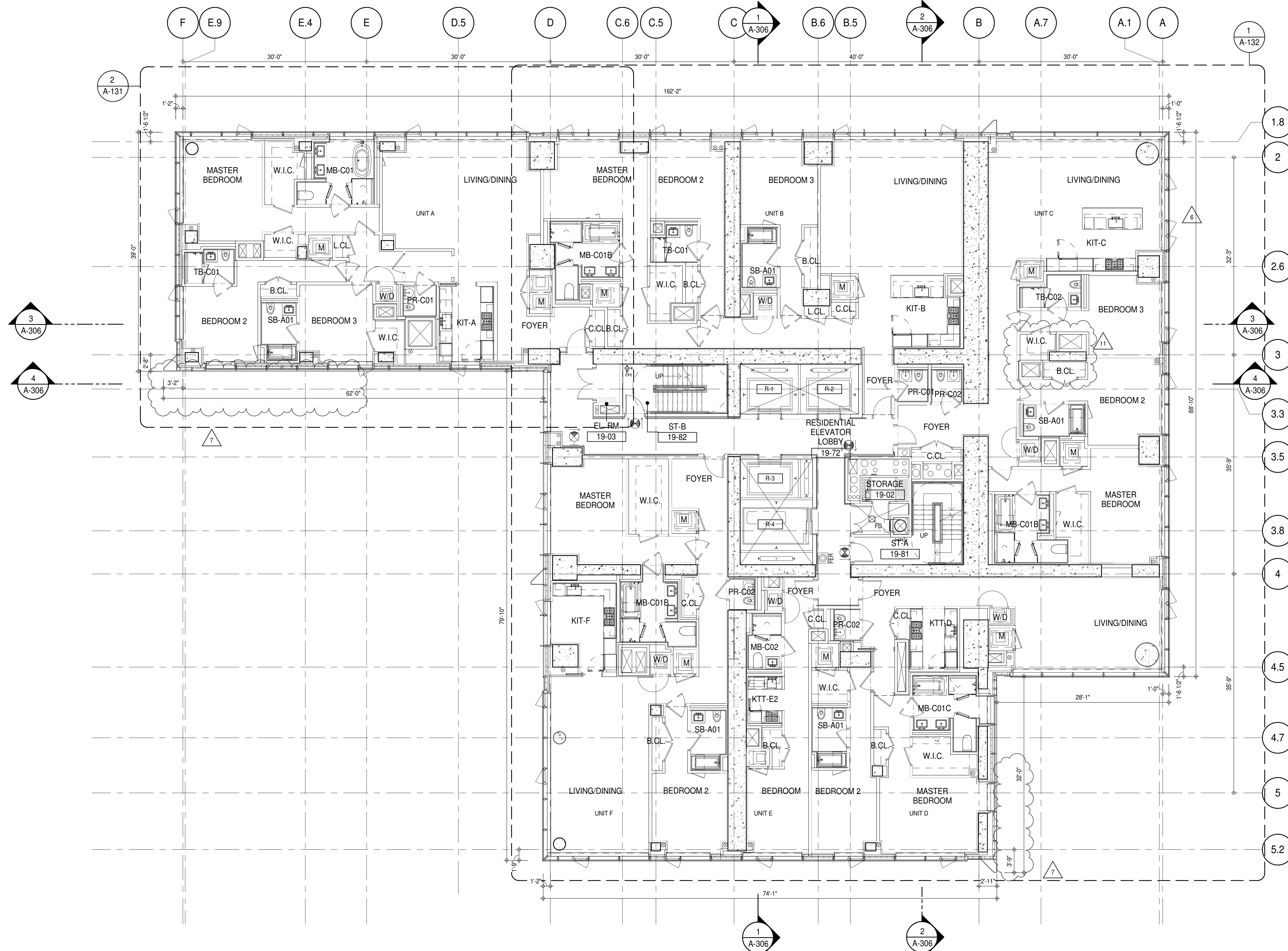
DWG No:

A-130.02

DOB PAGE No:

103 of 454

DOB 5-SCAN:



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

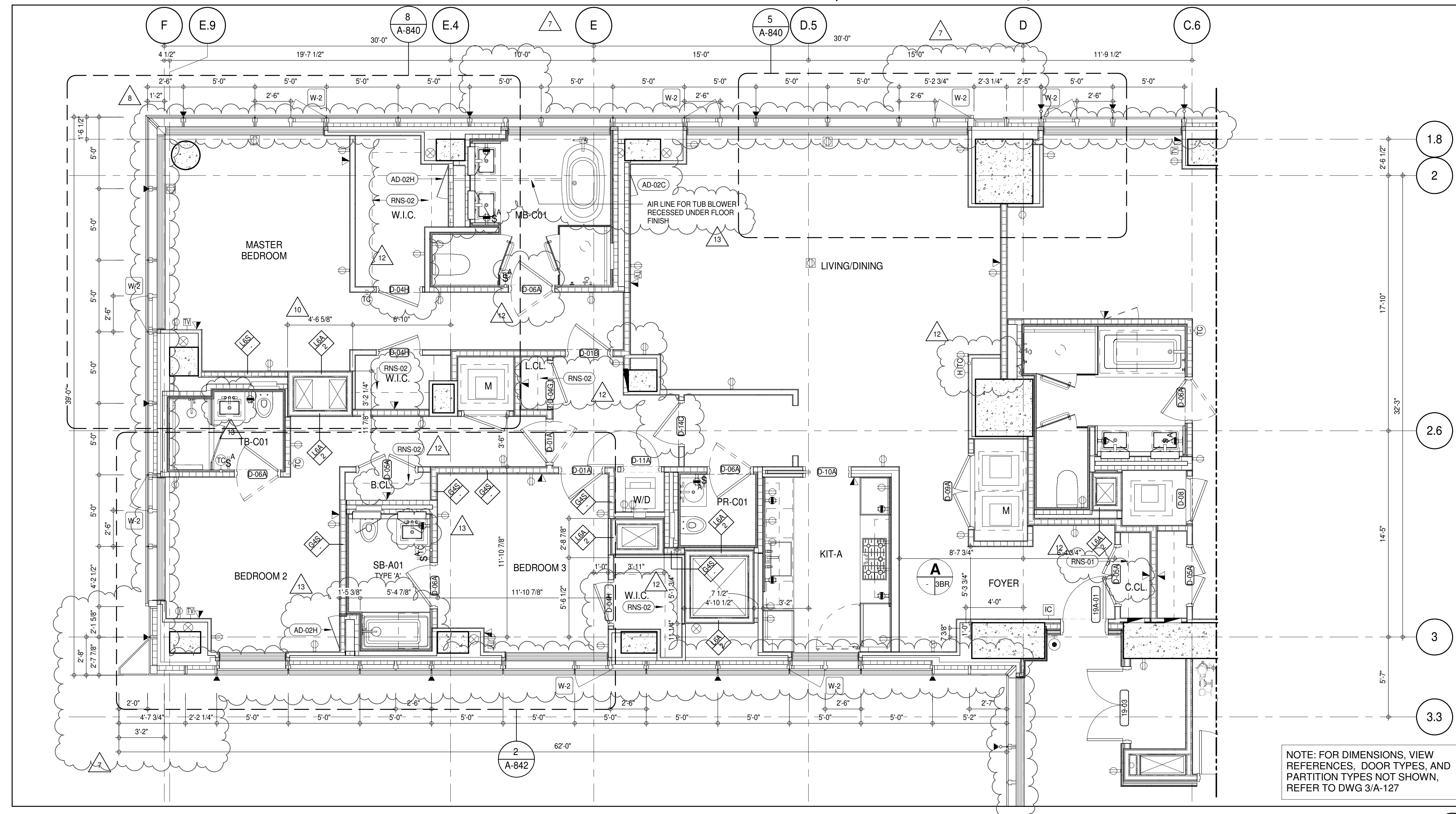
(TAG #) DESCRIPTION

(AD-02C) ACCESS DOOR FLUSH NON RATED 18" x 18" - GYP

(AD-02H) ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP

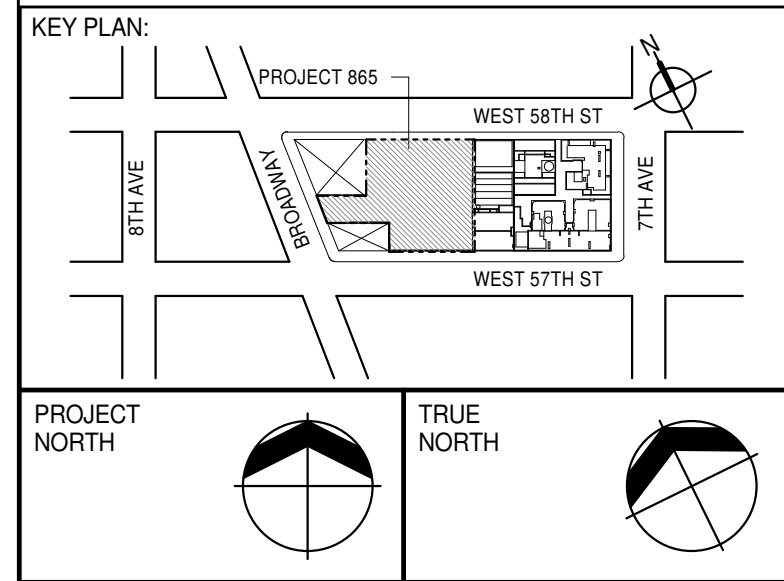
(RNS-01) ROD AND SHELF (REFER TO A1-880)

(RNS-02) ROD AND SHELF (REFER TO A1-101)



NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 3/A-127

PARTIAL PLAN
A-131
1/4" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave., 7th Floor
New York, NY 10017
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Westchester St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 3	25 MAY 16
14	CD BULLETIN ISSUE - 5	12 AUG 16
15	CD BULLETIN ISSUE - 7	14 SEP 16
16	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



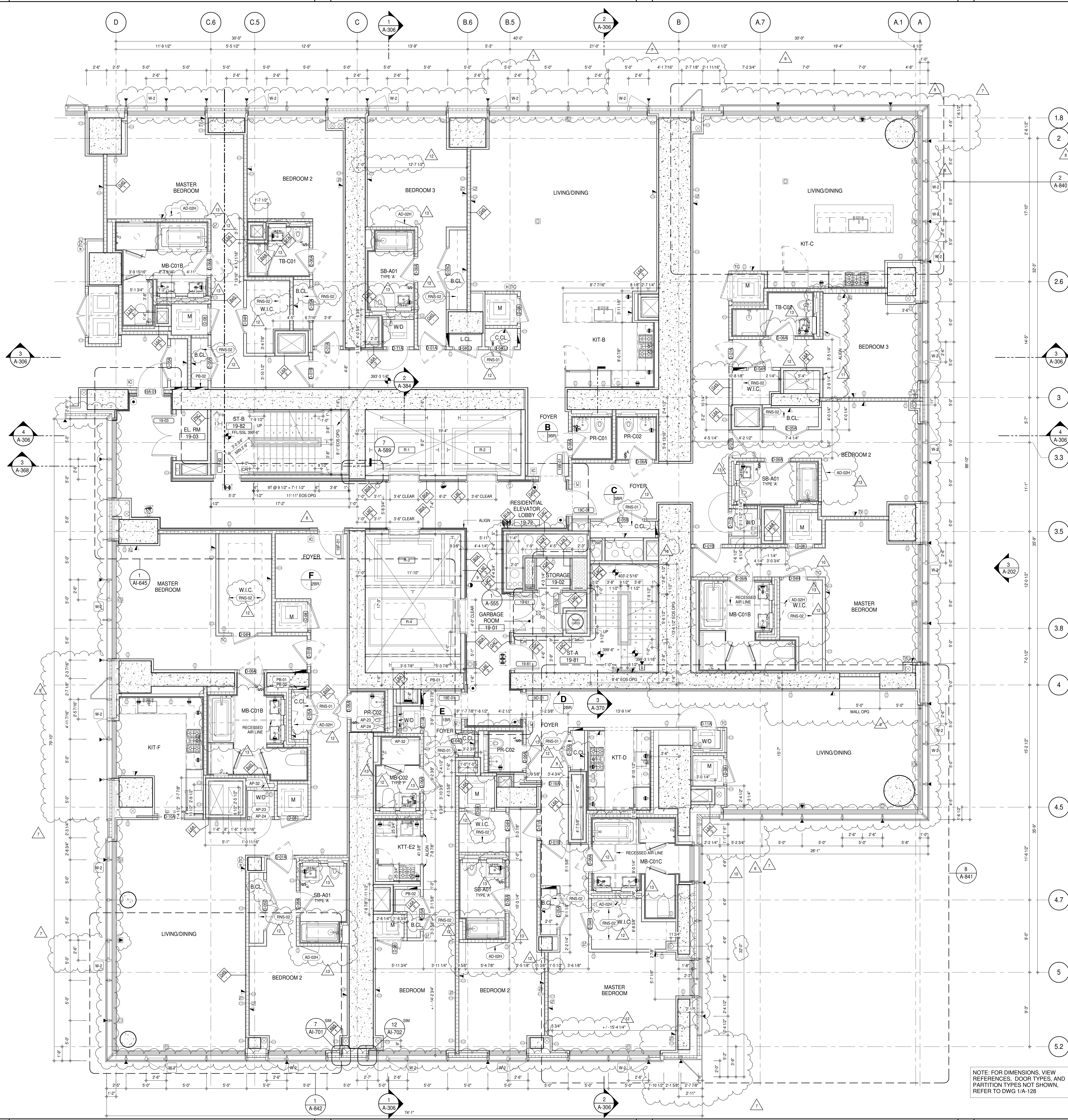
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
19TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-38TH FLOOR)

SEAL & SIGNATURE:
REGISTERED ARCHITECT
DAVID L. LAM
NEW YORK, NY
DOB PAGE No: 194 of 454
DOB 5-SCAN:

DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: As indicated
DWG No:
A-131.02

REV:
13



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 ALL CURBS AT DOORWAYS A PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

04 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET A-574.

05 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK. ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 1" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG # DESCRIPTION

AD-02H ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP

AP-23 COMPACT ELECTRIC DRYER

AP-24 COMPACT WASHING MACHINE

AP-32 RECESSED DRYER VENT BOX - UPWARD VENTING

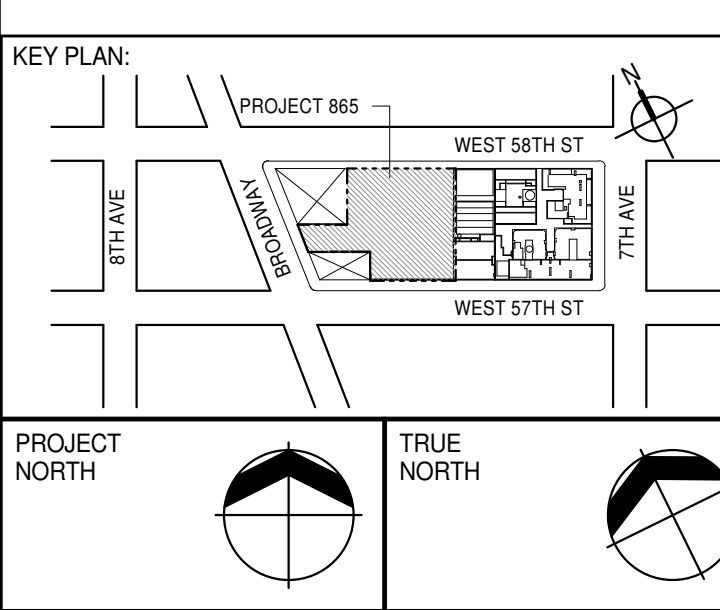
PB-01 RESIDENTIAL ELECTRICAL PANELBOARD

PB-02 RESIDENTIAL TELECOM PANELBOARD

RNS-01 ROD AND SHELF (REFER TO AI-880)

RNS-02 ROD AND SHELF (N.I.C.)

NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 1/A-128



PROJECT NORTH

TRUE NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
 401 WEST 57TH ST, 3RD FLOOR
 NEW YORK, NY 10019
 TEL: 212 920 1888 FAX: 212 920 1775

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
 401 WEST 57TH ST, 3RD FLOOR
 NEW YORK, NY 10019
 TEL: 212 920 1888 FAX: 212 920 1775

STRUCTURAL ENGINEER: **VSP CANTOR SENUK**
 228 EAST 45TH STREET
 NEW YORK, NY 10017 USA
 TEL: 212 887 2888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
 165 BROADWAY, 22ND FLOOR
 NEW YORK, NY 10038 USA
 TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
 21 Penn Plaza - 360 West 57th Street, 9th Floor
 New York, NY 10019-2727
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
 100 Church Street
 New York, NY 10007
 TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
 40 Worth Street, Suite 806
 New York, NY 10013
 TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
 39 West 57th Street, 12A
 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

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7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
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12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 3	25 MAY 16
14	CD BULLETIN ISSUE - 5	12 AUG 16
15	CD BULLETIN ISSUE - 7	14 SEP 16
16	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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CONSULTANT:

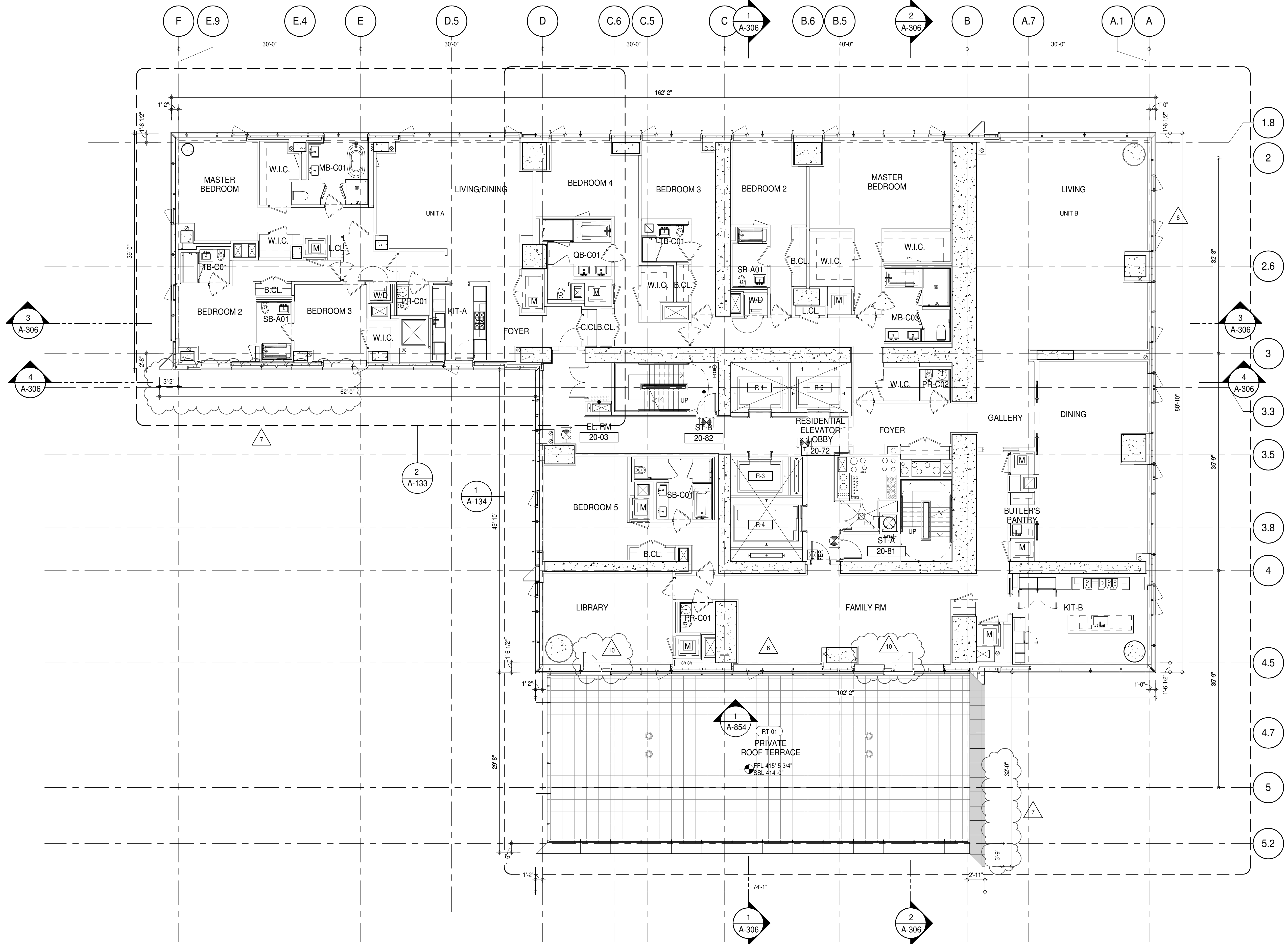


PROJECT: **217 WEST 57TH STREET**
 NEW YORK, NY

DRAWING TITLE: **19TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-38TH FLOOR)**

SEAL & SIGNATURE: **DAVID L. LEE**
 PROJECT No: 1216-00
 DRAWN: Author
 CHECKED: Checker
 SCALE: 1/4" = 1'-0"
 DWG No: **A-132.02**

DOB PAGE No: 185 of 454
 DOB 5-SCAN:



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 ALL CURBS AT ROOMWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

04 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

05 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

(TAG #) DESCRIPTION

(AD-020) ACCESS DOOR FLUSH NON RATED 18" x 18" - GYP

(AD-024) ACCESS DOOR FLUSH NON RATED 28" x 17" - GYP

(AP-23) COMPACT ELECTRIC DRYER

(AP-24) COMPACT WASHING MACHINE

(AP-32) RECESSED DRYER VENT BOX - UPWARD VENTING

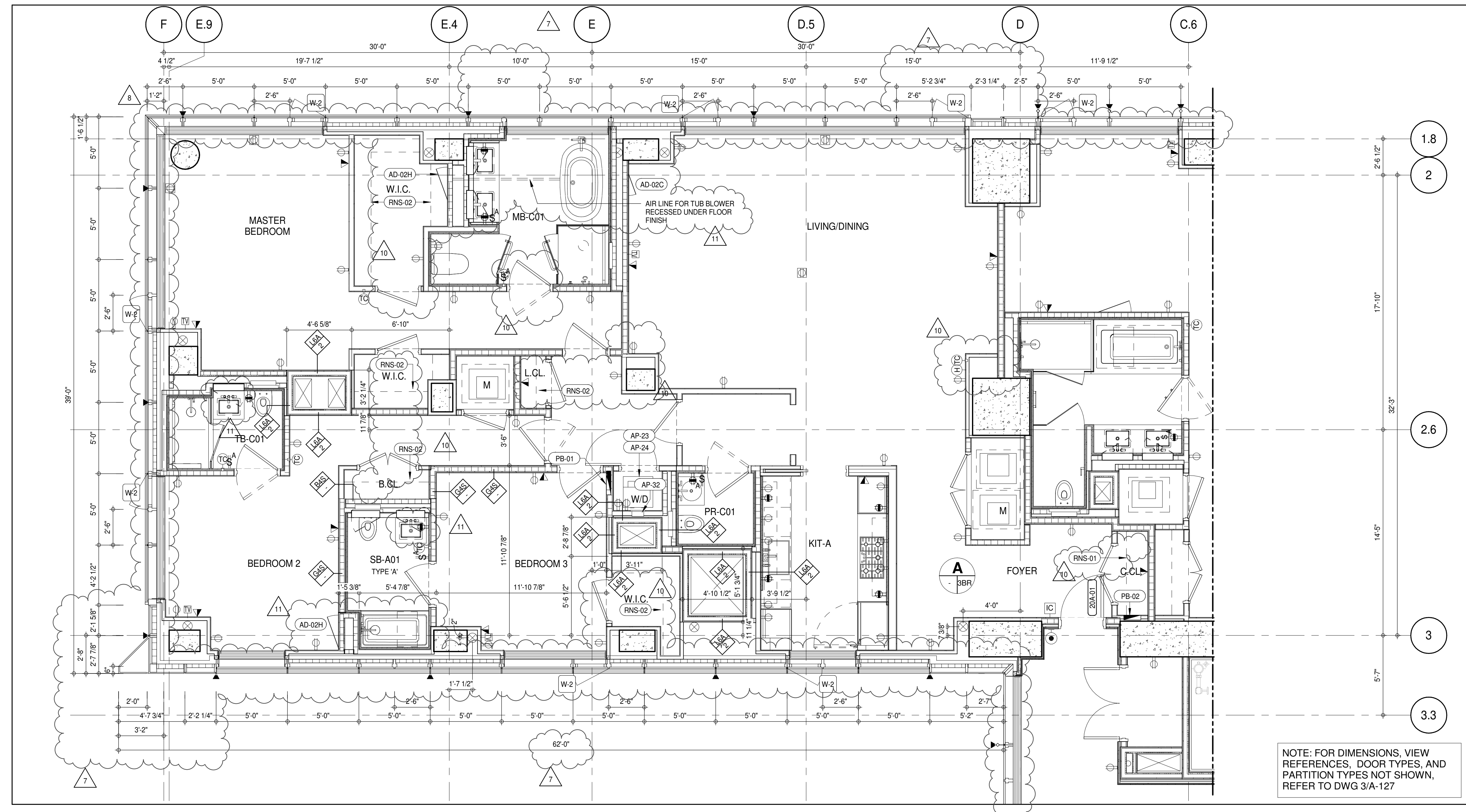
(PB-01) RESIDENTIAL ELECTRICAL PANELBOARD

(PB-02) RESIDENTIAL TELECOM PANELBOARD

(RNS-01) ROD AND SHELF (REFER TO A1-880)

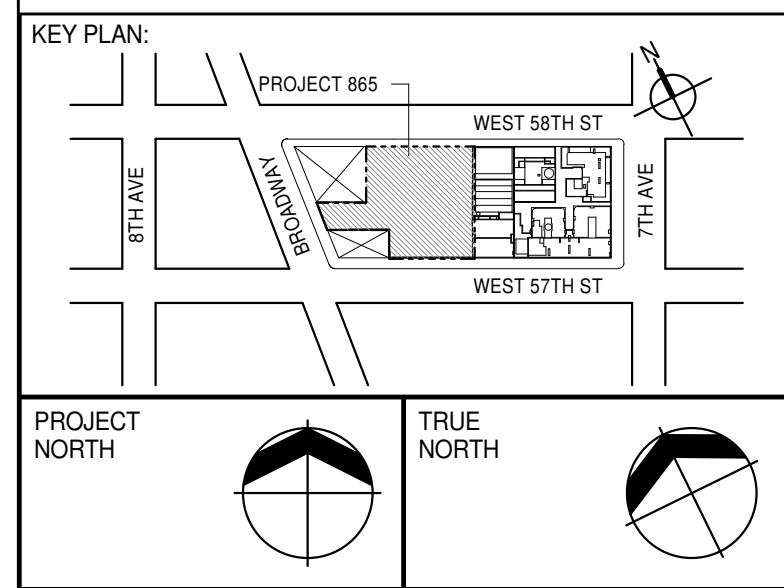
(RNS-02) ROD AND SHELF (N.I.C)

(RT-01) FLUID MEMBRANE WITH CONCRETE PAVERS - TYPE 1



NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 3/A-127

PARTIAL PLAN
A-133
1/4" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 West 37th St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CD PROGRESS ISSUE 7	29 JAN 16
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11	CD BULLETIN ISSUE - 5	12 AUG 16
12	CD BULLETIN ISSUE - 7	14 SEP 16
13	D.O.B. AMENDMENT 3	03 OCT 16

No.	DESCRIPTION	DATE
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0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

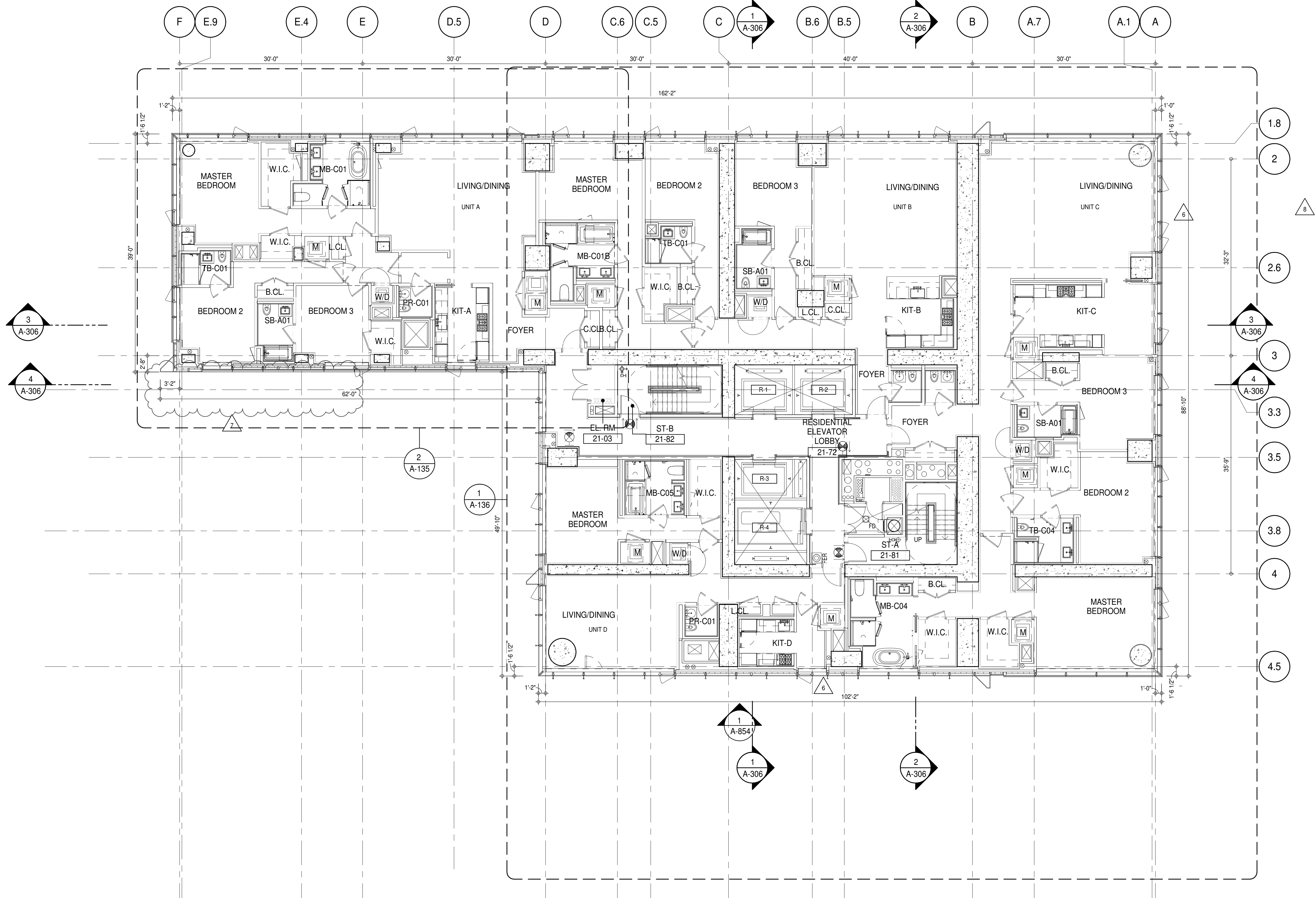
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
20TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-39TH FLOOR)

SEAL & SIGNATURE:
REGISTERED ARCHITECT
DAVID L. LAMBERT
NEW YORK, NY

DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: As indicated
DWG No: **A-133.02**
DOB PAGE No: 196 of 454
DOB 5-SCAN:



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 ALL CURBS AT ROOMWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

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ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

(TAG #) DESCRIPTION

AD-020 ACCESS DOOR FLUSH NON RATED 18" x 18" - GYP

AD-024 ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP

AP-23 COMPACT ELECTRIC DRYER

AP-24 COMPACT WASHING MACHINE

AP-32 RECESSED DRYER VENT BOX - UPWARD VENTING

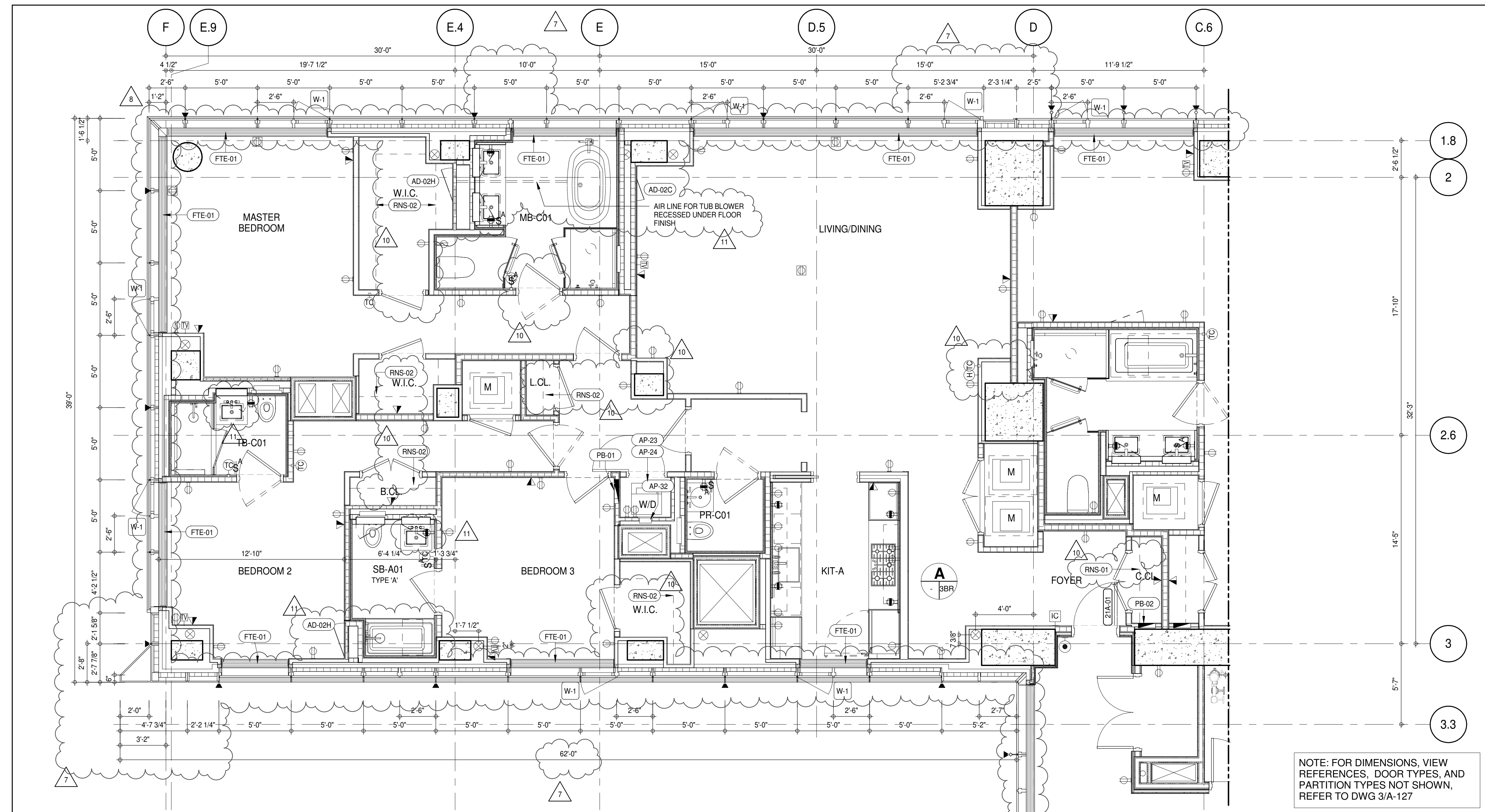
FTE-01 FIN TUBE ENCLOSURE

PB-01 RESIDENTIAL ELECTRICAL PANELBOARD

PB-02 RESIDENTIAL TELECOM PANELBOARD

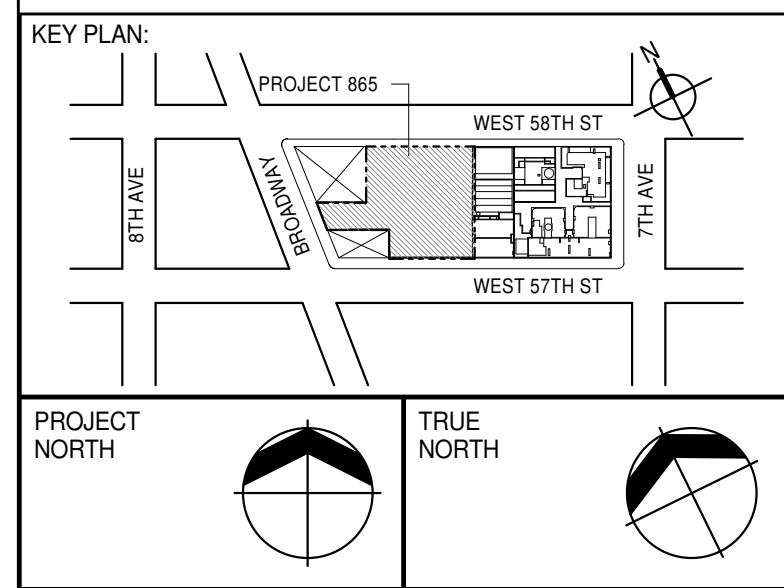
RNS-01 ROD AND SHELF (REFER TO A1-880)

RNS-02 ROD AND SHELF (N.I.C.)



NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 3/A-127

PARTIAL PLAN
A-135
1/4" = 1'-0"



PROJECT NORTH

DEVELOPER:
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805 THIRD AVENUE, 7TH FLOOR
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DESIGN ARCHITECT: Base Building Shell & Core
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INTERIOR DESIGNER: Residential
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TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
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21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
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New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 5	02 NOV 15
9	CD ISSUE 8 - GMP SET	29 JAN 16
10	CD BULLETIN ISSUE - 5	31 MAR 16
11	CD BULLETIN ISSUE - 7	12 AUG 16
	D.O.B. AMENDMENT 3	14 SEP 16
		03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

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CONSULTANT:

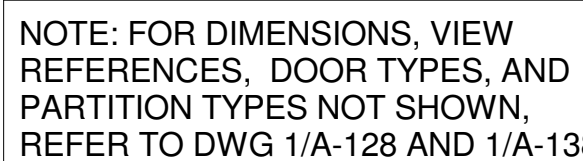


PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
21ST FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-43RD FLOOR)

SEAL & SIGNATURE:
PROJECT No: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: As indicated
DWG No: **A-135.02**

DOB PAGE No: 188 of 454
DOB 5-SCAN:



B	DASHED LINE DETAIL EXTENT OF $E' \geq$ HIGH CURB. CONCRETE CURBS, WIDTH TO MATCH PARTIAL UNLESS OTHERWISE NOTED
C2	ALL CURBS AT DOORWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS
C3	DASHED LINE DETAIL EXTENT OF $E' \geq$ HIGH CURB. CONCRETE CURBS, WIDTH TO MATCH PARTIAL UNLESS OTHERWISE NOTED
C4	DASHED LINE DETAIL EXTENT OF $E' \geq$ HIGH CENTRE BOARD BASE CURB. REFER TO SECTION DETAIL, 9/10 ON SHEET (A-574)
P	CONCRETE HOUSEKEEPING PAD, HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.
T1	TOP OF EXISTING STRUT, SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.
	EDGE OF SLAB $\geq 1'$ FROM FACE OF GLASS UNLESS OTHERWISE STATED AND AT SHEAR WALL CONNECTIONS.
	TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE WALLS TO BE REBUILT TO MATCH THE WALL'S REQUIREMENTS AND NOT BE LIMITED TO FEAR RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR/VAPOUR PERMEABILITY.
	ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR PROTECTION OF WATERPROOFING.

<u>TAG #</u>	<u>DESCRIPTION</u>
<u>AD-02H</u>	ACCESS DOOR FLUSH NON RATED "8" X 17" - GY
<u>AP-23</u>	COMPACT ELECTRIC DRYER
<u>AP-24</u>	COMPACT WASHING MACHINE
<u>AP-32</u>	RECESSED DRYER VENT BOX - UPWARD VENTING
<u>FTE-01</u>	FIN TUBE ENCLOSURE
<u>PB-01</u>	RESIDENTIAL ELECTRICAL PANELBOARD
<u>PB-02</u>	RESIDENTIAL TELECOM PANELBOARD
<u>RNS-01</u>	ROD AND SHELF (REFER TO AJ-880)
<u>RNS-02</u>	ROD AND SHELF (N.I.C)

LANDMARK/PRESERVATION CONSULTANT:
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39 West 37th Street, 12A
New York, NY 10018
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10	CD BULLETIN ISSUE - 1	22 APR 16
11	CD BULLETIN ISSUE - 5	12 AUG 16
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CONSULTANT:



AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

21ST FLOOR PLAN (RESIDENTIAL -
TIER 1) (MFD-43RD FLOOR)

SEAL & SIGNATURE:	DATE:	15 OCT 1
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	PROJECT No:	1216-0

	DRAWN: Author	REV:
		12

CHS - Chubb
 SCALE: 1/4" = 1'-0"

12

DWG No:

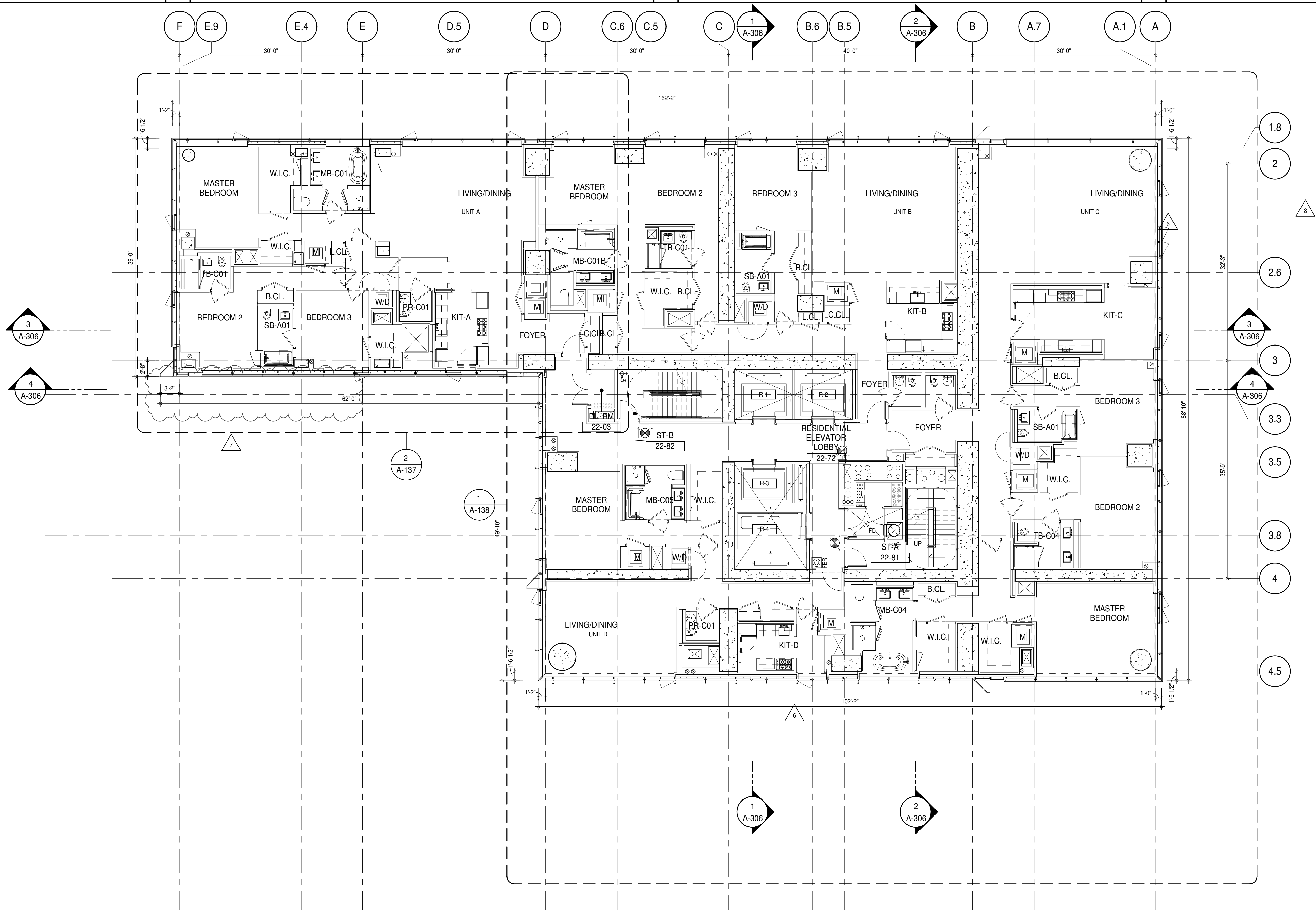
A-136.02

DOB PAGE No: 402 of 454

DOB EMPLOYEE STAMP:		DOB B-SCAN:
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SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 ALL CURBS AT CORNERS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

04 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

05 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

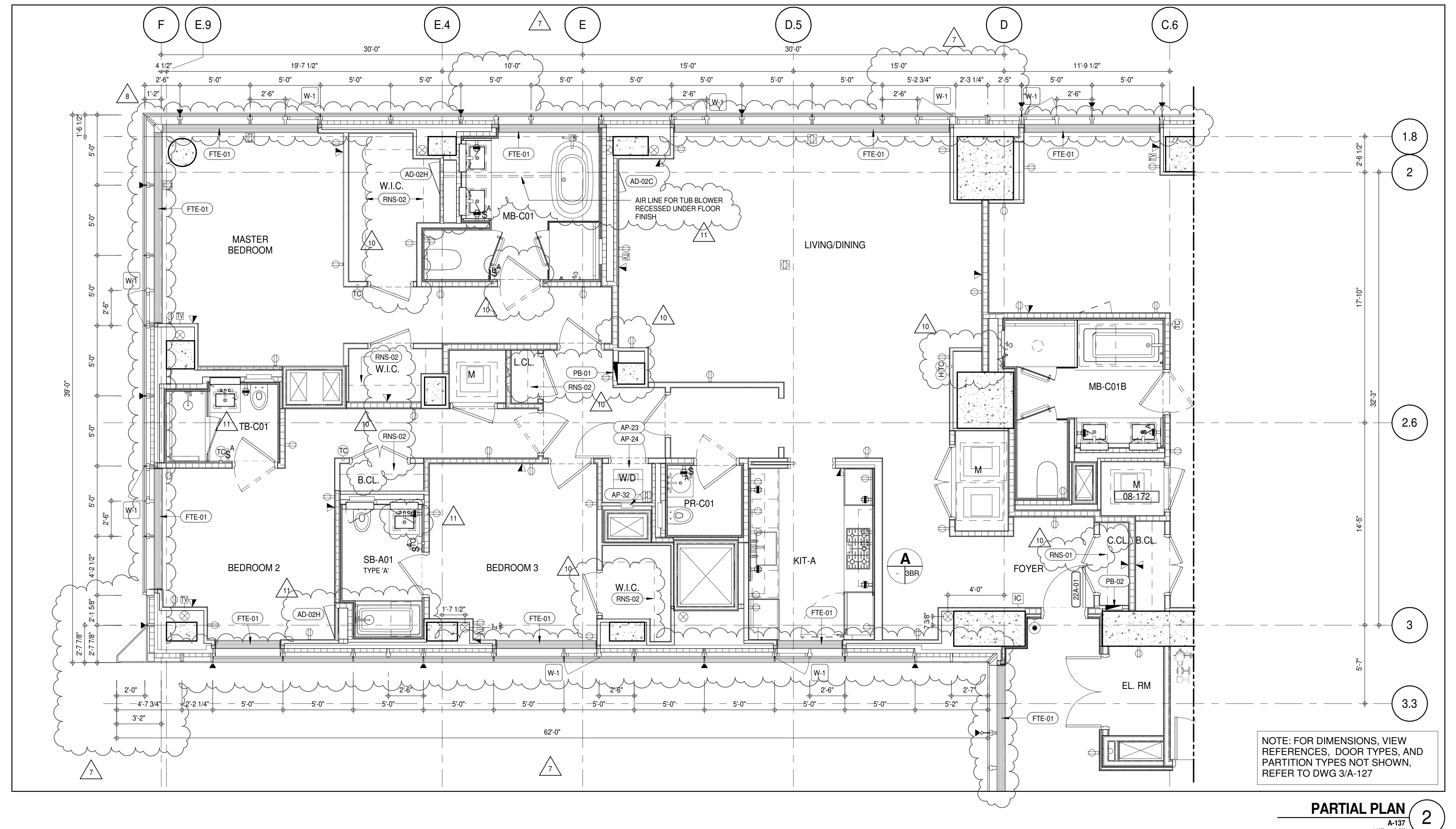
TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-020	ACCESS DOOR FLUSH NON RATED 18" x 18" - GYP
AD-024	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
AP-23	COMPACT ELECTRIC DRYER
AP-24	COMPACT WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO A1-880)
RNS-02	ROD AND SHELF (N.I.C)

LEVEL	CORE ROOM ASSIGNMENT
25	FIRE ALARM CLOSET
24	TELECOM ROOM
23	TELECOM ROOM



NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 3/A-127

PARTIAL PLAN
1/4" = 1'-0"

DEPT OF BLDGS & FIRE
ESB03137501

PROJECT #10
WEST 57TH ST
WEST 57TH ST
WEST 57TH ST

PROJECT NORTH
TRUE NORTH

DEVELOPER:
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MEP ENGINEERS:
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TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 57th Street, 9th Floor
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TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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CURTAINWALL CONSULTANT:
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LANDMARK/PRESERVATION CONSULTANT:
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39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

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7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CD PROGRESS ISSUE 7	29 JAN 16
10	CD ISSUE 8 - GMP SET	31 MAR 16
11	D.O.B. AMENDMENT 3	12 AUG 16
12	CD BULLETIN ISSUE - 7	14 SEP 16
13	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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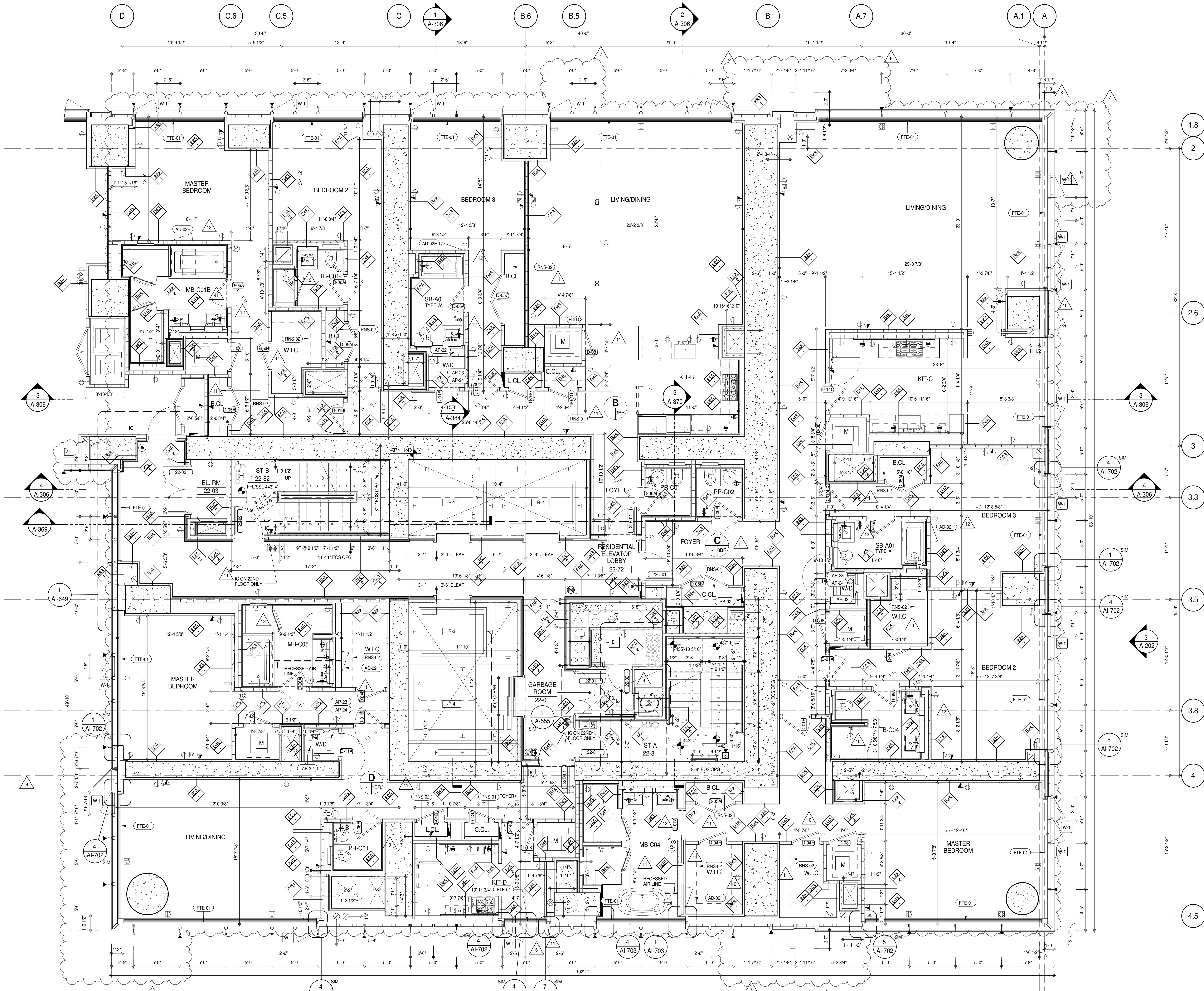
CONSULTANT:
AAI ARCHITECTS, P.C.

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
22ND-25TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-45TH-48TH FLOOR)

SEAL & SIGNATURE	DATE:	PROJECT No:	15 OCT 14
	DRAWN: Author	REV:	1216-00
	CHECKED: Checker	11	
	SCALE: As indicated		
	DWG No:		
	DOB PAGE No:	119 of 454	
	DOB 5-SCAN:		

A-137.02



SHEET NOTES:

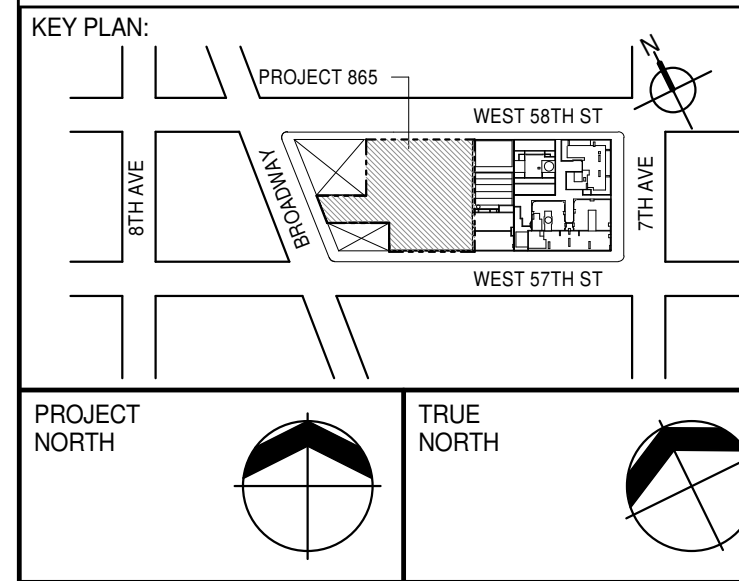
- DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
- DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.
- DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).
- CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.
- TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.
- PROVIDE 2 HR RATED LSA PARTITION ON 24TH AND 25TH FLOORS.
- EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.
- TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-02H	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
AP-23	COMPACT ELECTRIC DRYER
AP-24	COMPACT WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO AI-880)
RNS-02	ROD AND SHELF (N.I.C.)

LEVEL	CORE ROOM ASSIGNMENT
25	FIRE ALARM CLOSET
24	TELECOM ROOM
23	TELECOM ROOM

NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 1/A-128



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TEL: 312 920 1888 FAX: 312 920 1775

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0' 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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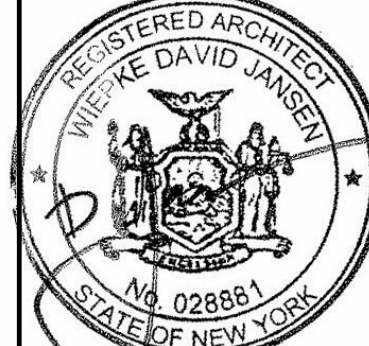
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

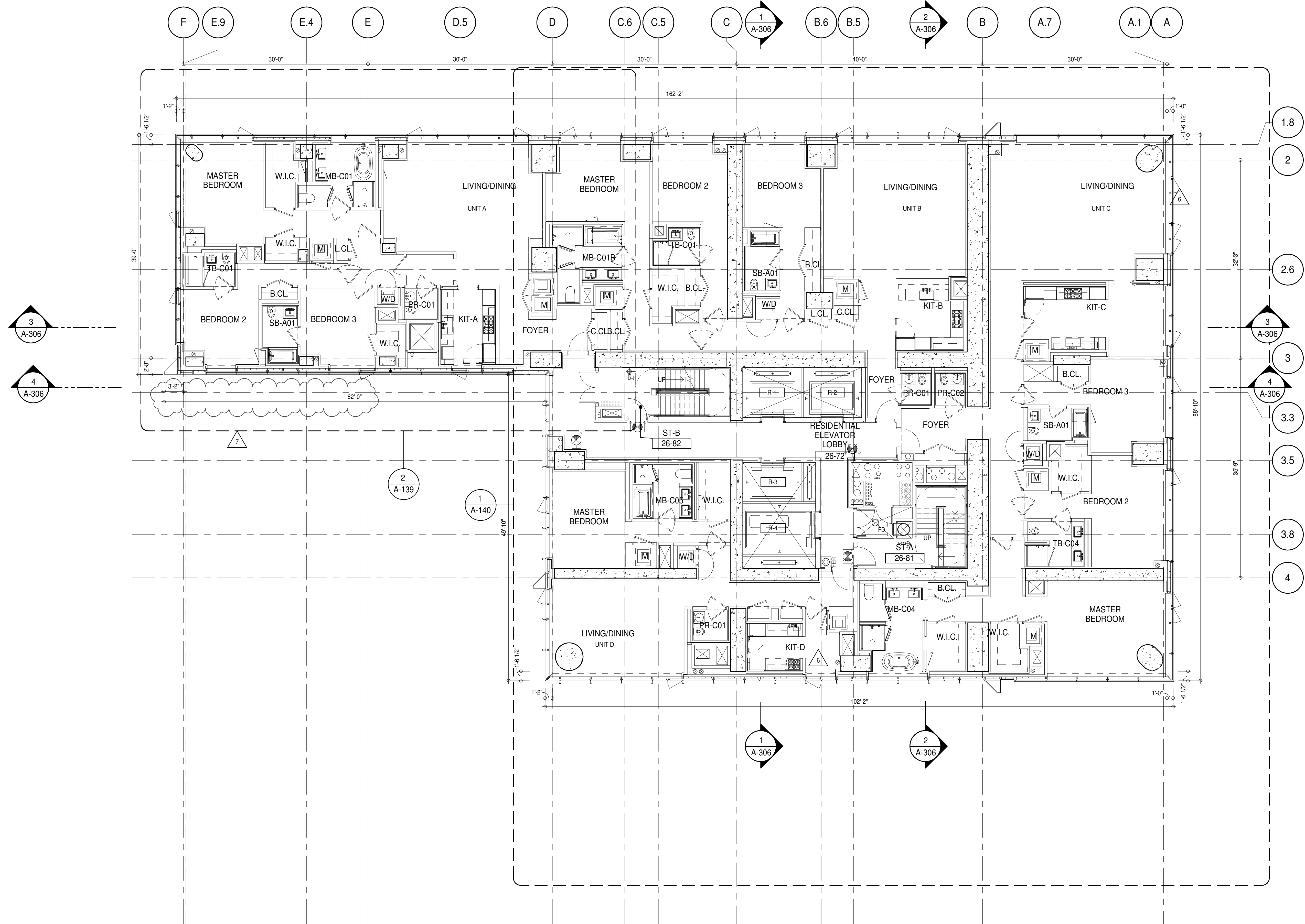


PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
22ND-25TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-45TH-48TH FLOOR)

SEAL & SIGNATURE: 	DATE: 15 OCT 14 PROJECT No: 1216-00 DRAWN: Author CHECKED: Checker SCALE: 1/4" = 1'-0" DWG No: A-138.02
--	---

DOB PAGE No: 111 of 454
DOB 5-SCAN:



SHEET NOTES:

G1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

G2 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

G3 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

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ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG # DESCRIPTION

AD-02C ACCESS DOOR FLUSH NON RATED 18" x 18" - GYP

AD-02H ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP

AP-23 COMPACT ELECTRIC DRYER

AP-24 COMPACT WASHING MACHINE

AP-32 RECESSED DRYER VENT BOX - UPWARD VENTING

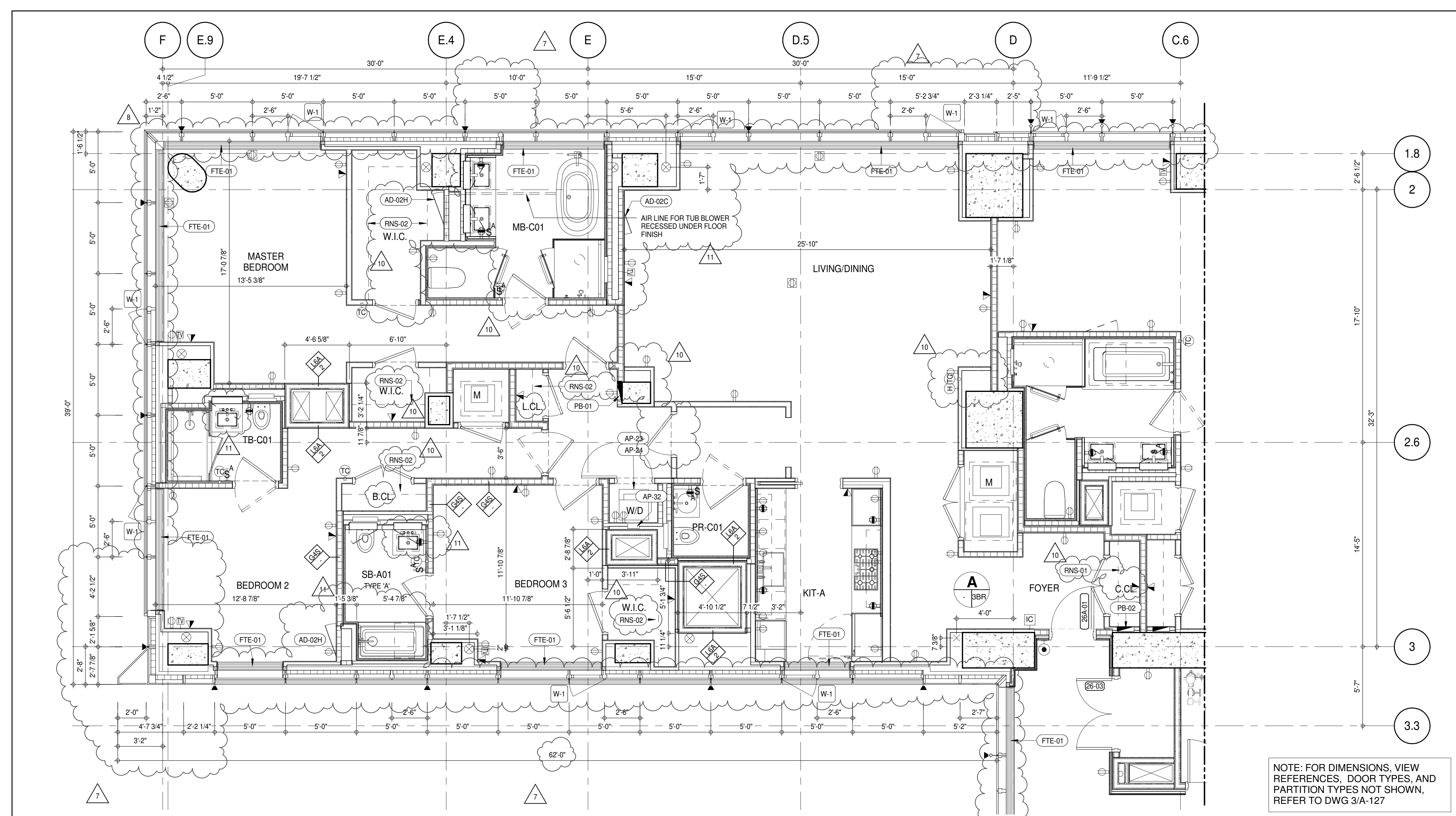
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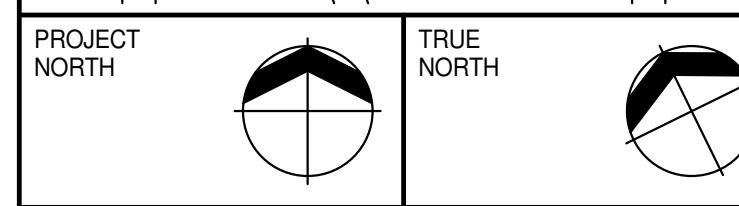
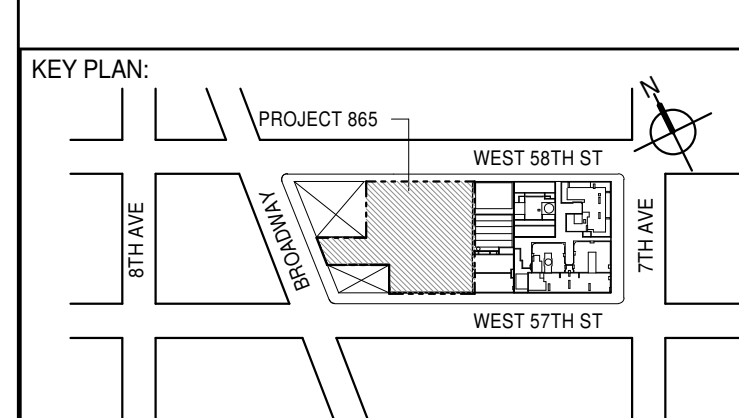
RNS-01 ROD AND SHELF (REFER TO AI-880)

RNS-02 ROD AND SHELF (N.I.C.)



NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 3/A-127

PARTIAL PLAN
A-139
1/4" = 1'-0"



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
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TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
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5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. SUBMISSION	21 SEP 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	02 NOV 15
10	CD PROGRESS ISSUE 6	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 5	12 AUG 16
13	CD BULLETIN ISSUE - 7	14 SEP 16
14	D.O.B. AMENDMENT 3	03 OCT 16

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
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14	D.O.B. AMENDMENT 3	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

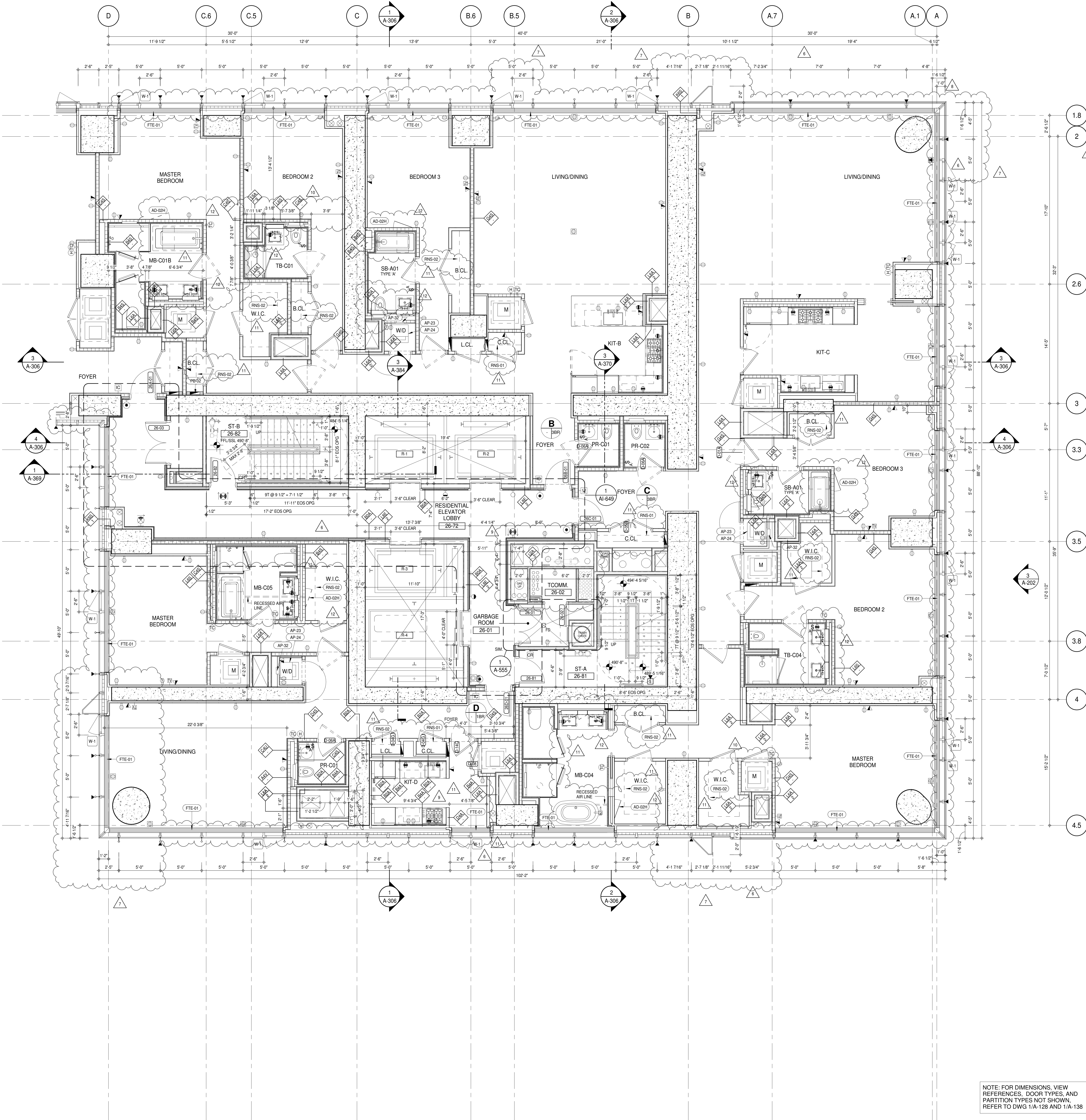
PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **26TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-49TH FLOOR)**

SEAL & SIGNATURE: **DAVID L. LEE**
DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: As Indicated
DWG No: **A-139.02**

DOB PAGE No: 113 of 454
DOB 5-SCAN:

DOB EMPLOYEE STAMP:



SHEET NOTES:

G1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

G2 ALL CURBS AT ROOFSWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

G3 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

P1 DASHED LINE DENOTES EXTENT OF 6" HIGH CONCRETE BOARD BASE CURB. REFER TO SECTION DETAIL, (B) ON SHEET (A-574).

P2 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 1" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-02H	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
AP-23	COMPACT ELECTRIC DRYER
AP-24	COMPACT WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO A1-880)
RNS-02	ROD AND SHELF (N.I.C)

NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 1/A-128 AND 1/A-138

KEY PLAN:

PROJECT INFO:

DEVELOPER: EXTRELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 922 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
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New York, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

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Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 57th Street, 9th Floor
New York, NY 10001 2722
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TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5555 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
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15	D.O.B. AMENDMENT 3	03 OCT 16

0 2' 0" 4' 0" 8' 0"

D.O.B. SUBMISSION

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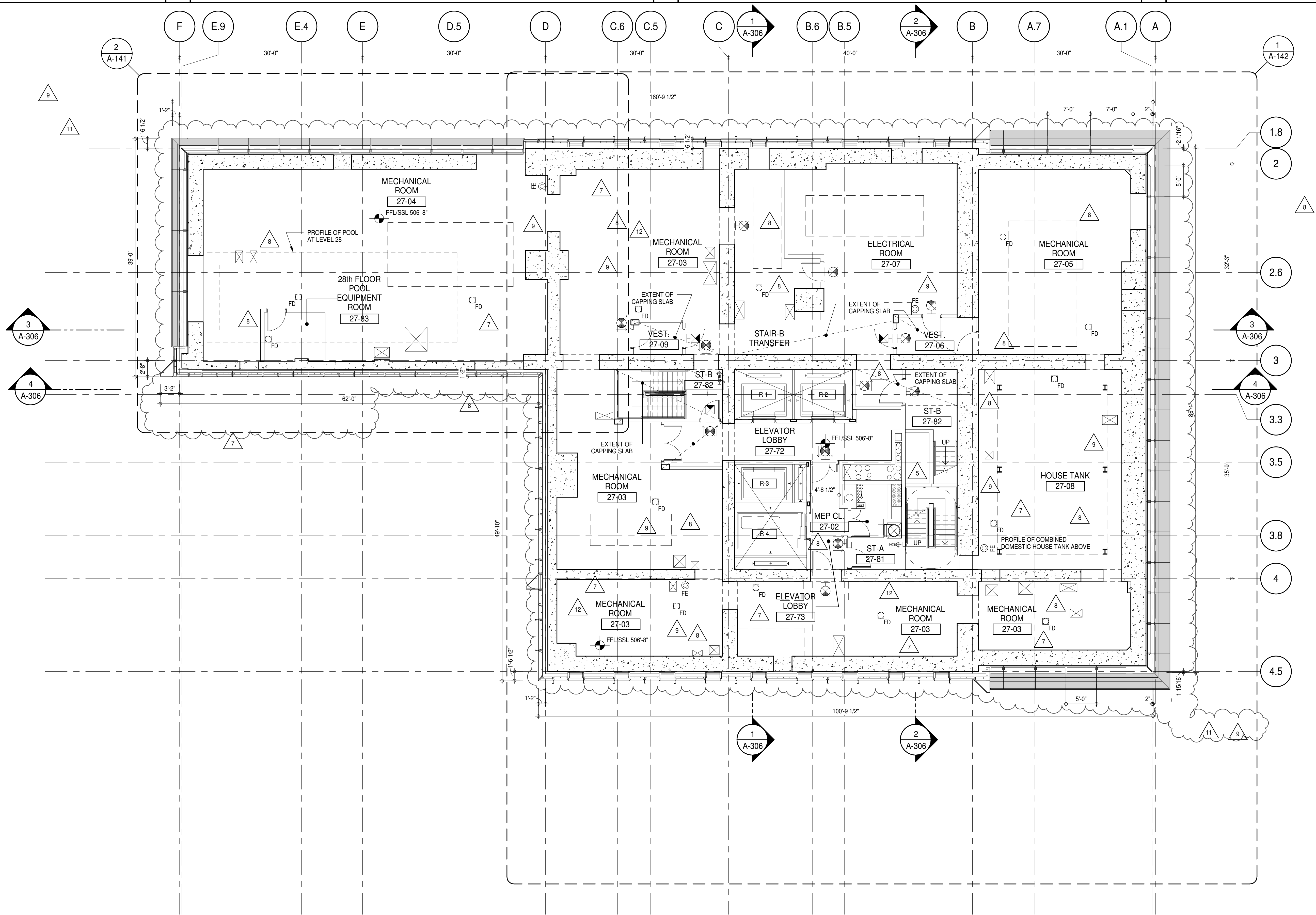
CONSULTANT:

A A I
ARCHITECTS, P.C.

PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE: 26TH FLOOR PLAN (RESIDENTIAL - TIER 1) (MFD-49TH FLOOR)

SEAL & SIGNATURE	DATE:	15 OCT 14
	PROJECT No:	1216-00
	DRAWN: Author	REV:
	CHECKED: Checker	12
	SCALE: 1/4" = 1'-0"	
	DWG No:	A-140.02
	DOB PAGE No:	113 of 454
	DOB EMPLOYEE STAMP:	DOB S-SIGN:



SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C2 DASHED LINE DENOTES EXTENT OF 8" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C3 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

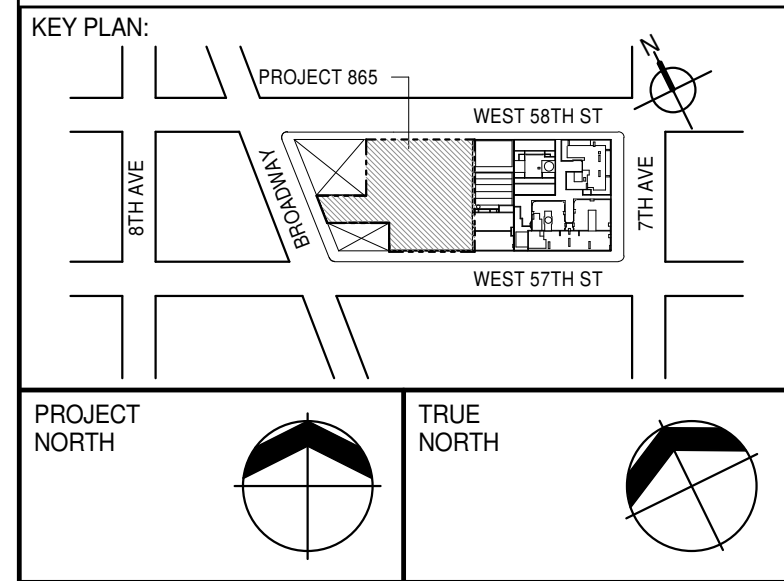
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EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

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AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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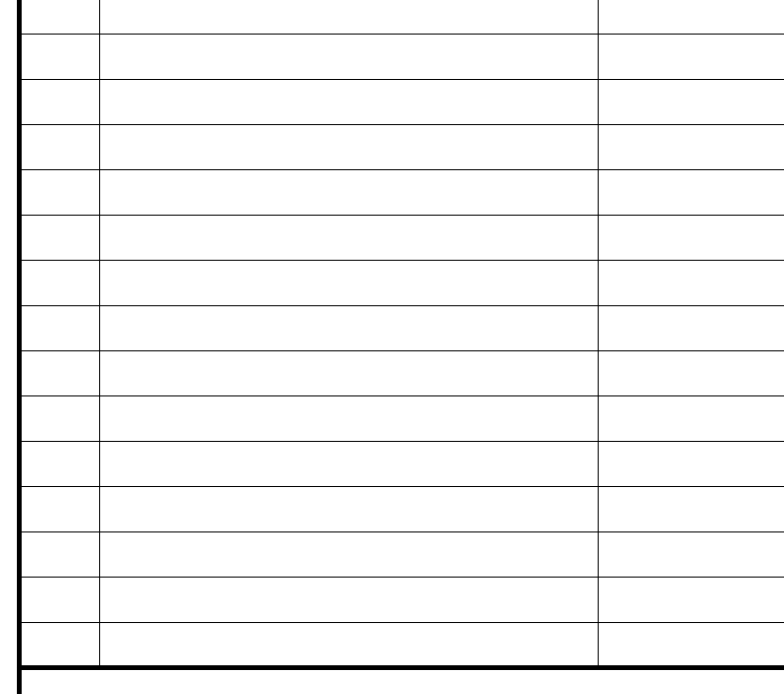
GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 57th Street, 8th Floor
New York, NY 10001-2727
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13	D.O.B. AMENDMENT 3	03 OCT 16



D.O.B. SUBMISSION

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CONSULTANT:

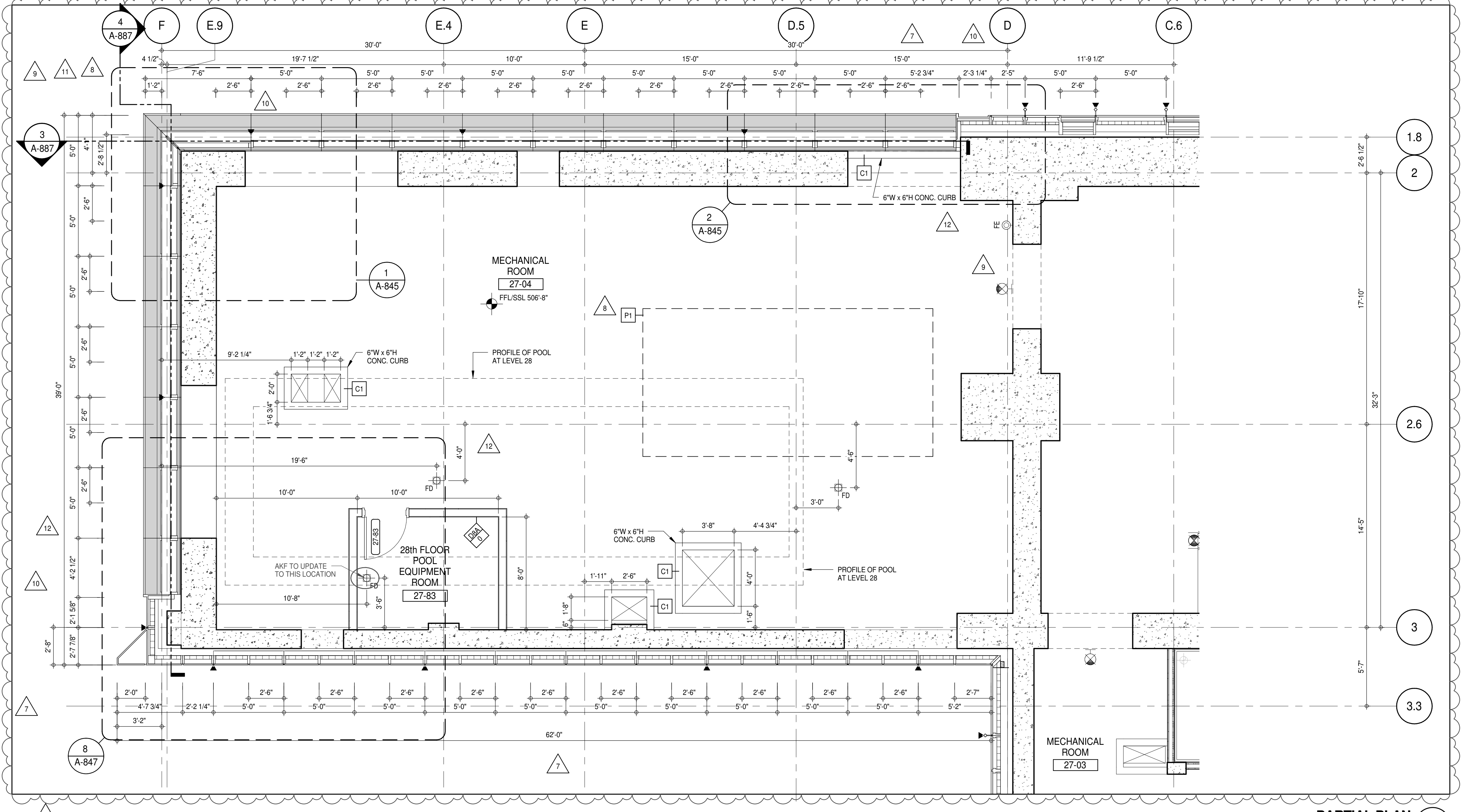


PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

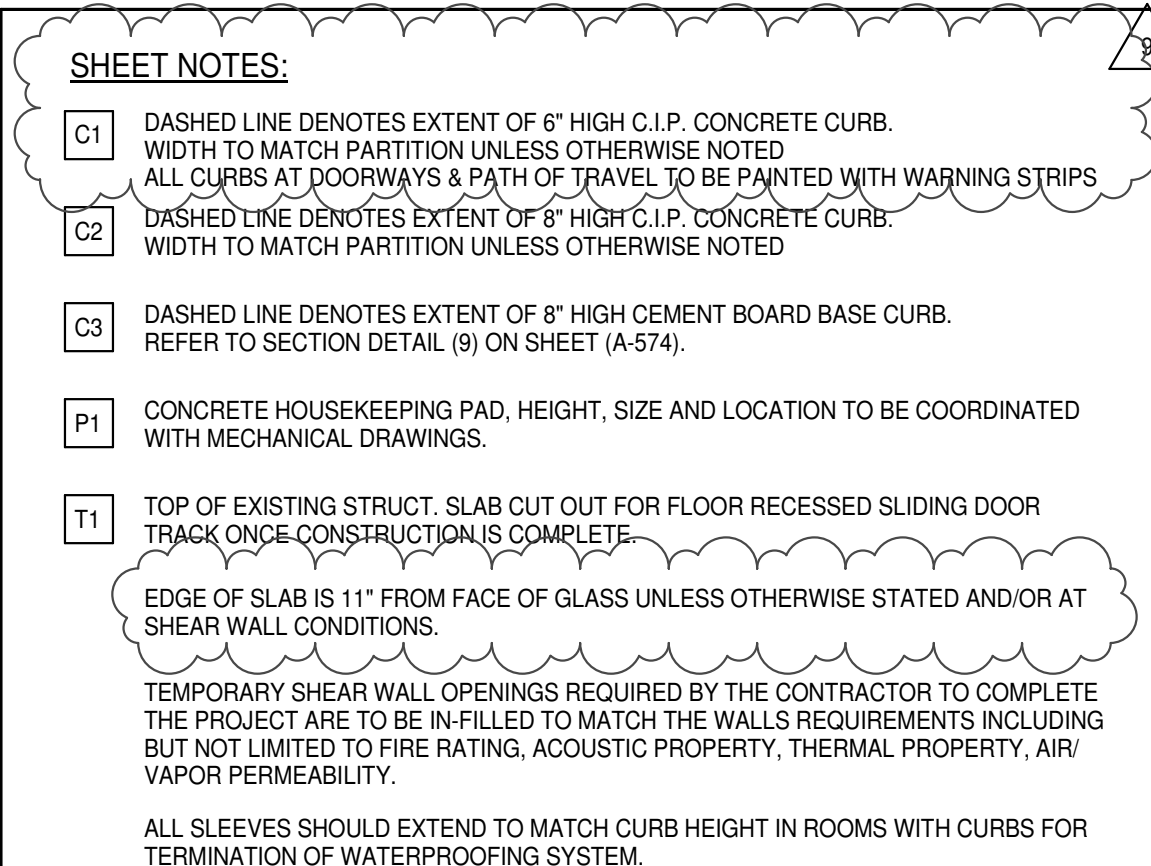
DRAWING TITLE: 27TH FLOOR PLAN (MECHANICAL)
(MFD-50TH FLOOR)

SEAL & SIGNATURE: DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: As Indicated
DWG No: A-141.02

DOB PAGE No: 114 of 454
DOB 5 SCAN:

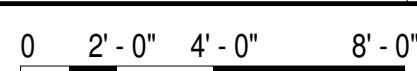


PARTIAL PLAN
A-141
1/4" = 1'-0"



RECEIVED AS: A 1204 CD PROCEEDINGS ISSUE 2 03 MAR 1981

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 1
2	CD PROGRESS ISSUE 2	19 DEC 1
3	D.O.B. SUBMISSION	18 FEB 1
4	CD PROGRESS ISSUE 3	09 MAR 1
	D.O.B. SUBMISSION	27 APR 1
5	CD PROGRESS ISSUE 4	01 JUN 1
6	CD PROGRESS ISSUE 5	10 AUG 1
	D.O.B. AMENDMENT 2	21 SEP 1
7	CD PROGRESS ISSUE 6	02 NOV 1
8	CD PROGRESS ISSUE 7	29 JAN 11
9	CD ISSUE 8 - GMP SET	31 MAR 11
10	CD BULLETIN ISSUE - 2	11 MAY 11
11	CD BULLETIN ISSUE - 3	25 MAY 11
12	CD BULLETIN ISSUE - 7	14 SEP 11
	D.O.B. AMENDMENT 3	03 OCT 11



D.O.B. SUBMISSION

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CONSULTANT: **A A T**

AAI

ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET

NEW YORK, NY

DRAWING TITLE:

27TH FLOOR PLAN (MECHANICAL)

(MFD-50TH FLOOR)

SEAL & SIGNATURE:	DATE:	15 OCT
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	PROJECT No: 1216	
	DRAWN: Author	REV:


 CHK: _____ Checker _____ 12

SCALE: 1/4" = 1'-0"

A-142.02

STATE OF NEW YORK
No. 028881
A-142.02

DOB PAGE No: 113 of 454	
DOB EMPLOYEE STAMP:	DOB B-SCAN

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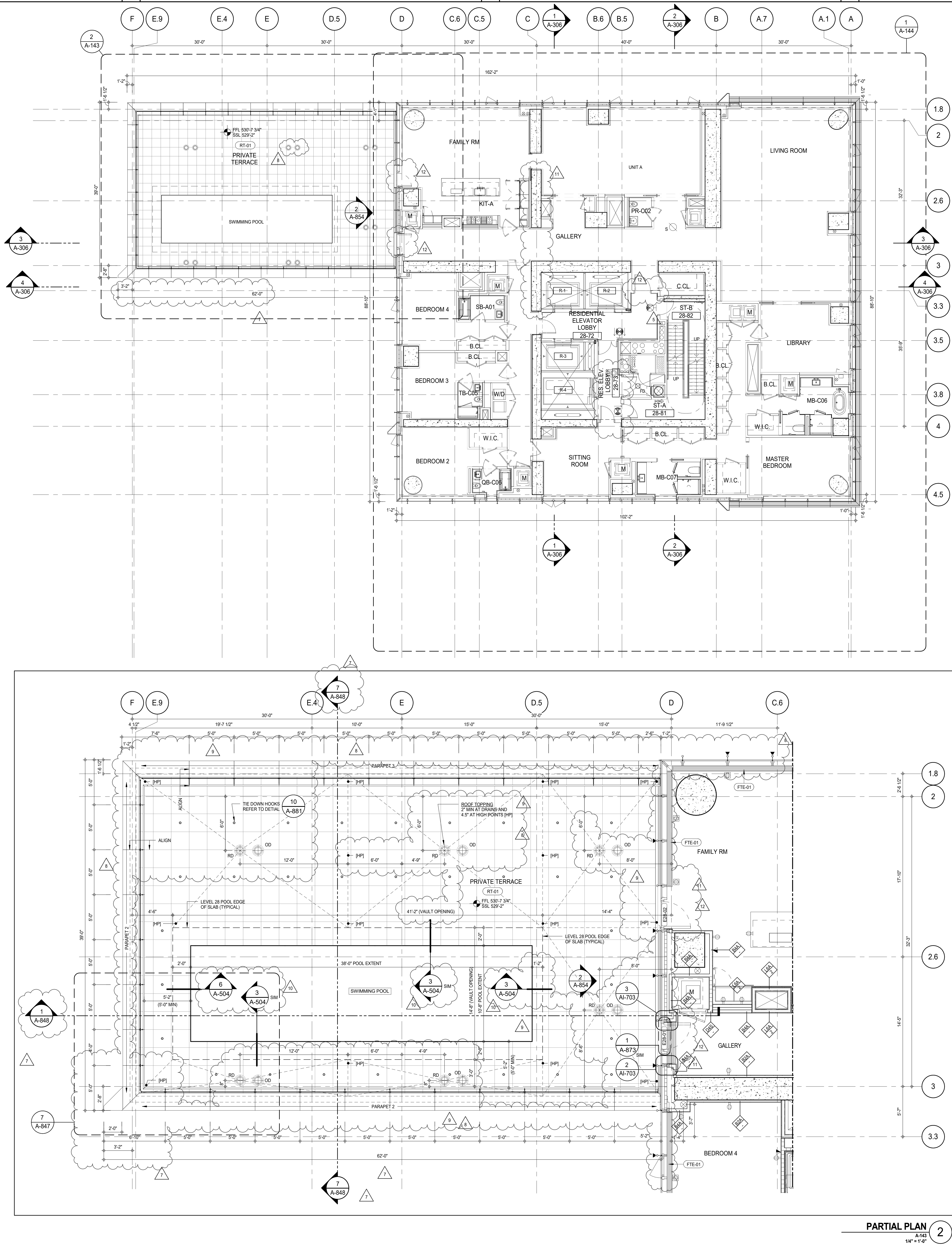
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SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C2 ALL CURBS AT DOORWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

C3 DASHED LINE DENOTES EXTENT OF 8" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

P1 DASHED LINE DENOTES EXTENT OF 6" HIGH CONCRETE BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

P2 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK. ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE INFILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEY PLAN:

PROJECT INFO:

PROJECT: 217 WEST 57TH STREET, NEW YORK, NY

DATE: 15 OCT 14

PROJECT No: 1216-00

REVISION: 12

DESIGNER: AAI ARCHITECTS, P.C.

ARCHITECT OF RECORD: AAI ARCHITECTS, P.C.

STRUCTURAL ENGINEER: WSP CANTOR SEINUK

MEP ENGINEERS: AKF GROUP

GEOTECHNICAL ENGINEERS: Langan Engineering & Environmental Services

CODE CONSULTANTS: Construction Consulting Associates

CURTAINWALL CONSULTANT: A.J.L.P. Consulting

LANDMARK/PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc.

ISSUED AS A-131 - CD PROGRESS ISSUE 3 - 09 MAR 15

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 3	25 MAY 16
14	CD BULLETIN ISSUE - 5	12 AUG 16
15	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: AAI ARCHITECTS, P.C.

PROJECT: 217 WEST 57TH STREET, NEW YORK, NY

DRAWING TITLE: 28TH FLOOR PLAN (RESIDENTIAL - TIER 2) (MFD-53RD FLOOR)

SEAL & SIGNATURE: [Signature]

DATE: 15 OCT 14

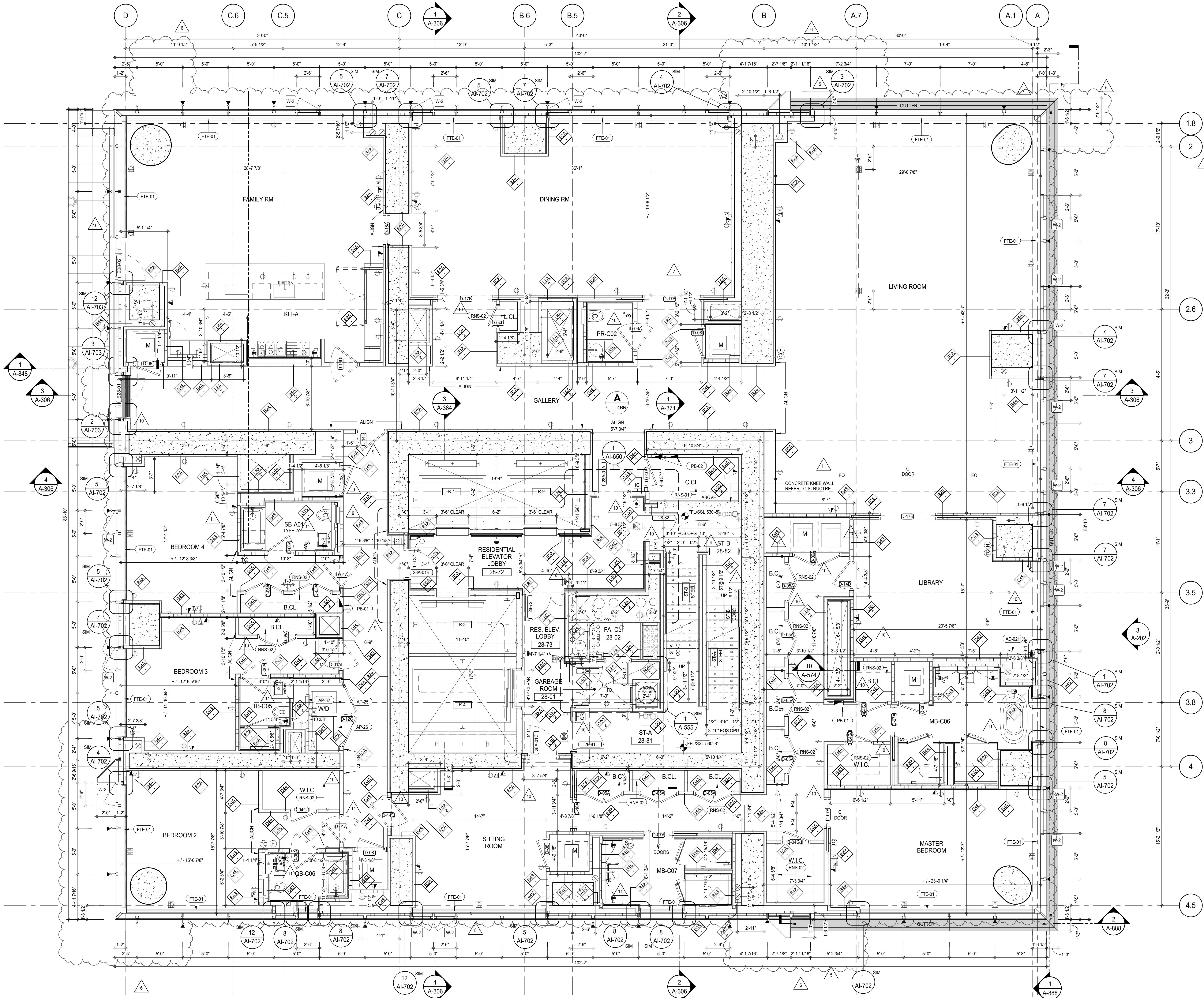
PROJECT No: 1216-00

REVISION: 12

A-143.02

DOB PAGE No: 116 of 454

DOB 5-SCAN:



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 ALL CURBS AT ROOMWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

04 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (D) ON SHEET (A-574).

05 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

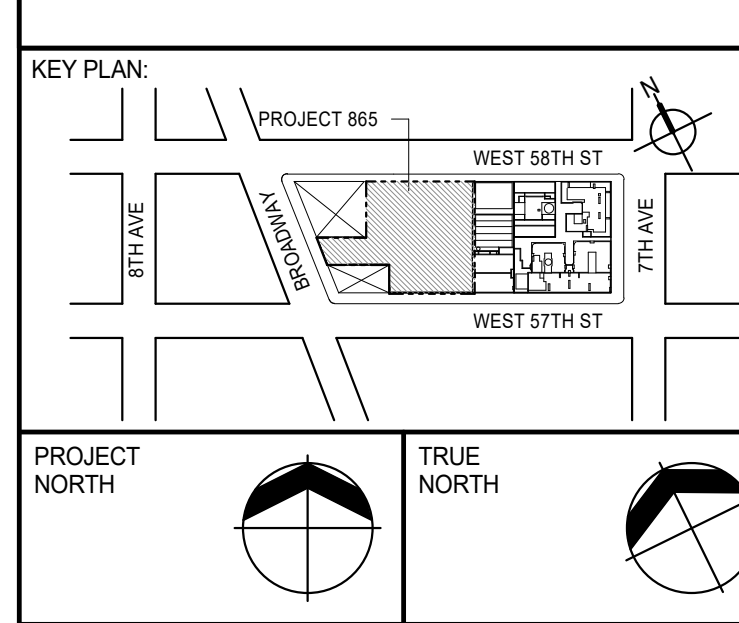
EDGE OF SLAB IS 1" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

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ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-02H	ACCESS DOOR FLUSH NON RATED 26" X 17" - GYP
AP-25	LARGE ELECTRIC DRYER
AP-26	LARGE WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO A1-880)
RNS-02	ROD AND SHELF (N.I.C)



DEVELOPER: EXTRELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
 288 Fifth Ave., 7th Floor
 New York, NY 10001
 TEL: 646 988 7000 FAX: 646 988 7000

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJI ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER:
WSP CANTOR SEINUK
 228 EAST 45th Street
 New York, NY 10017 USA
 TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
 165 Broadway, 22nd Floor
 New York, NY 10006 USA
 TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
 21 Penn Plaza - 360 West 51st Street, 9th Floor
 New York, NY 10001-2727
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
 100 Church Street
 New York, NY 10007
 TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
 40 Worth Street, Suite 826
 New York, NY 10013
 TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
 39 West 57th Street, 12A
 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 3	09 MAR 15
4	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15
6	D.O.B. AMENDMENT 2	21 SEP 15
7	CD PROGRESS ISSUE 5	02 NOV 15
8	D.O.B. AMENDMENT 3	29 JAN 16
9	CD PROGRESS ISSUE 6	31 MAR 16
10	D.O.B. AMENDMENT 4	25 MAY 16
11	CD PROGRESS ISSUE 7	12 AUG 16
12	D.O.B. AMENDMENT 5	14 SEP 16
13	CD PROGRESS ISSUE 8	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

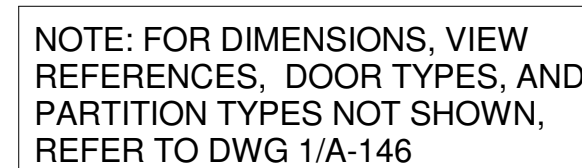
CONSULTANT:
AAI
 ARCHITECTS, P.C.

PROJECT:
 217 WEST 57TH STREET
 NEW YORK, NY

DRAWING TITLE:
 28TH FLOOR PLAN (RESIDENTIAL - TIER 2) (MFD-53RD FLOOR)

SEAL & SIGNATURE:
 PROJECTED ARCHITECT
 PROJECT NO. 1216-00
 DRAWN: Author
 CHK: Checker
 SCALE: 1/4" = 1'-0"
 DWG No: 11

DOB PAGE No: 117 of 454
DOB 5-SCAN:



C2	DASHED LINE DENOTES EXTENT OF 6" HIGH C/P. CONCRETE CURB WIDTH TO MATCH PARTIAL UNLESS OTHERWISE NOTED ALL SPALLS AT JOINTS AS A MINIMUM 3" DEEP, TO BE PAINTED WITH WARNING STRIPS
C3	DASHED LINE DENOTES EXTENT OF 6" HIGH C/P. CONCRETE CURB WIDTH TO MATCH PARTIAL UNLESS OTHERWISE NOTED
C9	DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB REFER TO SECTION DETAIL (9) ON SHEET (A-574)
F1	CONCRETE HOUSINGKEEPING PAD, HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.
T1	TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK CURB CONSTRUCTION IS COMPLETE EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.
ALL	TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE IN ALIGNED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO PER RATING, ACQUISITORY, INHERENT, PROPERTY, AIR VAPOR PERMEABILITY.
ALL	ALL SLOPES SHOULD EXCEED TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR PROTECTIVE WATERBARRIER.

<u>TAG #</u>	<u>DESCRIPTION</u>
AD-02H1	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
AP-23	COMPACT ELECTRIC DRYER
AP-24	COMPACT WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO A1-880)
RNS-02	ROD AND SHIELD (N.I.C)

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL

CONSULTANT



PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE

29TH FLOOR PLAN (RESIDENTIAL
TIER 2) (MFD-54TH FLOOR)

SEAL & SIGNATURE:

DATE: 15 OCT 14

PROJECT NO:		REV 00	
DRAWN: Author		DES:	

CHICK: Chicken	11
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SCALE: 1/4" = 1'-0"

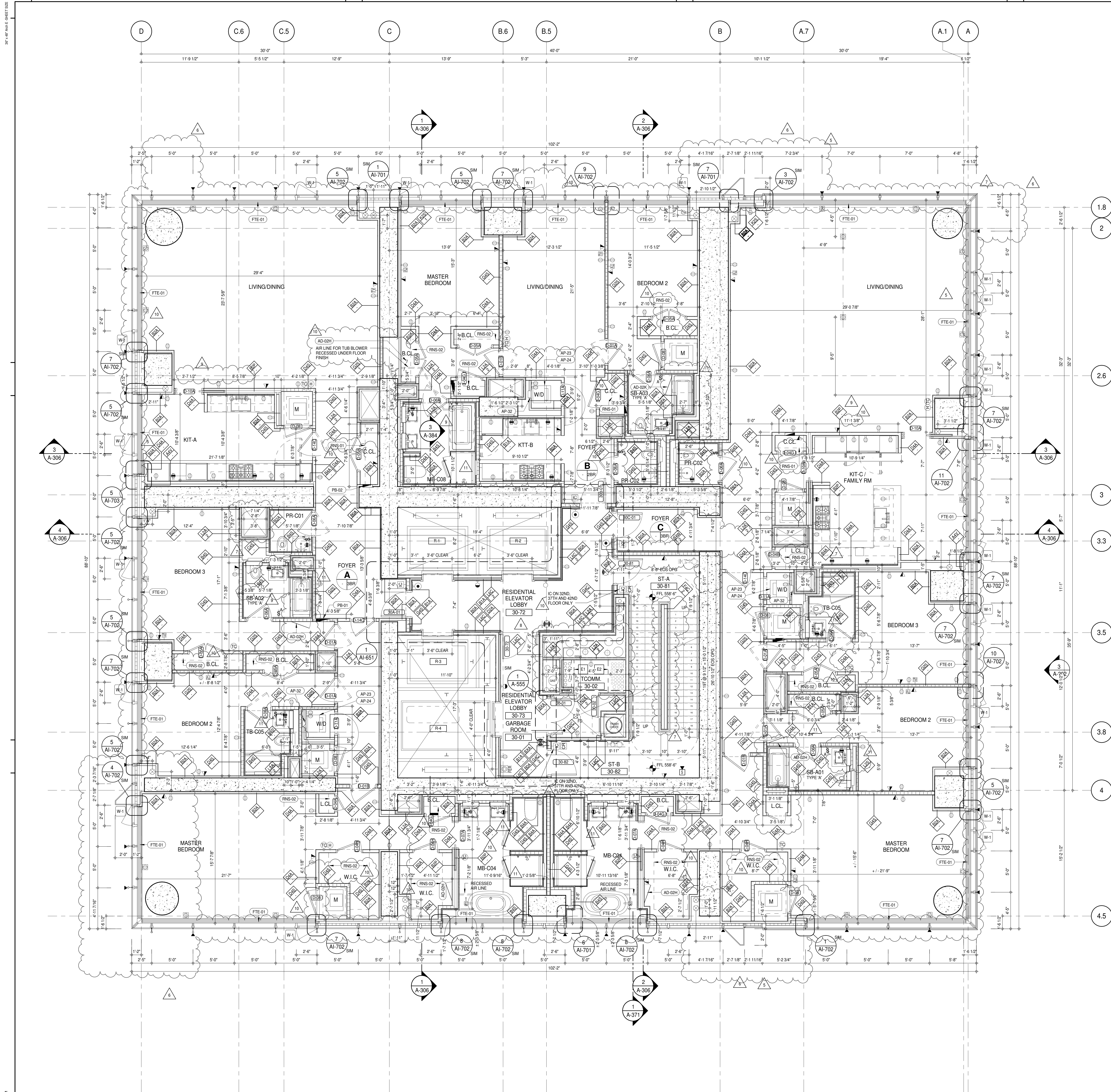
DWG No. _____

A-145.02

DOB EMPLOYEE STAM

DOB PAGE NO.	118 of 434
	DOB B SCAN:

[illegible]



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK (ONCE CONSTRUCTION IS COMPLETE).

E1 PROVIDE 2 HR RATED LSA PARTITION ON FLOORS 31, 32, 34, 35, 37, 38, 40, 41, 43, 44.

E2 PROVIDE 2 HR RATED LSA PARTITION ON FLOORS 30, 31, 33, 34, 36, 37, 39, 40, 42, 43.

EDGE OF SLAB IS 1" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE INFILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACoustic PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

KEYNOTE LEGEND:

TAG # DESCRIPTION

AD-021 ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP

AD-026 ACCESS DOOR FLUSH NON RATED 28" X 14" - STONE

AP-23 COMPACT ELECTRIC DRYER

AP-24 COMPACT WASHING MACHINE

AP-32 RECESSED DRYER VENT BOX - UPWARD VENTING

FTE-01 FIN TUBE ENCLOSURE

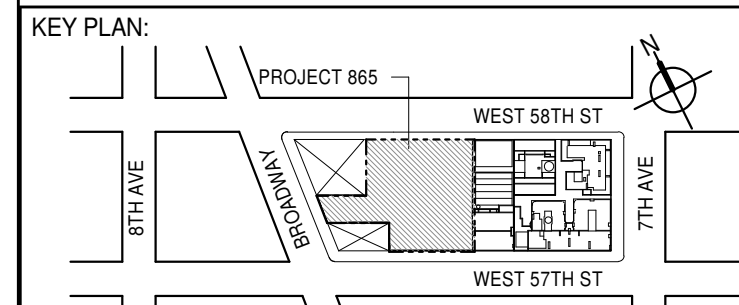
PB-01 RESIDENTIAL ELECTRICAL PANELBOARD

PB-02 RESIDENTIAL TELECOM PANELBOARD

RNS-01 ROD AND SHELF (REFER TO AI-880)

RNS-02 ROD AND SHELF (N.I.C.)

LEVEL	CORE ROOM ASSIGNMENT
44	ELECTRICAL CLOSET
43	FIRE ALARM CLOSET
42	TELECOM ROOM
41	ELECTRICAL CLOSET
40	FIRE ALARM CLOSET
39	TELECOM ROOM
38	ELECTRICAL CLOSET
37	FIRE ALARM CLOSET
36	TELECOM ROOM
35	ELECTRICAL CLOSET
34	FIRE ALARM CLOSET
33	TELECOM ROOM
32	ELECTRICAL CLOSET
31	FIRE ALARM CLOSET
30	TELECOM ROOM



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
Base Building Shell & Core
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
288 Elm Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER: **VSP CANTOR SEINUK**
228 East 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10038 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK PRESERVATION CONSULTANT: **Jan Hind Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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8	CD PROGRESS ISSUE 7	29 JAN 16
9	CD ISSUE 8 - GMP SET	31 MAR 16
10	CD BULLETIN ISSUE - 2	11 MAY 16
11	CD BULLETIN ISSUE - 5	12 AUG 16
12	CD BULLETIN ISSUE - 7	14 SEP 16
13	D.O.B. AMENDMENT 3	03 OCT 16

LEVEL	CORE ROOM ASSIGNMENT
44	ELECTRICAL CLOSET
43	FIRE ALARM CLOSET
42	TELECOM ROOM
41	ELECTRICAL CLOSET
40	FIRE ALARM CLOSET
39	TELECOM ROOM
38	ELECTRICAL CLOSET
37	FIRE ALARM CLOSET
36	TELECOM ROOM
35	ELECTRICAL CLOSET
34	FIRE ALARM CLOSET
33	TELECOM ROOM
32	ELECTRICAL CLOSET
31	FIRE ALARM CLOSET
30	TELECOM ROOM

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET NEW YORK, NY**

DRAWING TITLE: **30TH-44TH FLOOR PLAN (RESIDENTIAL - TIER 2) (MFD-55TH-69TH FLOOR)**

SEAL & SIGNATURE: **DAVID L. LAMBERT**

DATE: 19 DEC 14

PROJECT No: 1216-00

DRAWN: Author

CHECKED: Checker

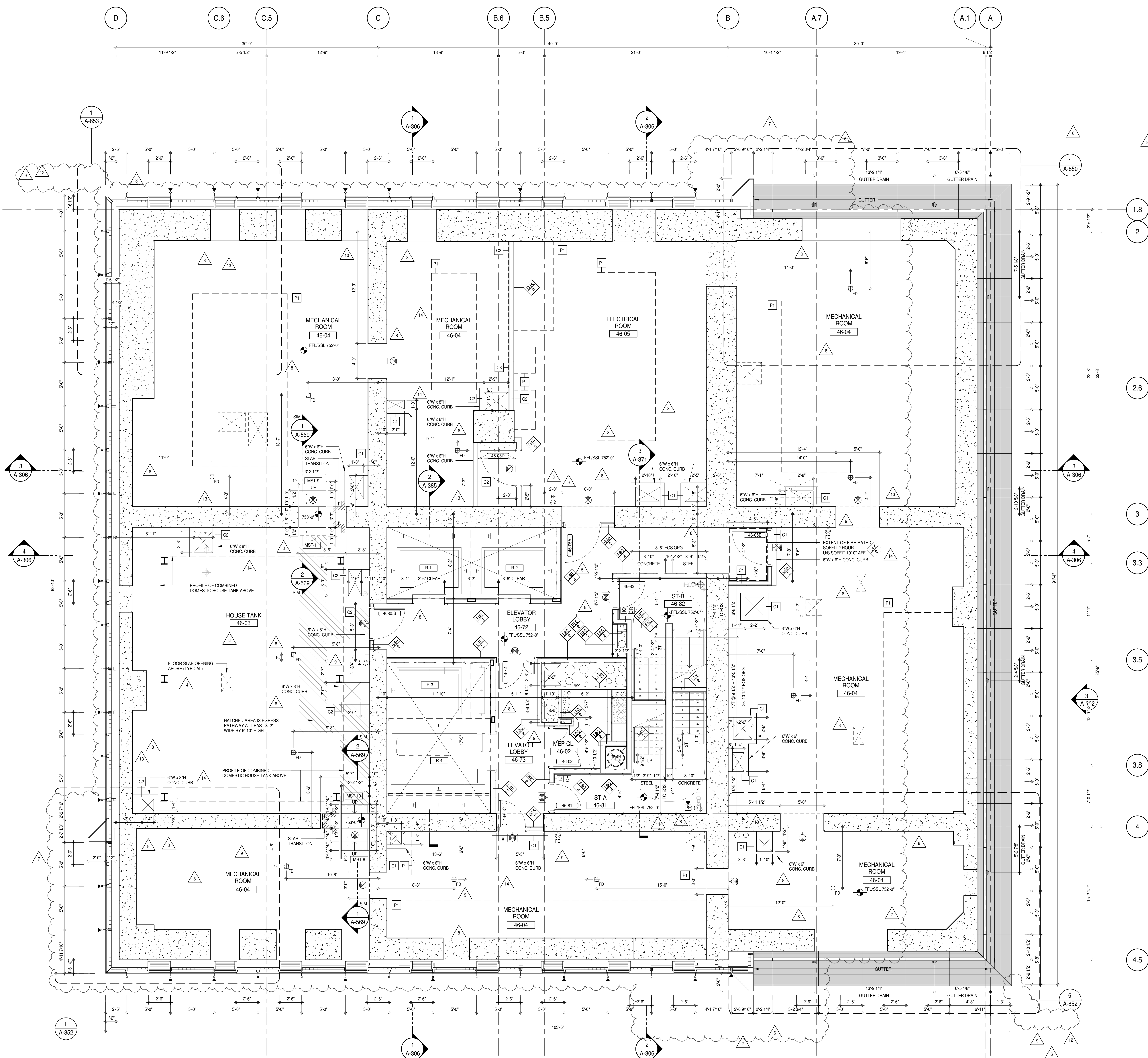
SCALE: 1/4" = 1'-0"

DWG No: **A-146.02**

DOB PAGE No: 119 of 454

DOB EMPLOYEE STAMP: **DAVID L. LAMBERT**

DOB S-SIGN: **11**



SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C2 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C3 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

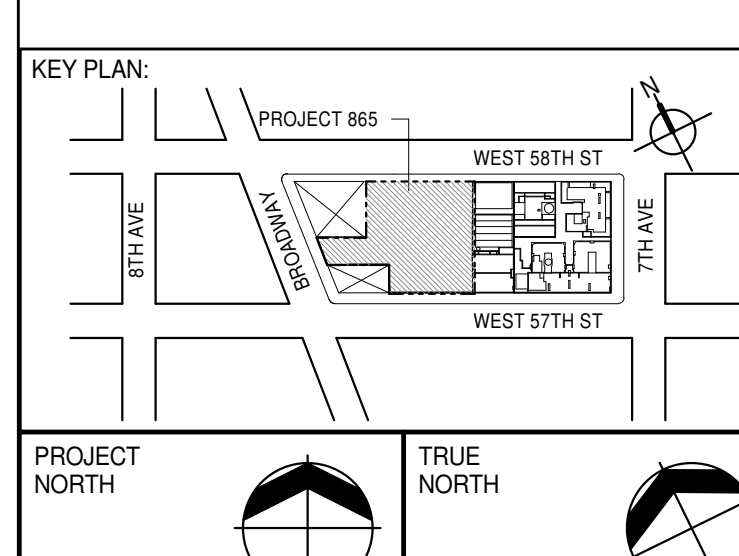
P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

E1 EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

S1 TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
Base Building Shell & Core
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
288 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER: **VSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10019-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 2	11 MAY 16
14	CD BULLETIN ISSUE - 3	25 MAY 16
15	CD BULLETIN ISSUE - 4	15 JUL 16
16	CD BULLETIN ISSUE - 5	14 SEP 16
17	D.O.B. AMENDMENT 3	03 OCT 16

0	2'-0"	4'-0"	8'-0"
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D.O.B. SUBMISSION

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CONSULTANT: **AAI ARCHITECTS, P.C.**

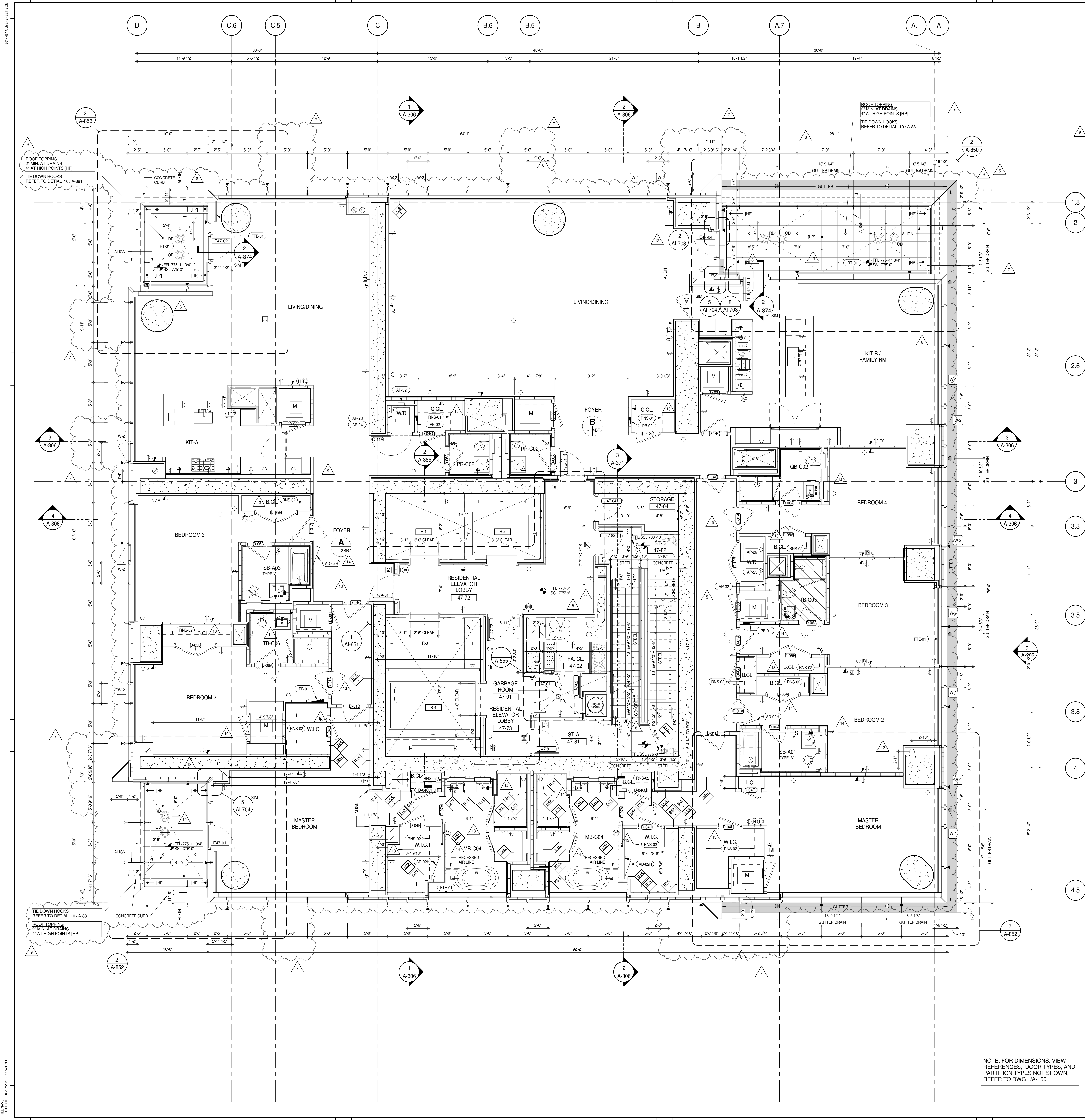
PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **46TH FLOOR PLAN (MECHANICAL)
(MFD-71ST FLOOR)**

SEAL & SIGNATURE: **DAVID L. LAMBERT**
REGISTERED ARCHITECT
STATE OF NEW YORK
NO. 008851
DOB PAGE No: 121 of 454

DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/4" = 1'-0"
DWG No: **A-148.02**
DOB PAGE No: 121 of 454
DOB 5: SCAN:

DOB 5: SCAN:



SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C2 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C3 DASHED LINE DENOTES EXTENT OF 6" HIGH CONCRETE BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK. ONCE CONSTRUCTION IS COMPLETE.

E1 EDGE OF SLAB IS 1" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-02H	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
AP-23	COMPACT ELECTRIC DRYER
AP-24	COMPACT WASHING MACHINE
AP-25	LARGE ELECTRIC DRYER
AP-26	LARGE WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO AI-880)
RNS-02	ROD AND SHELF (N.I.C.)
RT-01	FLUID MEMBRANE WITH CONCRETE PAVERS - TYPE 1

NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 1/A-150

KEY PLAN

PROJECT #10

TRUE NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:
Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:
Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD:
Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Westchester St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10005 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 51st Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6650 FAX: 646 219 8508

LANDMARK PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	D.O.B. SUBMISSION	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
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15	CD BULLETIN ISSUE - 5	12 AUG 16
16	CD BULLETIN ISSUE - 7	14 SEP 16
17	D.O.B. AMENDMENT 3	03 OCT 16

ISSUED AS A-47 - CD PROGRESS ISSUE 5 - 09 MAR 15

0' 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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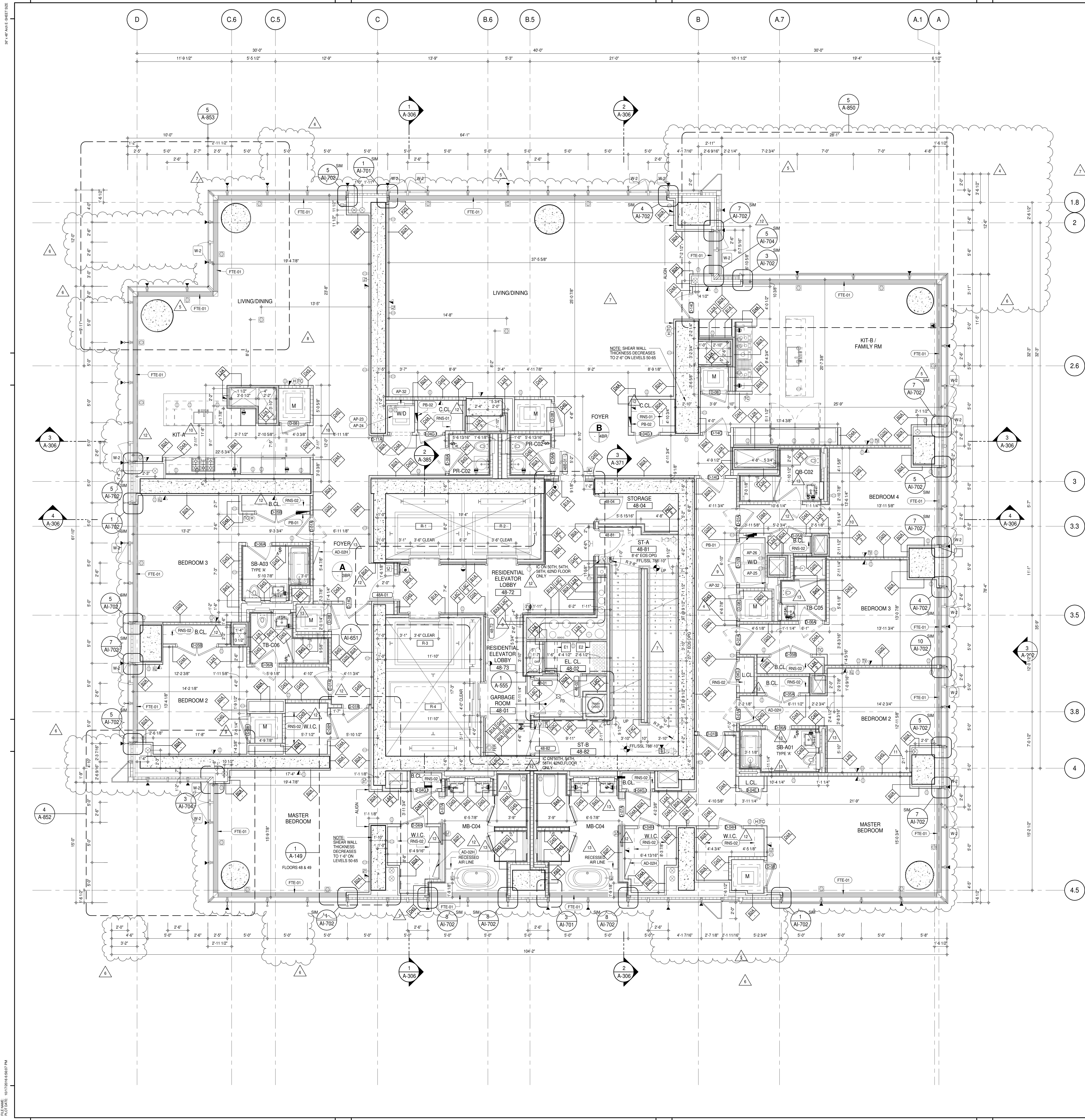
CONSULTANT:
AAI ARCHITECTS, P.C.

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
47TH FLOOR PLAN (RESIDENTIAL - TIER 3) (MFD-77TH FLOOR)

SEAL & SIGNATURE:
DAVID L. LAMORE
REGISTERED ARCHITECT
STATE OF NEW YORK

DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/4" = 1'-0"
DWG No: **A-149.02**
DOB PAGE No: 123 of 454
DOB EMPLOYEE STAMP: DOB S-SCAN:



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH CONCRETE BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

E1 PROVIDE 2 HR RATED LSA PARTITION ON FLOORS 48, 50, 51, 53, 54, 56, 57, 59, 60, 62, 63, 65.

E2 PROVIDE 2 HR RATED LSA PARTITION ON FLOORS 49, 50, 52, 53, 55, 56, 58, 59, 61, 62, 64, 65.

EDGE OF SLAB IS 1" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE INFILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-0201	ACCESS DOOR FLUSH NON RATED 26" X 17" - GYP
AP-23	COMPACT ELECTRIC DRYER
AP-24	COMPACT WASHING MACHINE
AP-25	LARGE ELECTRIC DRYER
AP-26	LARGE WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO AI-880)
RNS-02	ROD AND SHELF (N.I.C.)

KEY PLAN

PROJECT NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 999 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **VSP CANTOR SEINUK**
228 East 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK PRESERVATION CONSULTANT: **Jan Hind Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 3	09 MAR 15
4	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15
6	CD PROGRESS ISSUE 5	10 AUG 15
7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CD PROGRESS ISSUE 7	29 JAN 16
10	CD ISSUE 8 - GMP SET	31 MAR 16
11	CD BULLETIN ISSUE - 1	22 APR 16
12	CD BULLETIN ISSUE - 2	11 MAY 16
13	CD BULLETIN ISSUE - 3	25 MAY 16
14	CD BULLETIN ISSUE - 4	12 JUN 16
15	CD BULLETIN ISSUE - 5	12 AUG 16
16	CD BULLETIN ISSUE - 6	14 SEP 16
17	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **48TH-65TH FLOOR PLAN (RESIDENTIAL - TIER 3) (MFD-78TH-95TH FLOOR)**

SEAL & SIGNATURE:

DATE: 19 DEC 14

PROJECT No: 1216-00

DRAWN: Author

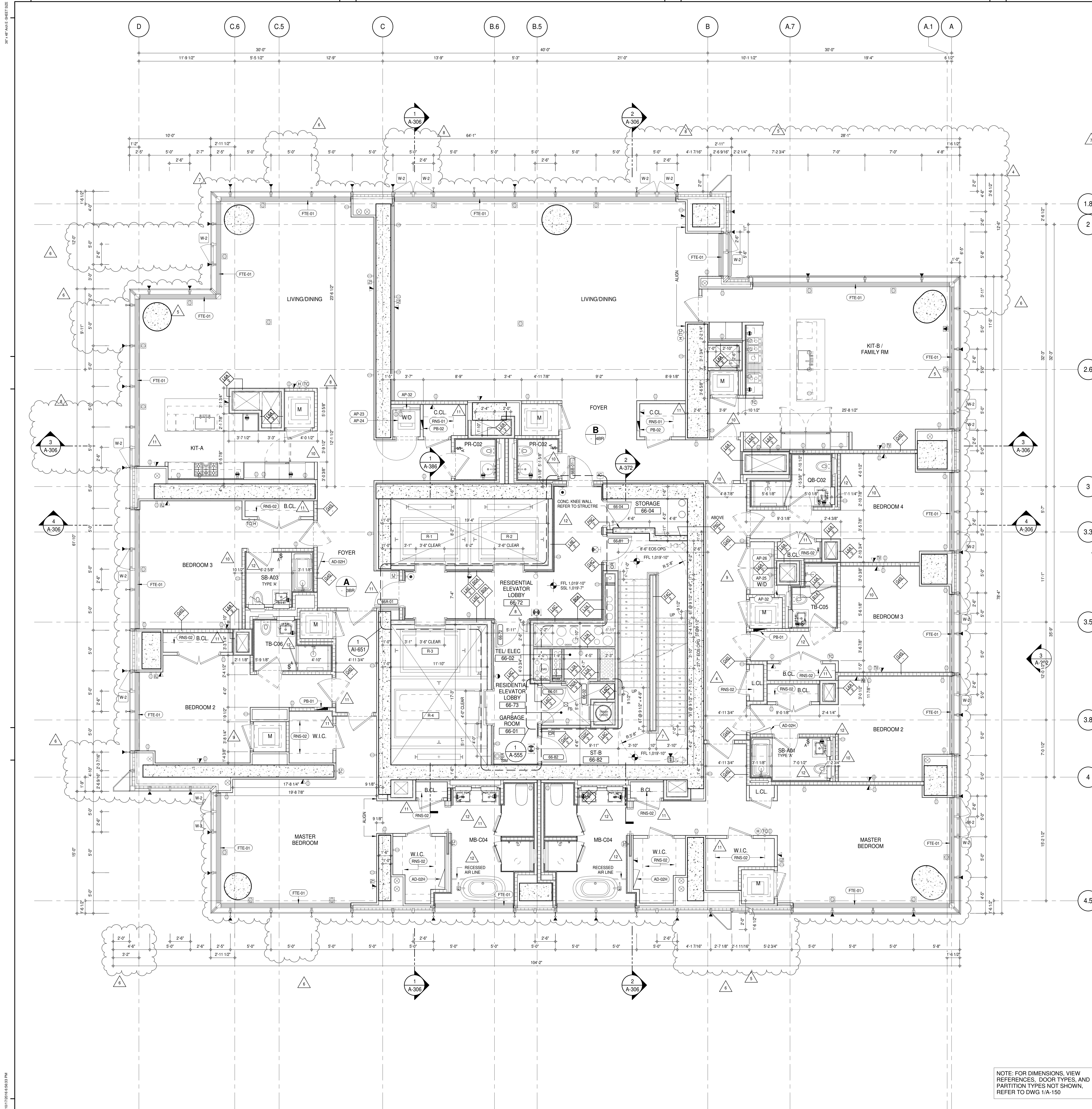
CHECKED: Checker

SCALE: 1/4" = 1'-0"

DWG No: **A-150.02**

DOB PAGE No: 123 of 454

DOB 5-SCAN:



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 ALL CURBS AT DOORWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

04 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

05 CONCRETE HOUSEKEEPING PAD HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

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ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-024	ACCESS DOOR FLUSH NON RATED 26" X 17" - GYP
AP-23	COMPACT ELECTRIC DRYER
AP-24	COMPACT WASHING MACHINE
AP-25	LARGE ELECTRIC DRYER
AP-26	LARGE WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO AI-880)
RNS-02	ROD AND SHELF (N.I.C.)

LEVEL	CORE ROOM ASSIGNMENT
65	FIRE ALARM CLOSET
64	TELECOM ROOM
63	ELECTRICAL CLOSET
62	FIRE ALARM CLOSET
61	TELECOM ROOM
60	ELECTRICAL CLOSET
59	FIRE ALARM CLOSET
58	TELECOM ROOM
57	ELECTRICAL CLOSET
56	FIRE ALARM CLOSET
55	TELECOM ROOM
54	ELECTRICAL CLOSET
53	FIRE ALARM CLOSET
52	TELECOM ROOM
51	ELECTRICAL CLOSET
50	FIRE ALARM CLOSET
49	TELECOM ROOM
48	ELECTRICAL CLOSET

NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 1/A-150

KEY PLAN:

PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
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ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
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LANDMARK PRESERVATION CONSULTANT:

Jan Hind Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
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4	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	10 JUN 15
6	D.O.B. AMENDMENT 2	21 SEP 15
7	CD PROGRESS ISSUE 5	02 NOV 15
8	CD PROGRESS ISSUE 6	29 JAN 16
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14	D.O.B. AMENDMENT 3	03 OCT 16

0 2' 0" 4' 0" 8' 0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

66TH FLOOR PLAN (RESIDENTIAL - TIER 3) (MFD-96TH FLOOR)

SEAL & SIGNATURE:

REGISTERED ARCHITECT
DAVID L. LAMBERT
NEW YORK, NY

DATE:

19 DEC 14

PROJECT No:

1216-00

DRAWN: Author

CHECKED: Checker

SCALE: 1/4" = 1'-0"

DWG No:

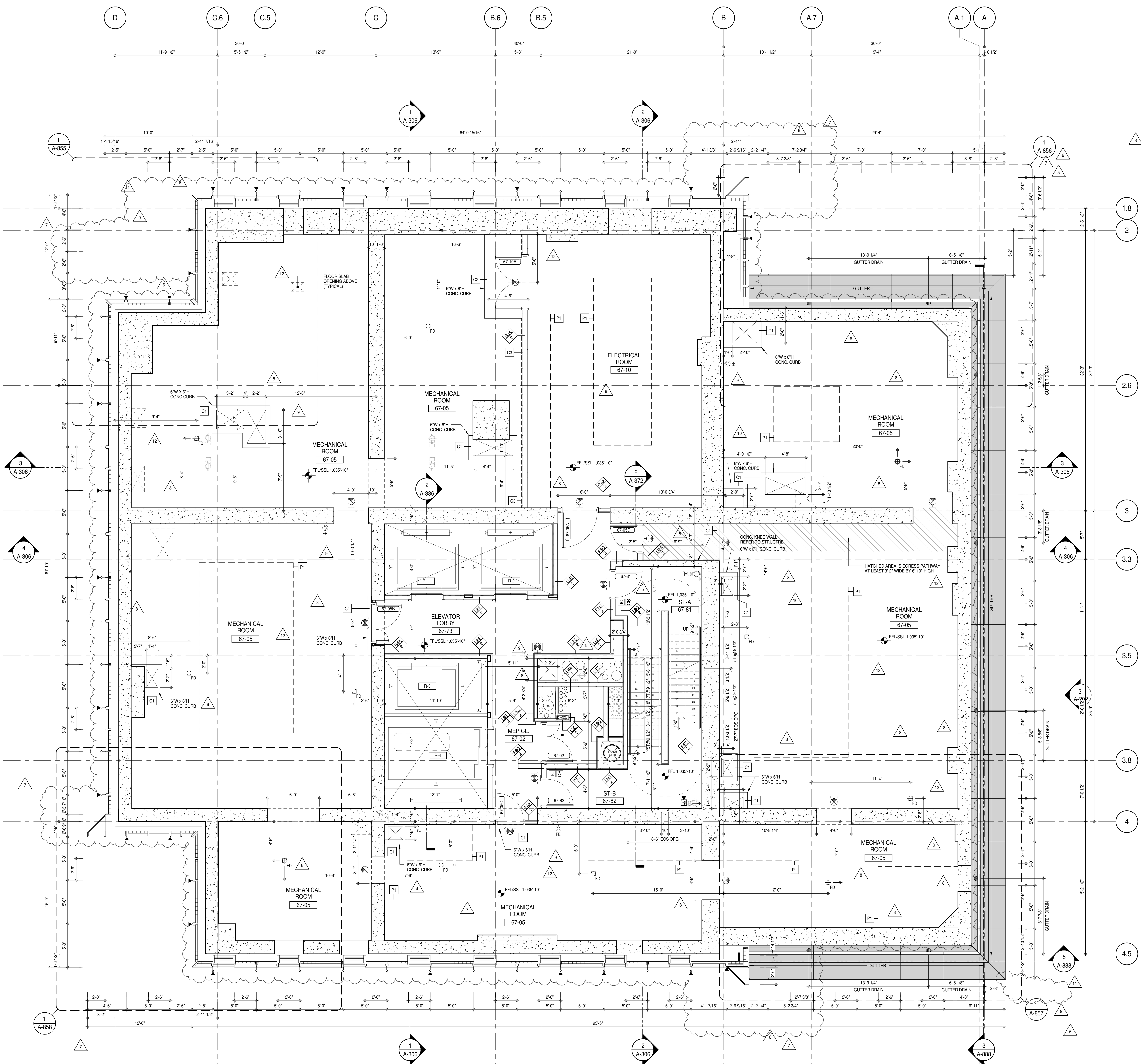
A-151.02

DOB PAGE No:

124 of 454

DOB EMPLOYEE STAMP:

DOB S. SCAN:



SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C2 ALL CURBS AT DOORWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

C3 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

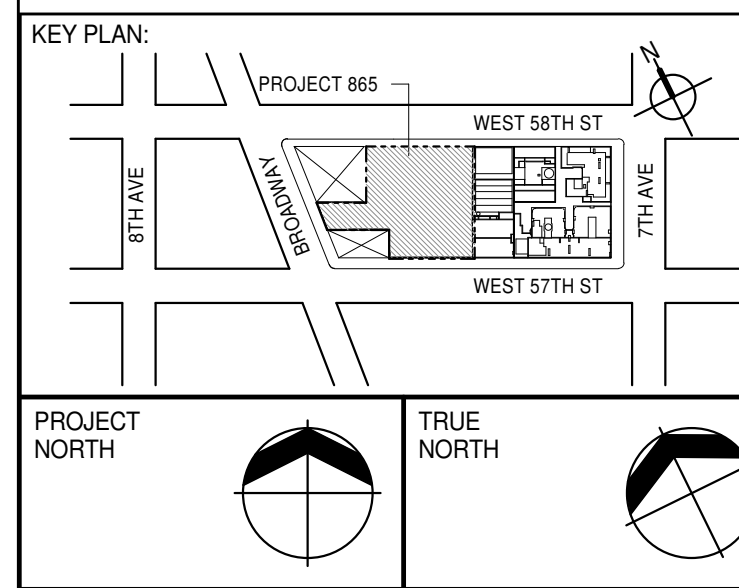
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DEVELOPER: EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
 298 Fifth Ave, 7th Floor
 New York, NY 10001
 TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
 401 West 57th St, 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SEINUK
 228 EAST 45th Street
 New York, NY 10017 USA
 TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
 165 Broadway, 22nd Floor
 New York, NY 10005 USA
 TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
 21 Penn Plaza - 300 West 57th Street, 9th Floor
 New York, NY 10001-2722
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
 100 Church Street
 New York, NY 10007
 TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
 40 Worth Street, Suite 806
 New York, NY 10013
 TEL: 212 757 6650 FAX: 646 219 8508

LANDMARK PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
 39 West 57th Street, 12A
 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 2	11 MAY 16
13	CD BULLETIN ISSUE - 3	25 MAY 16
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15	D.O.B. AMENDMENT 3	03 OCT 16

No.	DESCRIPTION	DATE
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15	D.O.B. AMENDMENT 3	03 OCT 16

0' 2' 4' 8'

D.O.B. SUBMISSION

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CONSULTANT:

AAI
 ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
 NEW YORK, NY

DRAWING TITLE:

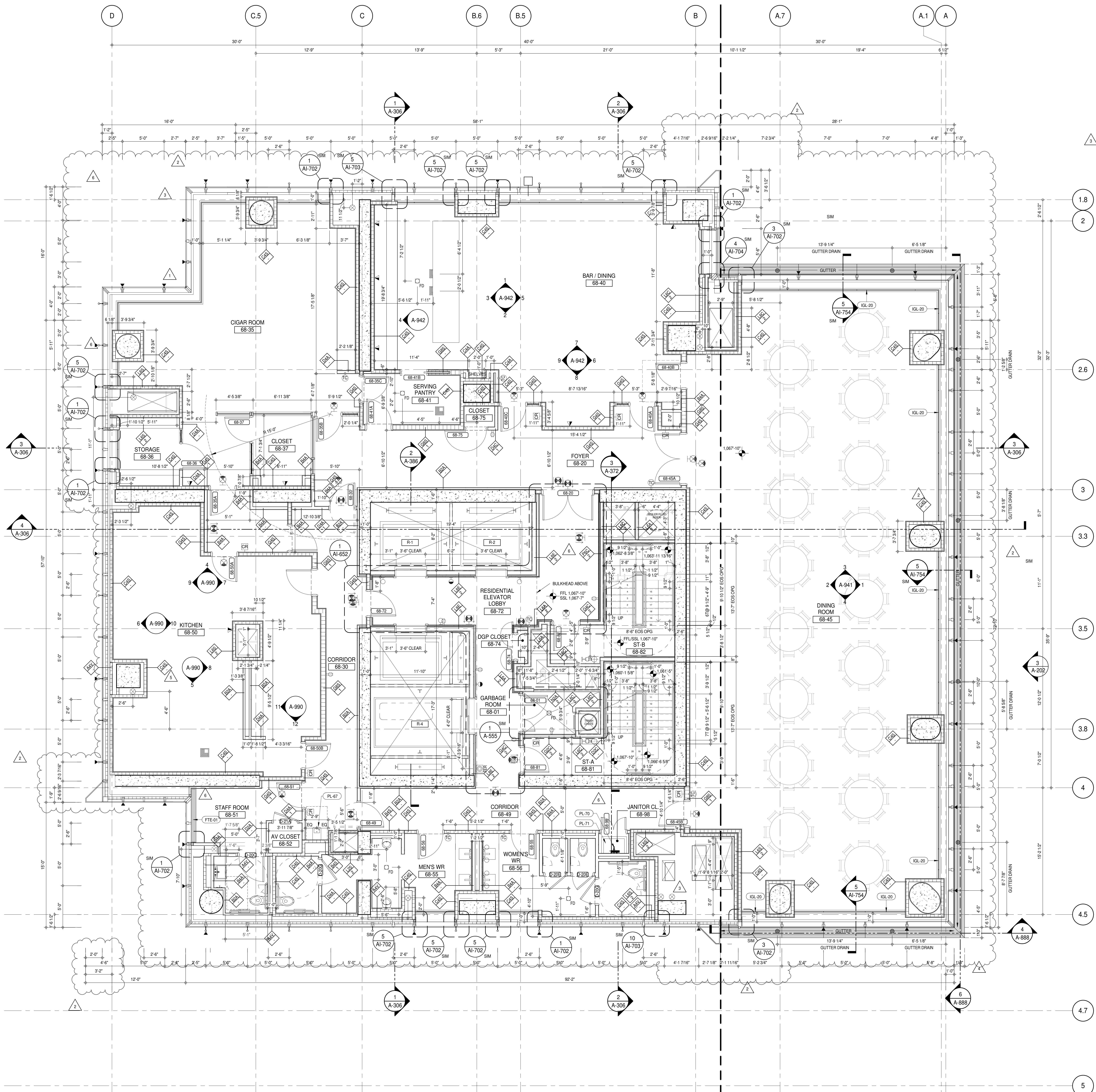
67TH FLOOR PLAN (MECHANICAL)
 (MFD-9TH FLOOR)

SEAL & SIGNATURE:

PROJECT No: 1216-10
DRAWN: Author
CHECKED: Checker
SCALE: 1/4" = 1'-0"
DWG No: A-152.02

DOB PAGE No: 125 of 454
DOB 5-SCAN:

DOB EMPLOYEE STAMP:



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

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11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK. ONCE CONSTRUCTION IS COMPLETE.

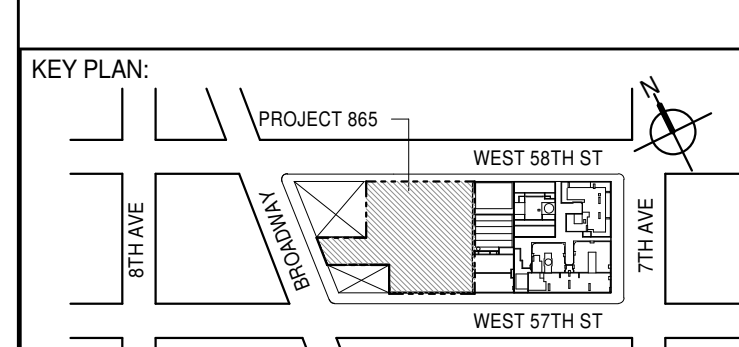
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ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
FTE-01	FIN TUBE ENCLOSURE
IGL-20	LOW IRON ETCHED MIRROR
PL-67	ADA WALL MOUNTED DRINKING FOUNTAIN
PL-70	SERVICE - SINK FAUCET
PL-71	MOP SERVICE BASIN



PROJECT NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
298 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER: **VSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 360 West 57th Street, 9th Floor
New York, NY 10001 2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
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New York, NY 10013
TEL: 212 757 6650 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 5	10 AUG 15
	D.O.B. AMENDMENT 2	21 SEP 15
2	CD PROGRESS ISSUE 6	02 NOV 15
3	CD PROGRESS ISSUE 7	29 JAN 16
4	CD ISSUE 8 - GMP SET	31 MAR 16
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	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:



PROJECT:

**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:

68TH FLOOR PLAN (RESIDENTIAL AMENITIES) (MFD-100TH FLOOR)

DATE: 10 AUG 15

PROJECT No: 1216-00

DRAWN: Author

CHECKED: Checker

SCALE: 1/4" = 1'-0"

DWG No:

A-154.01

DOB PAGE No: 127 of 454

DOB 5-SCAN:

DOB EMPLOYEE STAMP:

10 AUG 15

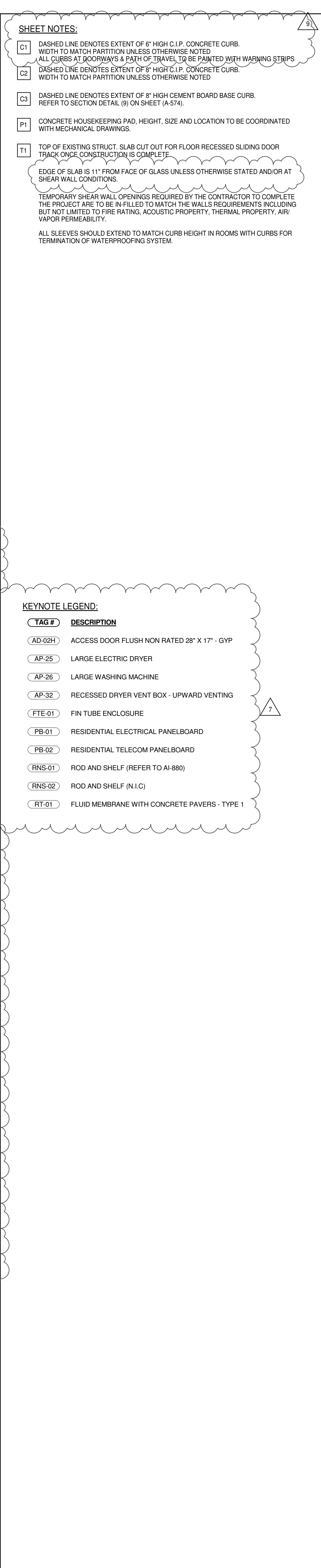
REV: 6

1216-00

1216-00

1216-00

1216-00



KEY PLAN:

PROJECT 866

WEST 50TH ST

WEST 57TH ST

WEST 64TH ST

WEST 71ST ST

6TH AVE

7TH AVE

PROJECT NORTH

TRUE NORTH

DEVELOPER:

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805 THIRD AVENUE, 7TH FLOOR
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TEL: 212 712 7100 FAX: 212 712 6100

DESIGN ARCHITECT:

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MEP ENGINEERS:

AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
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New York, NY 10001-2727
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59 West 57th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	09 MAR 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 2	11 MAY 16
14	CD BULLETIN ISSUE - 3	25 MAY 16
15	CD BULLETIN ISSUE - 4	12 JUN 16
16	CD BULLETIN ISSUE - 5	12 AUG 16
17	CD BULLETIN ISSUE - 6	14 SEP 16
18	CD BULLETIN ISSUE - 7	14 SEP 16
19	D.O.B. AMENDMENT 3	03 OCT 16

0

2'-0"

4'-0"

8'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only Issued dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AAI

ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

69TH FLOOR PLAN (RESIDENTIAL - TIER 4) (MFD-107TH FLOOR)

SEAL & SIGNATURE:

DATE:

15 OCT 14

STATE OF NEW YORK

EXERCISE OF AUTHORITY

NO. 022864

STATE OF NEW YORK

AAI ARCHITECTS, P.C.

217 WEST 57TH STREET

NEW YORK, NY 10011

DRAWN:

Author

REV:

14

CHECKED:

Checker

SCALE:

1/4" = 1'-0"

DWG NO:

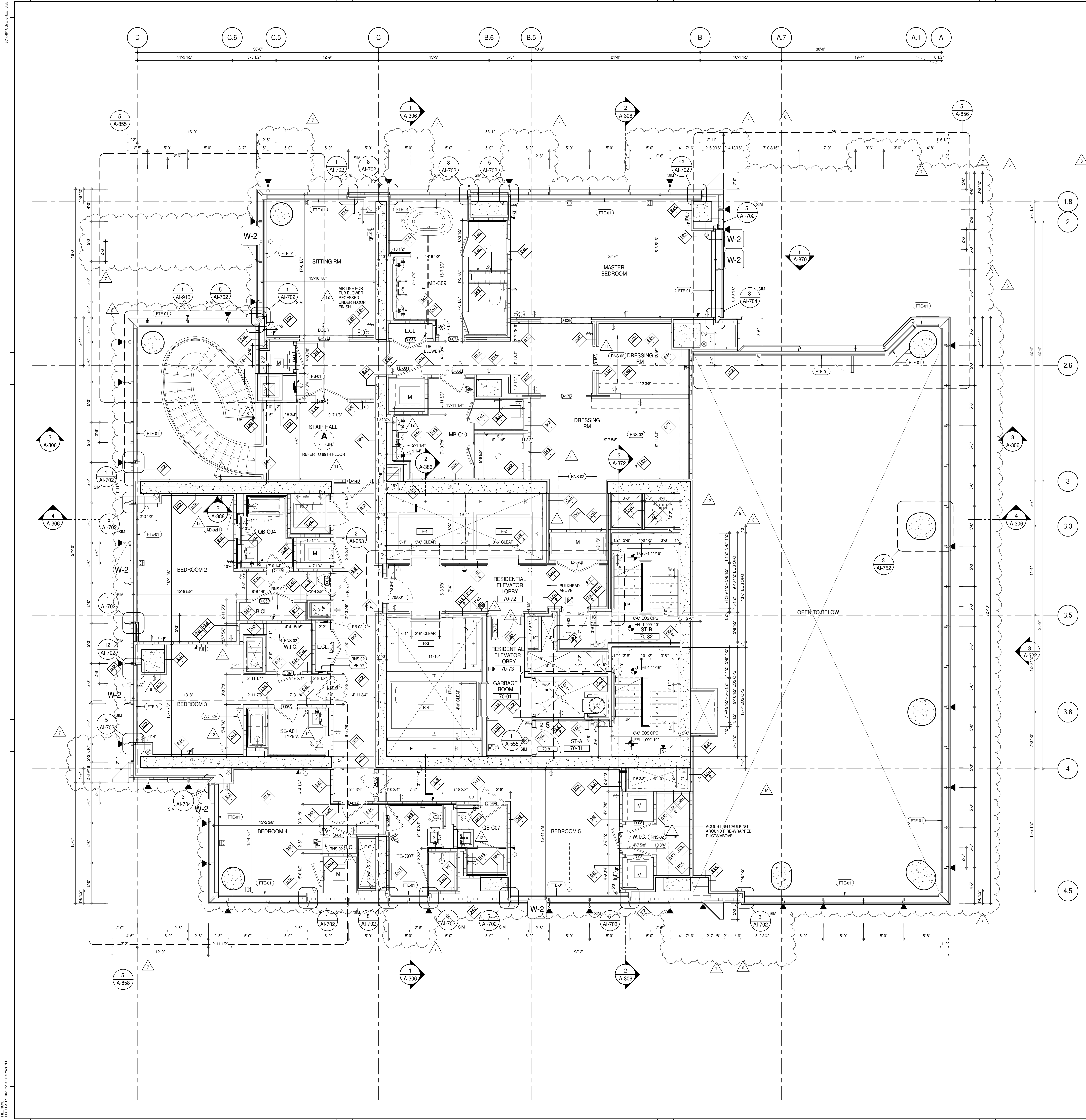
A-155.02

DOB PAGE NO:

128 of 454

DOB EMPLOYEE STAMP:

DOB B-SCAN:



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 ALL CURBS AT DOORWAYS & PATIY OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

04 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

05 CONCRETE HOUSEKEEPING PAD HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

06 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK. ONCE CONSTRUCTION IS COMPLETE.

07 EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

08 TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE INFILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

09 ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

(TAG #) DESCRIPTION

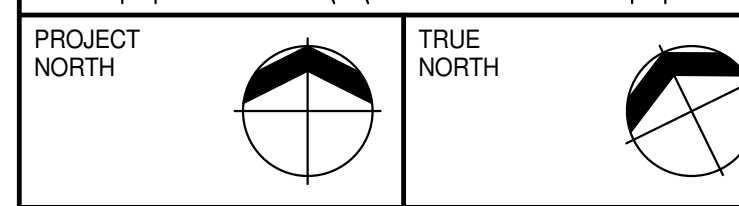
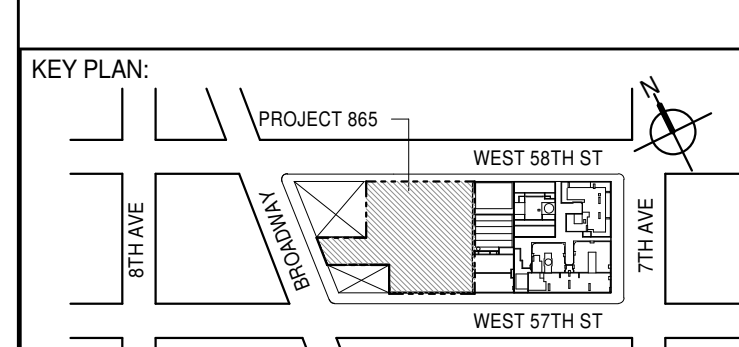
(AD-02) ACCESS DOOR FLUSH NON RATED 26" X 17" - GYP

(FTE-01) FIN TUBE ENCLOSURE

(PB-01) RESIDENTIAL ELECTRICAL PANELBOARD

(PB-02) RESIDENTIAL TELECOM PANELBOARD

(RNS-02) ROD AND SHELF (N.I.C.)



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
 298 FIFTH AVE, 7TH FLOOR
 NEW YORK, NY 10001
 TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
 401 WESTGATE ST. W., 3RD FLOOR
 TORONTO, ON M5V 1E7 CANADA
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER:
VSP CANTOR SEINUK
 228 EAST 45TH STREET
 NEW YORK, NY 10017 USA
 TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
 165 BROADWAY, 22ND FLOOR
 NEW YORK, NY 10006 USA
 TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
 21 Penn Plaza - 300 West 57th Street, 9th Floor
 NEW YORK, NY 10007-2722
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
 100 Church Street
 NEW YORK, NY 10007
 TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
 40 Worth Street, Suite 806
 NEW YORK, NY 10013
 TEL: 212 757 6650 FAX: 646 219 8508

LANDMARK-PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
 39 West 57th Street, 12A
 NEW YORK, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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15	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
70TH FLOOR PLAN (RESIDENTIAL - TIER 4) (MFD-108TH FLOOR)

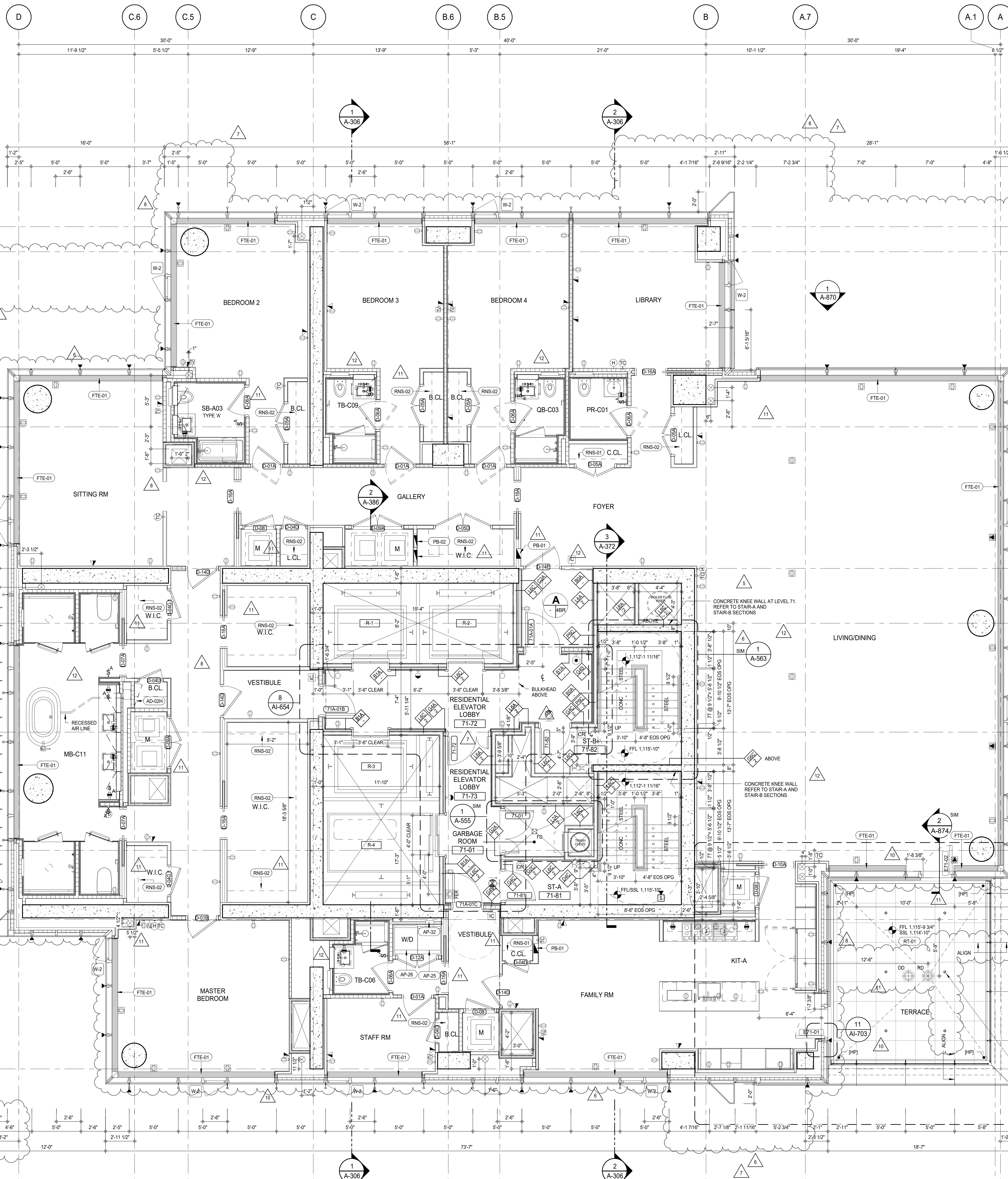
SEAL & SIGNATURE:
 PROJECT No: 1216-00
 DRAWN: Author
 CHECKED: Checker
 SCALE: 1/4" = 1'-0"
 DWG No: A-156.02

DATE: 15 OCT 14
REV: 12

DOB PAGE No: 129 of 454
DOB 5-SCAN:

DOB EMPLOYEE STAMP:

DOB 5-SCAN:



SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

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KEYNOTE LEGEND:

TAG # DESCRIPTION

AD-02H ACCESS DOOR FLUSH NON RATED 26" X 17" - GYP

AP-25 LARGE ELECTRIC DRYER

AP-26 LARGE WASHING MACHINE

AP-32 RECESSED DRYER VENT BOX - UPWARD VENTING

FTE-01 FIN TUBE ENCLOSURE

PB-01 RESIDENTIAL ELECTRICAL PANELBOARD

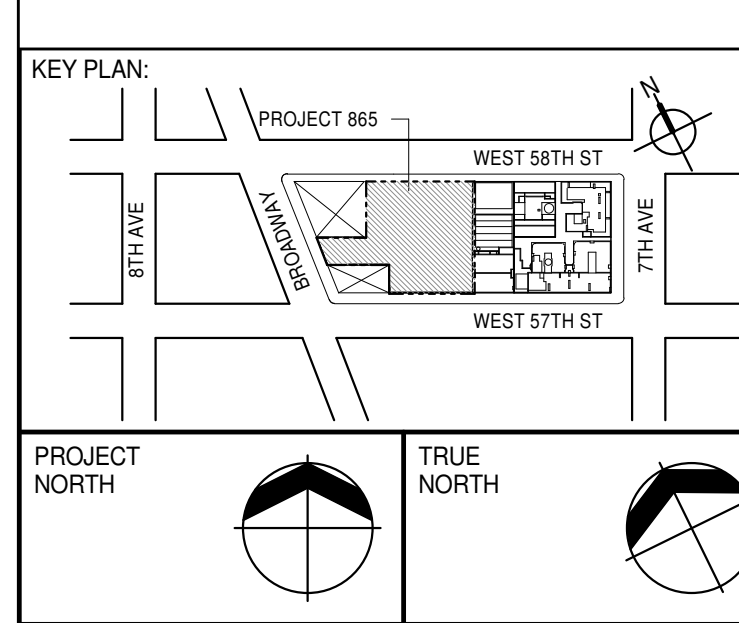
PB-02 RESIDENTIAL TELECOM PANELBOARD

RNS-01 ROD AND SHELF (REFER TO A1-880)

RNS-02 ROD AND SHELF (N.I.C)

RT-01 FLUID MEMBRANE WITH CONCRETE PAVERS - TYPE 1

NOTE: FOR DIMENSIONS, VIEW REFERENCES, DOOR TYPES, AND PARTITION TYPES NOT SHOWN, REFER TO DWG 1/A-158



PROJECT NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**

805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**

ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**

Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**

AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER: **VSP CANTOR SENUK**

228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**

165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**

21 Penn Plaza - 300 West 51st Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**

100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**

40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6650 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**

39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

ISSUED AS: A-156 - CD PROGRESS ISSUE 4 - 01 JUN 15 / ISSUED AS: A-170 - CD PROGRESS ISSUE 5 - 08 MAR 15

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET NEW YORK, NY**

DRAWING TITLE: **71ST FLOOR PLAN (RESIDENTIAL - TIER 4) (MFD-109TH FLOOR)**

SEAL & SIGNATURE: **DAVID L. LAMORE**

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHECKED: Checker

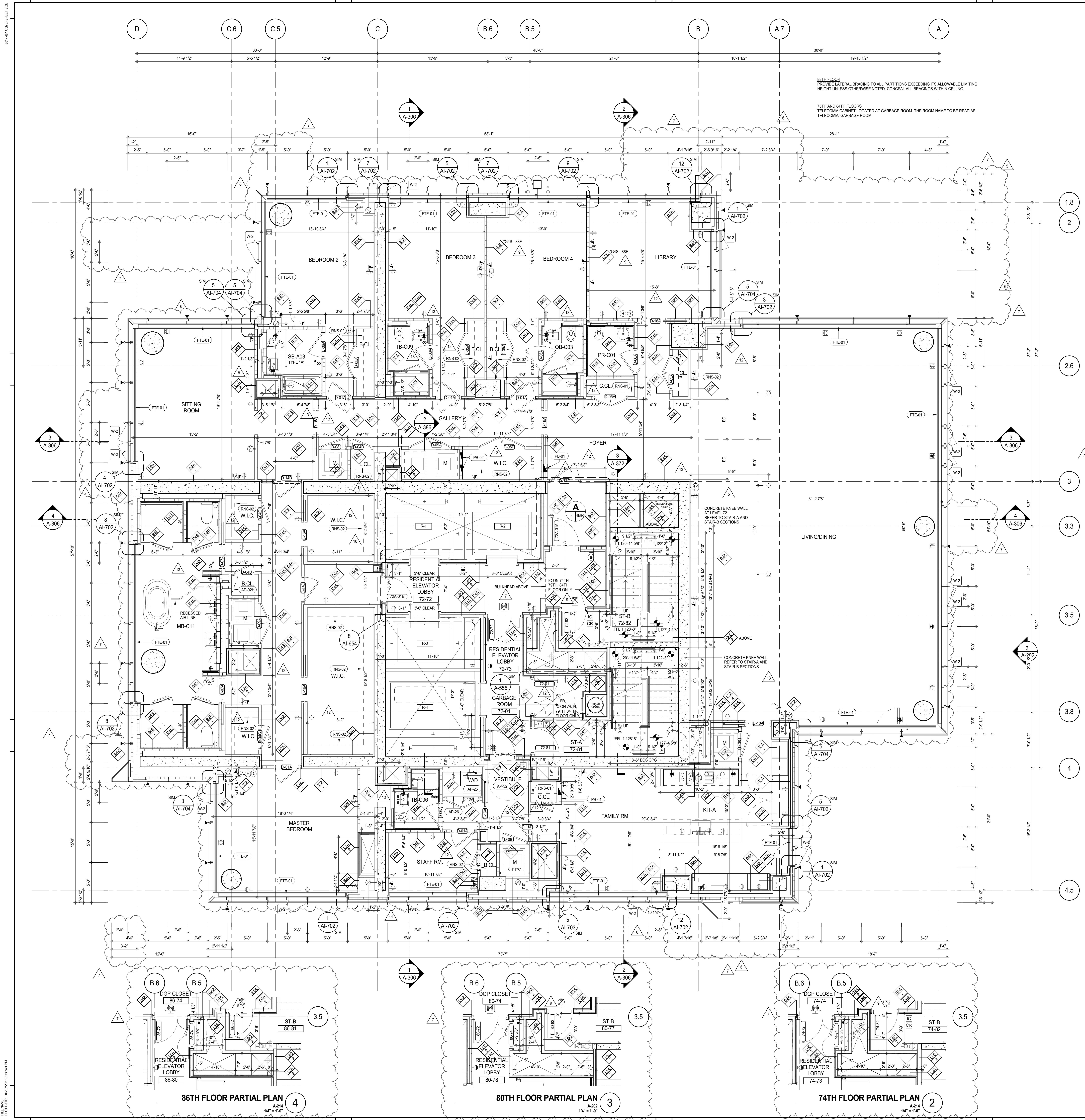
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DWG No: **A-157.02**

DOB PAGE No: 139 of 454

DOB EMPLOYEE STAMP: **DAVID L. LAMORE**

DOB 5-SCAL:



SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

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EDGE OF SLAB IS 1" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

75TH AND 86TH FLOORS TELECOMM CABINET LOCATED AT GARBAGE ROOM. THE ROOM NAME TO BE READ AS TELECOMM GARBAGE ROOM.

75TH AND 86TH FLOORS TELECOMM CABINET LOCATED AT GARBAGE ROOM. THE ROOM NAME TO BE READ AS TELECOMM GARBAGE ROOM.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-024	ACCESS DOOR FLUSH NON RATED 26" X 17" - GYP
AP-25	LARGE ELECTRIC DRYER
AP-26	LARGE WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO A1-880)
RNS-02	ROD AND SHELF (N.I.C)

KEY PLAN:

PROJECT NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX: 212 479 5444

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
AAI ARCHITECTS, P.C.
401 Westchester St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER: **VSP CANTOR SENIUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 2885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10005 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 360 West 51st Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	D.O.B. AMENDMENT 3	11 MAY 16
13	CD BULLETIN ISSUE - 3	25 MAY 16
14	CD BULLETIN ISSUE - 4	12 AUG 16
15	CD BULLETIN ISSUE - 5	14 SEP 16
16	D.O.B. AMENDMENT 4	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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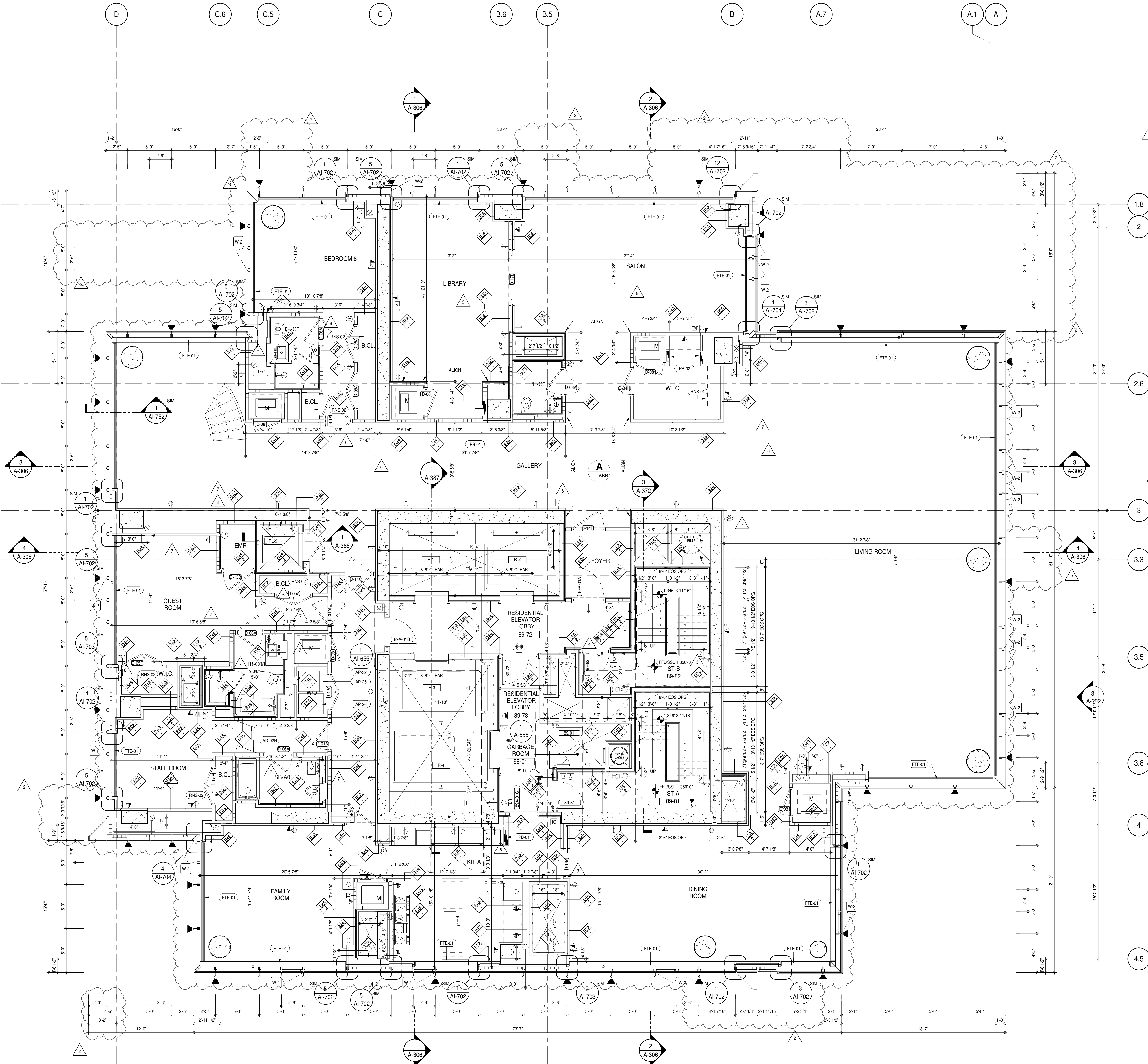
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET NEW YORK, NY**

DRAWING TITLE: **72ND-88TH FLOOR PLAN (RESIDENTIAL - TIER 4) (MFD-110TH-126TH FLOOR)**

SEAL & SIGNATURE: DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/4" = 1'-0"
DWG No: **A-158.02**
DOB PAGE No: 131 of 454
DOB 5-SCAN:



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

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11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

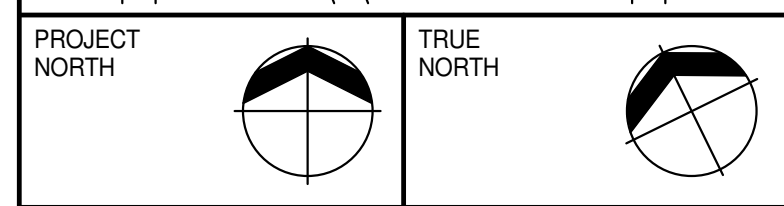
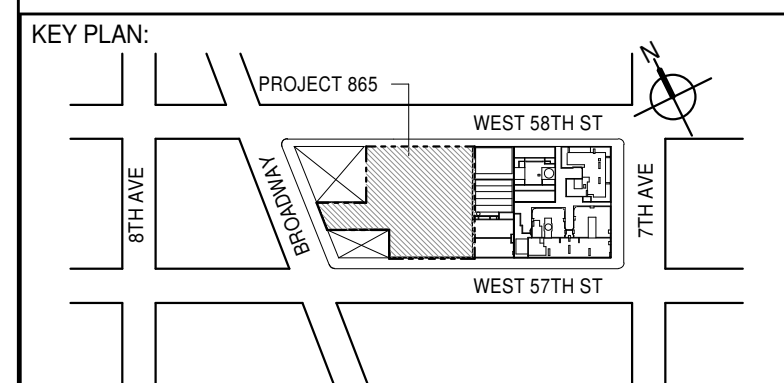
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KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-024	ACCESS DOOR FLUSH NON RATED 26" X 17" - GYP
AP-25	LARGE ELECTRIC DRYER
AP-26	LARGE WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO AI-880)
RNS-02	ROD AND SHELF (N.I.C)



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
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Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 57th Street, 9th Floor
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TEL: 212 479 5400 FAX: 212 479 5444

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New York, NY 10007
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LANDMARK PRESERVATION CONSULTANT:
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New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 5	10 AUG 15
	D.O.B. AMENDMENT 2	21 SEP 15
2	CD PROGRESS ISSUE 6	02 NOV 15
3	CD PROGRESS ISSUE 7	29 JAN 16
4	CD ISSUE 8 - GMP SET	31 MAR 16
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	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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CONSULTANT:
AAI
ARCHITECTS, P.C.

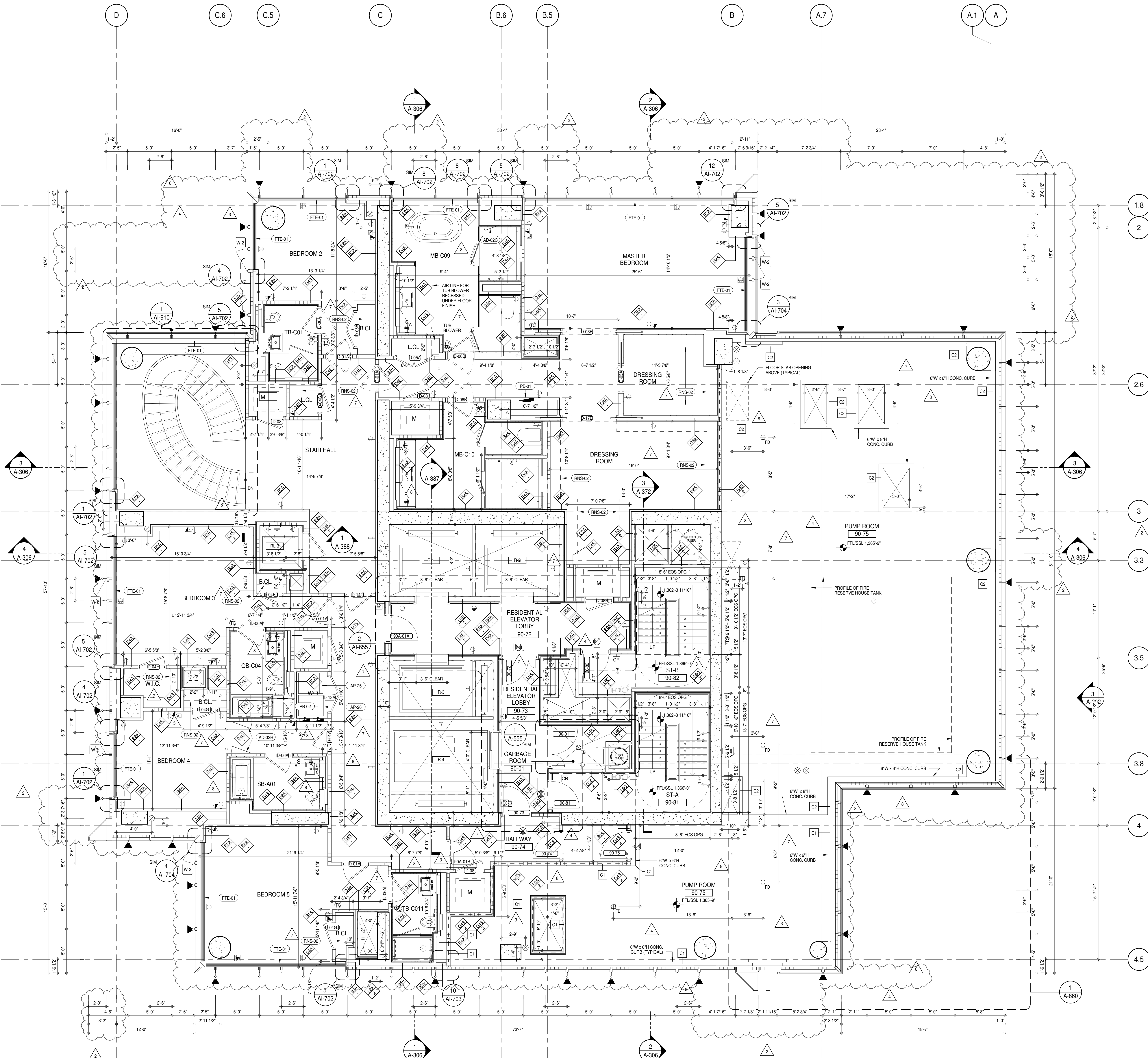
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
89TH FLOOR PLAN (RESIDENTIAL - TIER 4) (MFD-127TH FLOOR)

SEAL & SIGNATURE:
PROJECT No: 1216-00
DATE: 10 AUG 15
DRAWN: Author
CHECKED: Checker
SCALE: 1/4" = 1'-0"
DWG No: 7

REGISTERED ARCHITECT:
DAVID L. LAMORE
NEW YORK, NY
No. 02885
EXPIRATION DATE: 12/31/17

A-159.01
DOB PAGE No: 133 of 454
DOB 5-SCAN:



SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

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P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

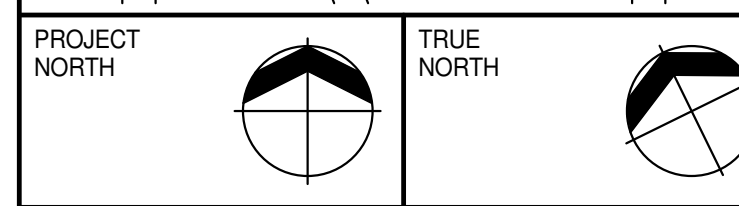
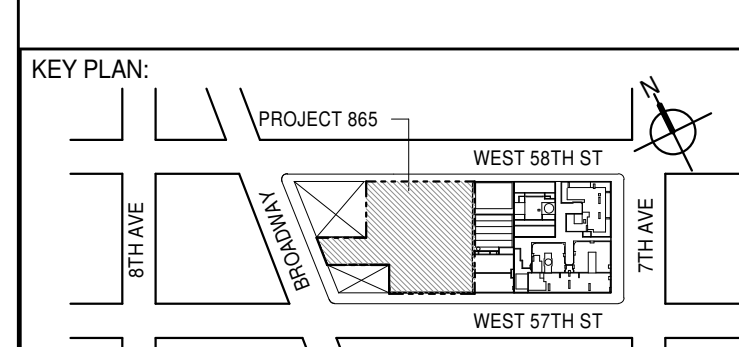
EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-02C	ACCESS DOOR FLUSH NON RATED 18" x 18" - GYP
AD-02H	ACCESS DOOR FLUSH NON RATED 28" X 17" - GYP
AP-25	LARGE ELECTRIC DRYER
AP-26	LARGE WASHING MACHINE
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-02	ROD AND SHELF (N.I.C.)



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

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New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 51st Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6650 FAX: 646 219 8508

LANDMARK PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 5	10 AUG 15
	D.O.B. AMENDMENT 2	21 SEP 15
2	CD PROGRESS ISSUE 6	02 NOV 15
3	CD PROGRESS ISSUE 7	29 JAN 16
4	CD ISSUE 8 - GMP SET	31 MAR 16
5	CD BULLETIN ISSUE - 1	22 APR 16
6	CD BULLETIN ISSUE - 3	25 MAY 16
7	CD BULLETIN ISSUE - 5	12 AUG 16
8	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

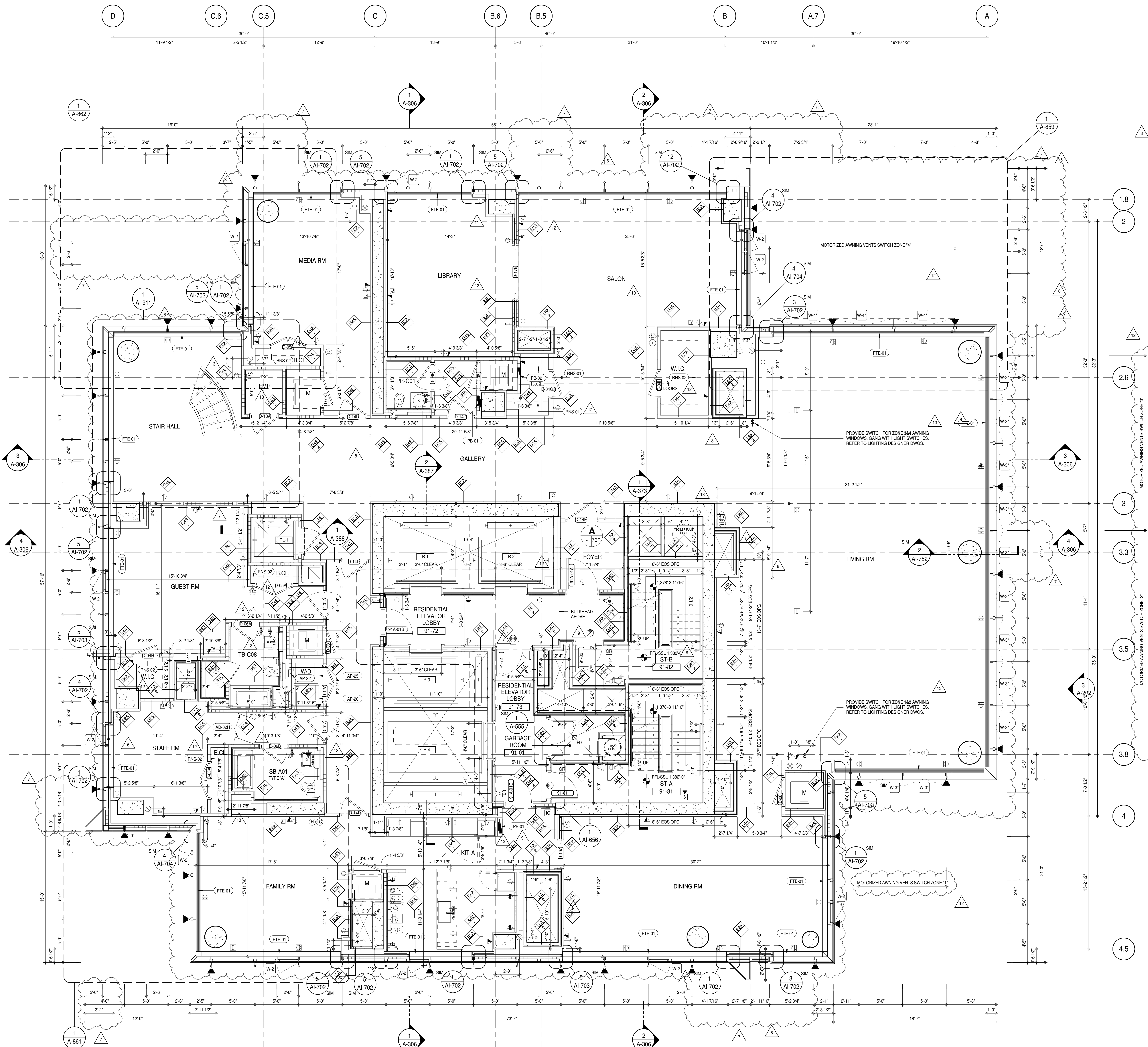
CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
90TH FLOOR PLAN (RESIDENTIAL - TIER 4) (MFD-128TH FLOOR)

SEAL & SIGNATURE: 	DATE: 10 AUG 15
PROJECT No: 1216-00	REV: 8
DRAWN: Author	CHECKED: Checker
SCALE: 1/4" = 1'-0"	
DWG No: A-160.01	

DOB PAGE No: 133 of 454
DOB 5-SCAN:



SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 ALL CURBS AT DOORWAYS & PATH OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

04 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

05 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

06 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR. TRACK ONCE CONSTRUCTION IS COMPLETE.

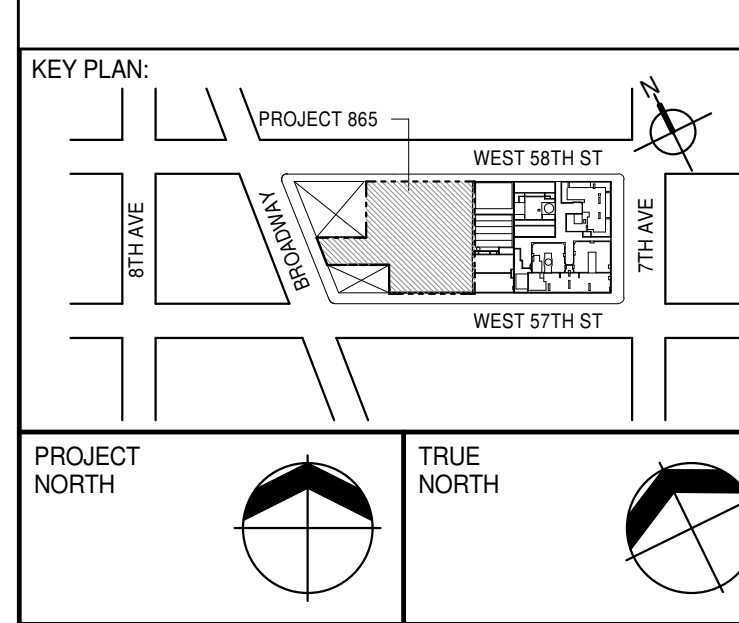
07 EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

08 TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

09 ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAG #	DESCRIPTION
AD-024	ACCESS DOOR FLUSH NON RATED 26" X 17" - GYP
AP-25	LARGE ELECTRIC DRYER
AP-26	LARGE WASHING MACHINE
AP-32	RECESSED DRYER VENT BOX - UPWARD VENTING
FTE-01	FIN TUBE ENCLOSURE
PB-01	RESIDENTIAL ELECTRICAL PANELBOARD
PB-02	RESIDENTIAL TELECOM PANELBOARD
RNS-01	ROD AND SHELF (REFER TO A1-880)
RNS-02	ROD AND SHELF (N.I.C.)



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
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ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
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INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave., 7th Floor
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TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
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165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
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21 Penn Plaza - 360 West 57th Street, 9th Floor
New York, NY 10019-2727
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Construction Consulting Associates
100 Church Street
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TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 5	02 NOV 15
9	CD PROGRESS ISSUE 6	29 JAN 16
10	CD ISSUE 8 - GMP SET	31 MAR 16
11	D.O.B. AMENDMENT 1	22 APR 16
12	CD BULLETIN ISSUE - 1	25 MAY 16
13	CD BULLETIN ISSUE - 2	12 AUG 16
14	CD BULLETIN ISSUE - 3	14 SEP 16
15	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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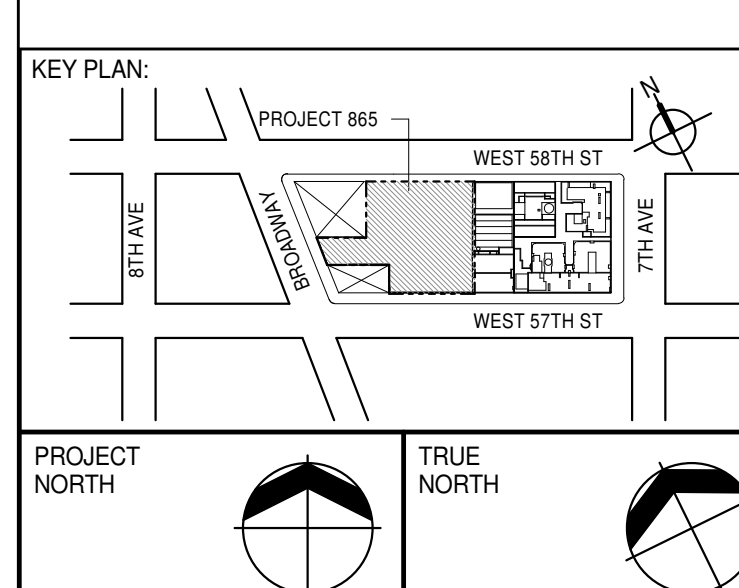
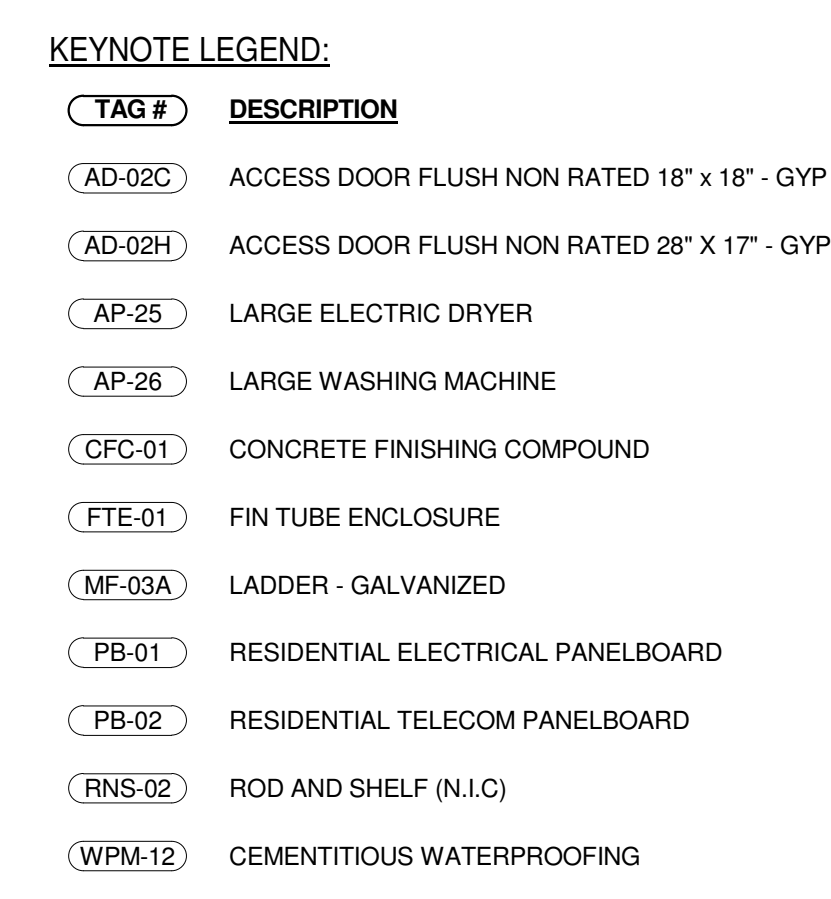
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI ARCHITECTS, P.C.

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
91ST FLOOR PLAN (RESIDENTIAL - TIER 4) (MFD-129TH FLOOR)

SEAL & SIGNATURE:
REGISTERED ARCHITECT
DAVID L. LAMBERT
DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/4" = 1'-0"
DWG No: **A-161.02**
DOB PAGE No: 134 of 454
DOB EMPLOYEE STAMP: DOB 5-SCAN:



No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 1

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

CONSULTANT:



AAI
ARCHITECTS, P.C.

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY


92ND FLOOR PLAN (RESIDENTIAL -
TIER 4) (MFD-130TH FLOOR)

SEAL & SIGNATURE:	DATE:	15 OCT
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	DRAWN: Author	REV:
	CHK: Checker	12



DWG No: **A 162 02**

		DOB PAGE No: 135 of 454
DOB EMPLOYEE STAMP:		DOB B-SCAN

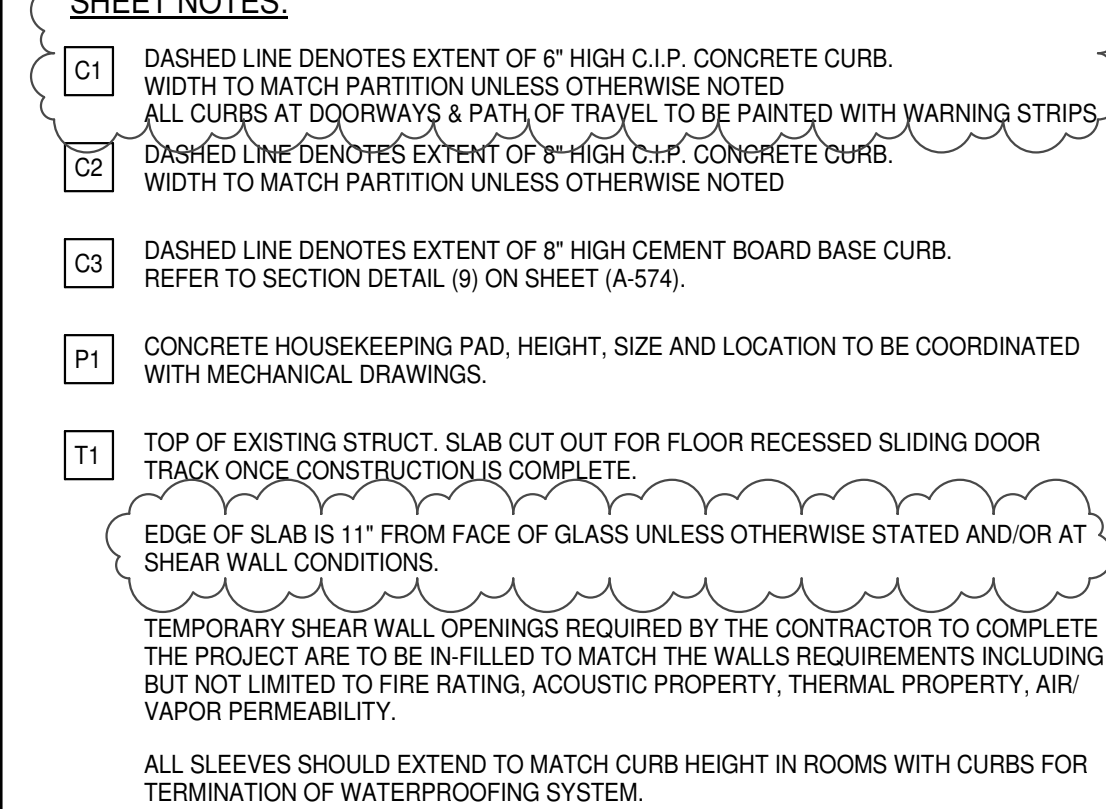
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KEY PLAN:		
PROJECT NORTH TRUE NORTH		
DEVELOPER: EXTELL DEVELOPMENT COMPANY 805 THIRD AVENUE, 7TH FLOOR New York, NY 10022 USA TEL: 212 712 6000 FAX: 212 712 6100		
DESIGN ARCHITECT: Base Building Shell & Core ADRIAN SMITH - GORDON GILL ARCHITECTURE 111 WEST JACKSON STREET SUITE 2300 CHICAGO, IL 60603 TEL: 312 920 1888 FAX: 312 920 1775		
INTERIOR DESIGNER: Residential Rotter Architecture and Design Studio, PLLC 298 Fifth Ave., 7th Floor New York, NY 10001 TEL: 646 989 7000 FAX:		
ARCHITECT OF RECORD: Base Building Shell, Core, & Residential AAI ARCHITECTS, P.C. 401 Wellington St. W., 3rd Floor Toronto, ON M5T 1E7 Canada TEL: 416 967 1500 FAX: 416 967 7150		
STRUCTURAL ENGINEER: WSP CANTOR SENIUK 220 EAST 45th Street New York, NY 10017 USA TEL: 212 687 9888 FAX: 646 487 5501		
MEP ENGINEER: AKF GROUP 165 Broadway, 22nd Floor New York, NY 10005 USA TEL: 212 342 8656 FAX: 212 354 5668		
GEOTECHNICAL ENGINEER: Langan Engineering & Environmental Services 21 Penn Plaza - 360 West 31st Street, 8th Floor New York, NY 10001-2727 TEL: 212 479 5400 FAX: 212 479 5444		
CODE CONSULTANTS: Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1818 FAX: 212 385 1811		
CURTAINWALL CONSULTANT: A.J.P Consulting 40 Murph Street, Suite B208 New York, NY 10013 TEL: 212 757 5699 FAX: 646 219 8508		
LANDMARK/PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc. 39 West 37th Street, 12A New York, NY 10018 TEL: 212 759 6462 FAX: 212 759 6540		
No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	16 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 9 - CMP	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 3	25 MAY 16
14	CD BULLETIN ISSUE - 5	12 AUG 16
15	CD BULLETIN ISSUE - 7	14 SEP 16
16	D.O.B. AMENDMENT 3	03 OCT 16

ISSUED AS: A 160 CD PROCEEDS ISSUE 4 04 11 IN 15/ ISSUED AS: A 104 CD PROCEEDS ISSUE 2 00 MAR 95

D.O.B. SUBMISSION

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CONSULTANT



AAI
ARCHITECTS, P.C.

PROJECT:


217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

93RD FLOOR PLAN (RESIDENTIAL)
TIER 4) (MFD-131ST FLOOR)

SEAL & SIGNATURE:	DATE:	15 OCT 14
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	DATE: 10-01-14
	PROJECT No: 1216-00
	DRAWN: Author DESIGNED:


	DRAWN: Auditor	REV.
	CHK: Checker	13



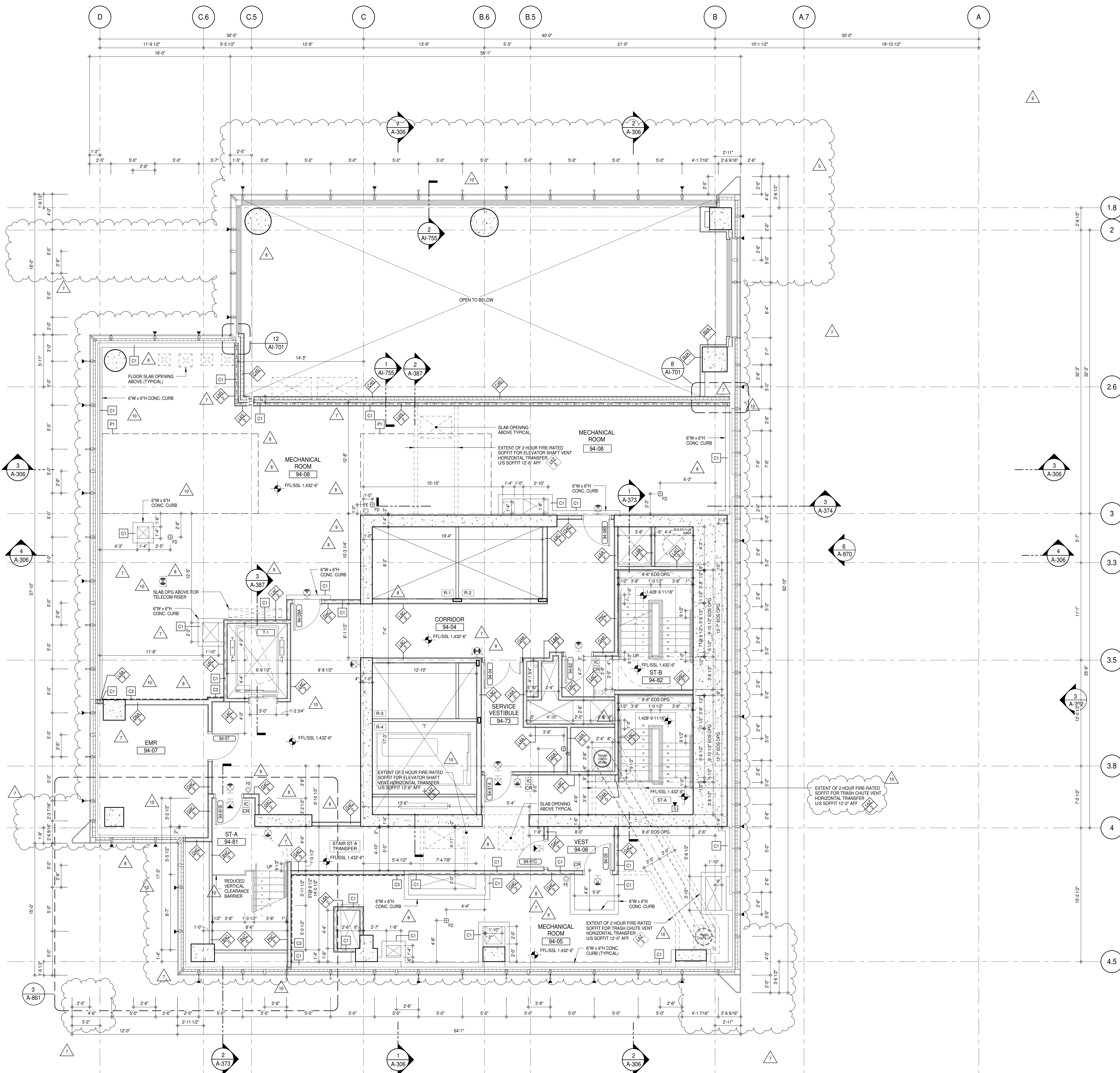
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DWG No:

A-163.02

		DOB PAGE No: 136 of 454	
DOB EMPLOYEE STAMP:		DOB P SCAN:	

000 ENR ESTEE STAINER



SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C2 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C3 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

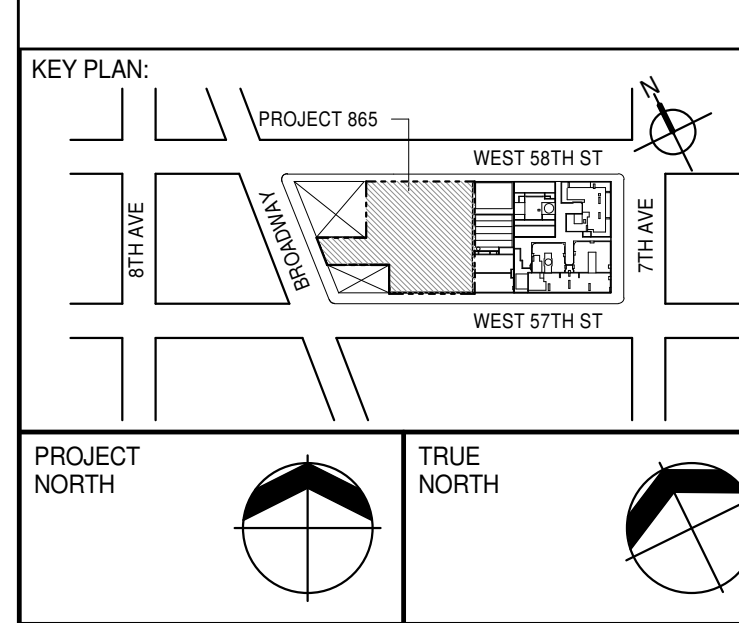
P1 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK. ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.



DEVELOPER: EXTREME DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Westchester St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SENUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10008 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 3	02 NOV 15
10	CD PROGRESS ISSUE 6	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 7	14 SEP 16
13	D.O.B. AMENDMENT 3	03 OCT 16

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D.O.B. SUBMISSION

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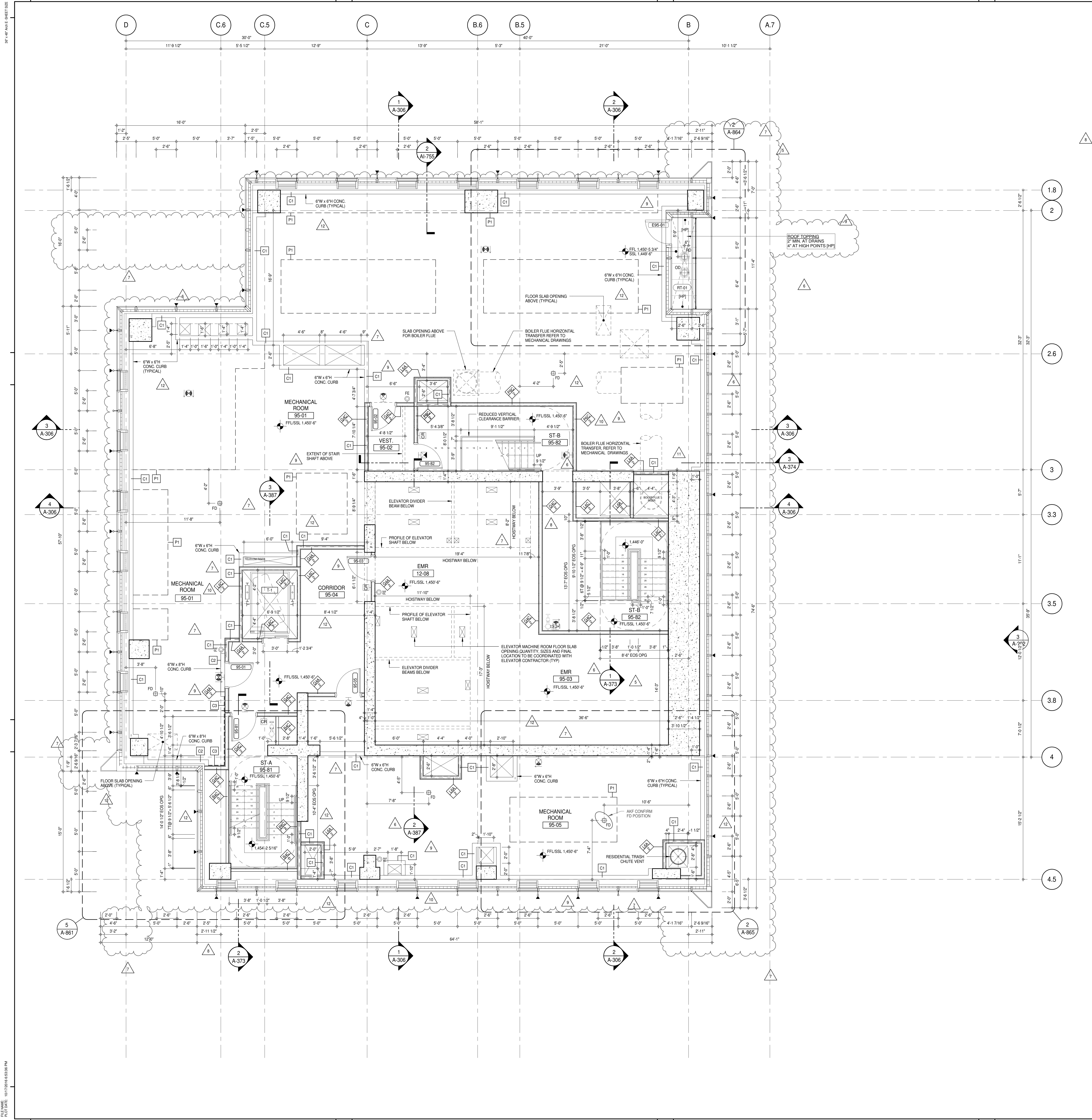
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
94TH FLOOR (MECHANICAL) PLAN
(MFD-132ND FLOOR)

SEAL & SIGNATURE 	DATE: 15 OCT 14 PROJECT No: 1216-00 DRAWN: Author CHECKED: Checker SCALE: 1/4" = 1'-0" DWG No: A-164.02 DOB PAGE No: 137 of 454 DOB 5-SCAN:
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SHEET NOTES:

C1 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

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KEY PLAN:

PROJECT INFO:

DEVELOPER: EXTREME DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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401 Westchester St., 3rd Floor
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TEL: 416 967 1500 FAX: 416 967 7150

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New York, NY 10007
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40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

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12	CD BULLETIN ISSUE - 4	15 JUL 16
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14	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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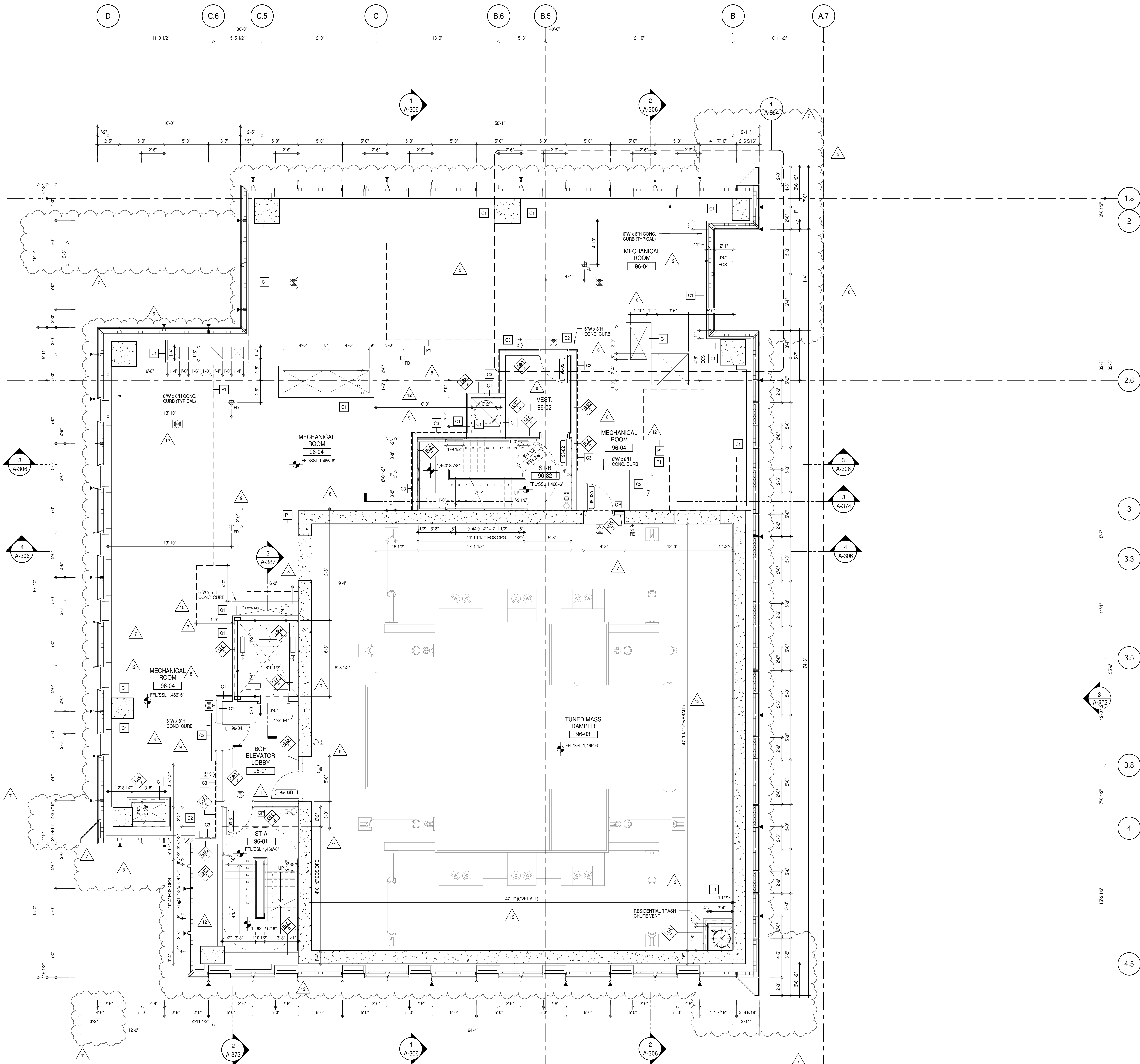
CONSULTANT:

AAI ARCHITECTS, P.C.

PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE: 95TH FLOOR PLAN (EMR) (MFD-133RD FLOOR)

SEAL & SIGNATURE: PROJECT No: 1216-00
DATE: 15 OCT 14
DRAWN: Author
CHECKED: Checker
SCALE: 1/4" = 1'-0"
DWG No: A-165.02
DOB PAGE No: 138 of 454
DOB 5-SCAN:



SHEET NOTES:

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C2 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

C3 DASHED LINE DENOTES EXTENT OF 6" HIGH CEMENT BOARD BASE CURB. REFER TO SECTION DETAIL (B) ON SHEET (A-574).

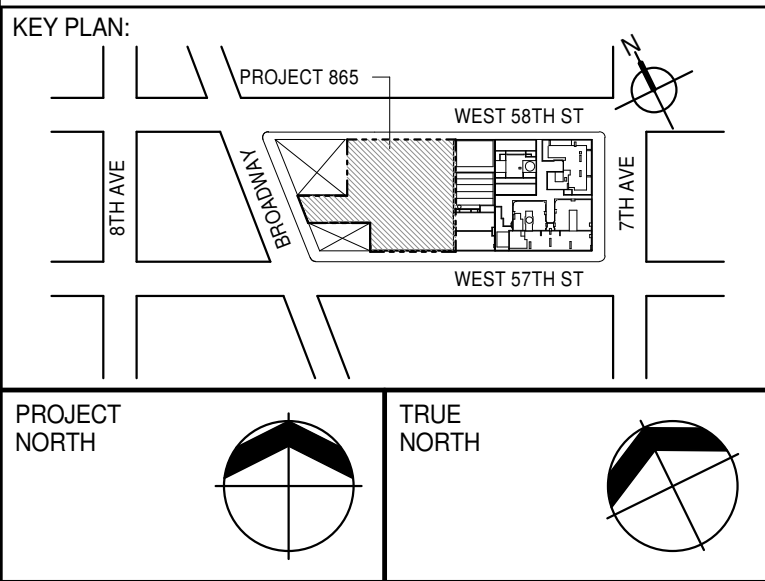
P1 CONCRETE HOUSEKEEPING PAD HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

T1 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE FILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.



PROJECT NORTH

TRUE NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
Base Building Shell & Core
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
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New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
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Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEER: **VSP CANTOR SENUK**
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TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
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New York, NY 10008 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 300 West 51st Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1912 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 2	11 MAY 16
14	CD BULLETIN ISSUE - 7	14 SEP 16
15	D.O.B. AMENDMENT 3	03 OCT 16

0 2'-0" 4'-0" 8'-0"

D.O.B. SUBMISSION

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CONSULTANT:



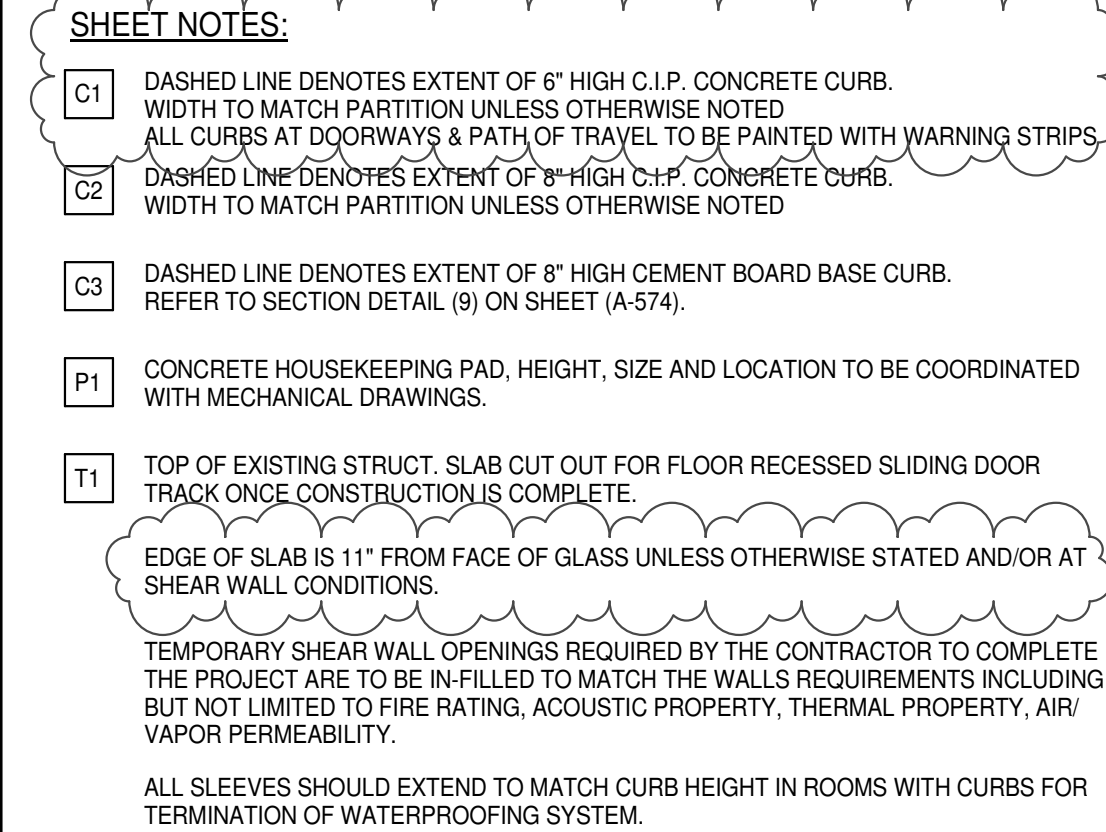
PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **96TH FLOOR PLAN (DAMPER)
(MFD-134TH FLOOR)**

SEAL & SIGNATURE: **DAVID LAMAR**
PROJECT No: 1216-00
DATE: 15 OCT 14

DRAWN: Author
CHECKED: Checker
SCALE: 1/4" = 1'-0"
DWG No: **A-166.02**

DOB PAGE No: 139 of 454
DOB 5-SCAN:



LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

0 2' - 0" 4' - 0" 8' - 0"

D.O.B. SUBMISSION

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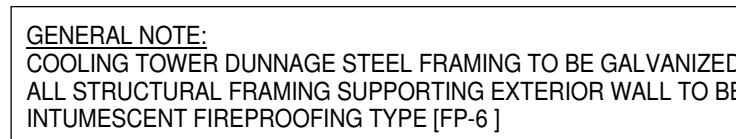
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

97TH FLOOR PLAN (MECHANICAL)
(MFD-135TH FLOOR)

	DATE: 15 OCT 14	
	PROJECT No: 1216-00	
	DRAWN: Author	REV:
	CHECK: Checker	11
	SCALE: 1/4" = 1'-0"	
DWG No: A-167.02		
DOR PAGE No: 160 of 154		

DOB EMPLOYEE STAMP:	DOB B-SCAN:
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7	DASHED LINE DETENTES EXISTENCE OF 8" HIGH CIP. CONCRETE CURB WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED
8	CLASH AT INTERIOR & HEIGHT TRIM TO BE MATCHED WITH WAINING STRIPS
9	DASHED LINE DETENTES EXISTENCE OF 8" HIGH CIP. CONCRETE CURB WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED
10	DASHED LINE DETENTES EXISTENCE OF 8" HIGH GEMENT BOARD BASE CURB REFER TO SECTION DETAIL (8) ON SHEET # A-574
11	CONCRETE HOUSEKEEPING PAD, HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS
12	TOP OF EXISTING STRUCT. SLAB OUT FOR FLOOR RECESSED SLUG DOOR TRACK ONCE CONSTRUCTION IS COMPLETE
13	EDGE OF SLAB 8" MIN FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT THEIR WALL COORDINATE
14	TEMPORARY SHIELD WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE WORK TO BE IN-LEVEL TO MATCH THE WALL'S REQUIREMENTS INCLUDING BUT NOT LIMITED TO THE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR LEAKAGE
15	ALL GLASS SHEETS SHOULD MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM

A map of the area around Project 865. The project is located on West 58th St, between 6th Ave and 8th Ave. The map shows the street grid with labels for 8TH AVE, 6TH AVE, 7TH AVE, WEST 58TH ST, and WEST 57TH ST. Project 865 is indicated by a shaded rectangular area on West 58th St.

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
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INTERIOR DESIGNER: Residential
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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
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Toronto, ON M5V 1E7 Canada
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MEP ENGINEERS:

AKF GROUP
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GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

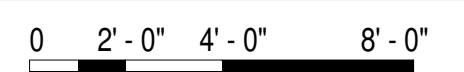
CODE CONSULTANTS:

Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT '9
2	CD PROGRESS ISSUE 2	19 DEC '9
3	D.O.B. SUBMISSION	18 FEB '1
4	CD PROGRESS ISSUE 3	09 MAR '1
	D.O.B. SUBMISSION	27 APR '1
5	CD PROGRESS ISSUE 4	01 JUN '1
6	CD PROGRESS ISSUE 5	10 AUG '1
	D.O.B. AMENDMENT 2	21 SEP '1
7	CD PROGRESS ISSUE 6	02 NOV '1
8	CD PROGRESS ISSUE 7	29 JAN '1
9	CD PROGRESS ISSUE 8 MEP – GMP SET	18 MAR '1
10	CD ISSUE 8 - GMP SET	31 MAR '1
11	CD BULLETIN ISSUE - 2	11 MAY '1
12	CD BULLETIN ISSUE - 3	25 MAY '1
	D.O.B. AMENDMENT 3	03 OCT '1



D.O.B. SUBMISSION

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CONSULTANT:



AAI
ARCHITECTS, P.C.

PROJECT:


217 WEST 57TH STREET

NEW YORK, NY

DRAWING TITLE:

99TH FLOOR PLAN (ROOF) (MFD-137TH FLOOR ROOF)

SEAL & SIGNATURE:	DATE:	15 OCT 1991
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	DATE: 10-08
	PROJECT No: 1218

	DRAWN: Author	REV:
	CHK: Checker	10



CHS. Checkroll
 SCALE: 1/4" = 1'-0"

A-169.01

DOB PAGE No: 142 of 454

DOB EMPLOYEE STAMP:	DOB B-SCAN:
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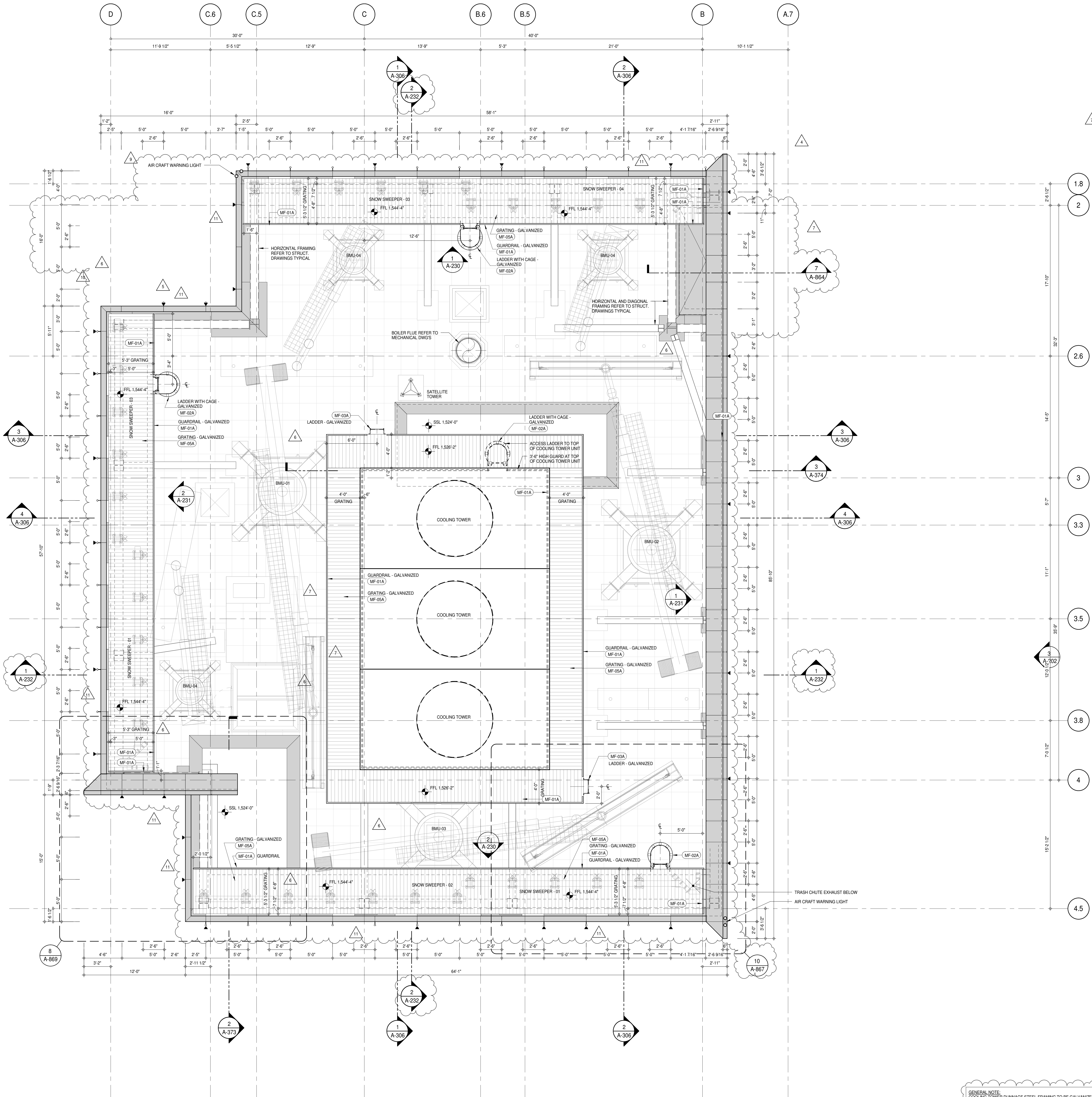
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SHEET NOTES:

01 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

02 ALL CURBS AT ROOMWAYS & RAMP OF TRAVEL TO BE PAINTED WITH WARNING STRIPS.

03 DASHED LINE DENOTES EXTENT OF 6" HIGH C.I.P. CONCRETE CURB. WIDTH TO MATCH PARTITION UNLESS OTHERWISE NOTED.

04 CONCRETE HOUSEKEEPING PAD. HEIGHT, SIZE AND LOCATION TO BE COORDINATED WITH MECHANICAL DRAWINGS.

11 TOP OF EXISTING STRUCT. SLAB CUT OUT FOR FLOOR RECESSED SLIDING DOOR TRACK ONCE CONSTRUCTION IS COMPLETE.

EDGE OF SLAB IS 11" FROM FACE OF GLASS UNLESS OTHERWISE STATED AND/OR AT SHEAR WALL CONDITIONS.

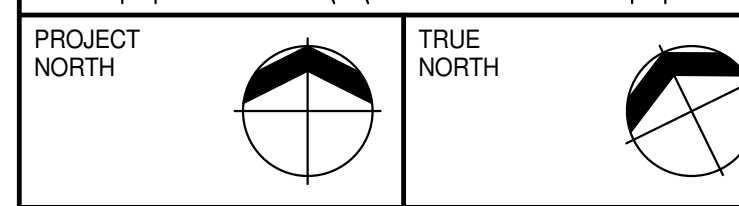
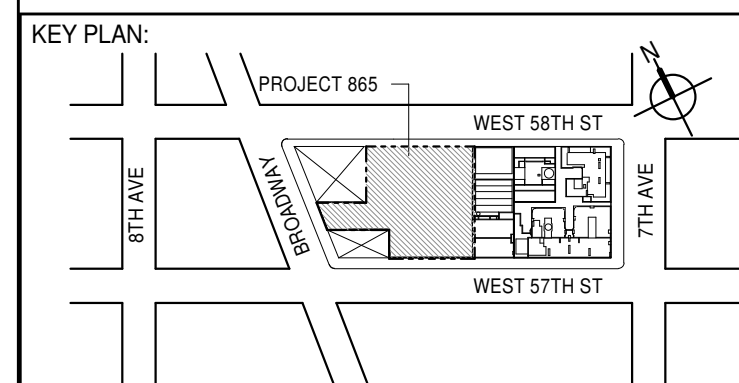
TEMPORARY SHEAR WALL OPENINGS REQUIRED BY THE CONTRACTOR TO COMPLETE THE PROJECT ARE TO BE INFILLED TO MATCH THE WALLS REQUIREMENTS INCLUDING BUT NOT LIMITED TO FIRE RATING, ACOUSTIC PROPERTY, THERMAL PROPERTY, AIR VAPOR PERMEABILITY.

ALL SLEEVES SHOULD EXTEND TO MATCH CURB HEIGHT IN ROOMS WITH CURBS FOR TERMINATION OF WATERPROOFING SYSTEM.

KEYNOTE LEGEND:

TAB #	DESCRIPTION
MF-01A	GUARDRAIL - GALVANIZED
MF-02A	LADDER WITH CAGE - GALVANIZED
MF-03A	LADDER - GALVANIZED
MF-05A	GRATING - GALVANIZED

GENERAL NOTE:
COOLING TOWER DRAINAGE STEEL FRAMING TO BE GALVANIZED
ALL STRUCTURAL FRAMING SUPPORTING EXTERIOR WALL TO BE INTUMESCENT FIREPROOFING TYPE (F-16)



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
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INTERIOR DESIGNER: Residential
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298 Fifth Ave, 7th Floor
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Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
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No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 2	19 DEC 14
2	D.O.B. SUBMISSION	18 FEB 15
3	CD PROGRESS ISSUE 3	09 MAR 15
4	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15
6	D.O.B. AMENDMENT 2	21 SEP 15
7	CD PROGRESS ISSUE 5	02 NOV 15
8	CD PROGRESS ISSUE 6	29 JAN 16
9	CD PROGRESS ISSUE 7	18 MAR 16
10	CD PROGRESS ISSUE 8	31 MAR 16
11	CD PROGRESS ISSUE 9	11 MAY 16
12	CD PROGRESS ISSUE 10	25 MAY 16
13	CD PROGRESS ISSUE 11	03 OCT 16

0 2' 0" 4' 0" 8' 0"

D.O.B. SUBMISSION

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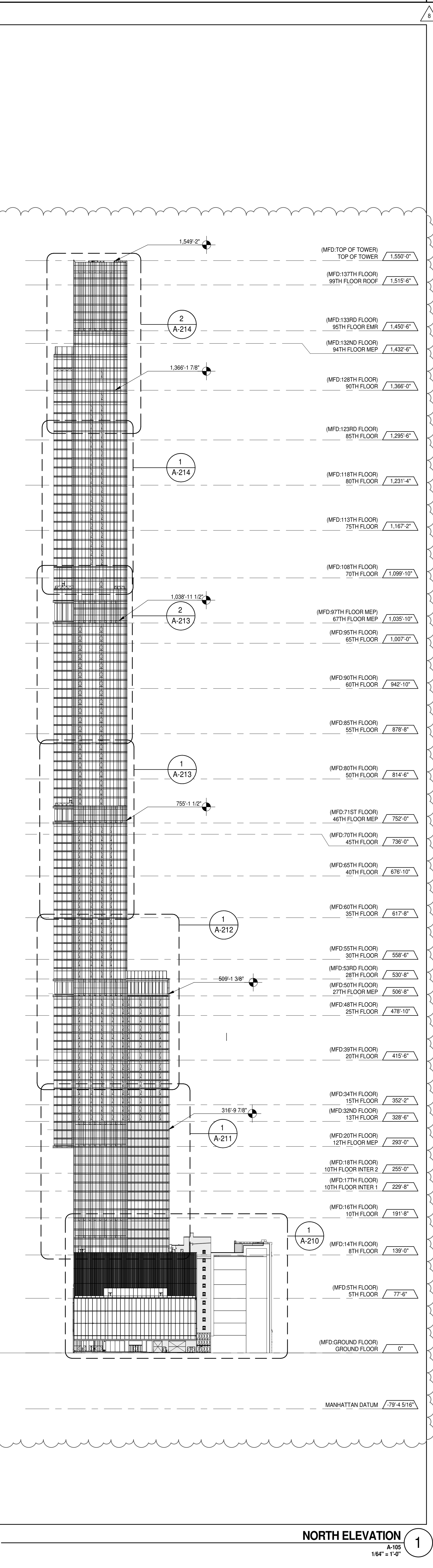
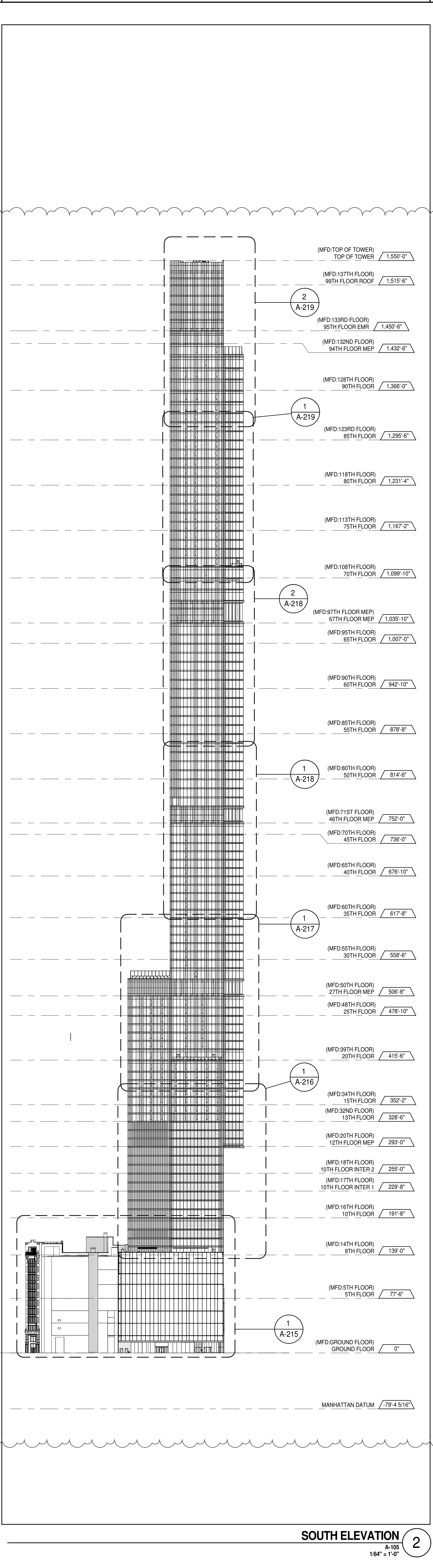
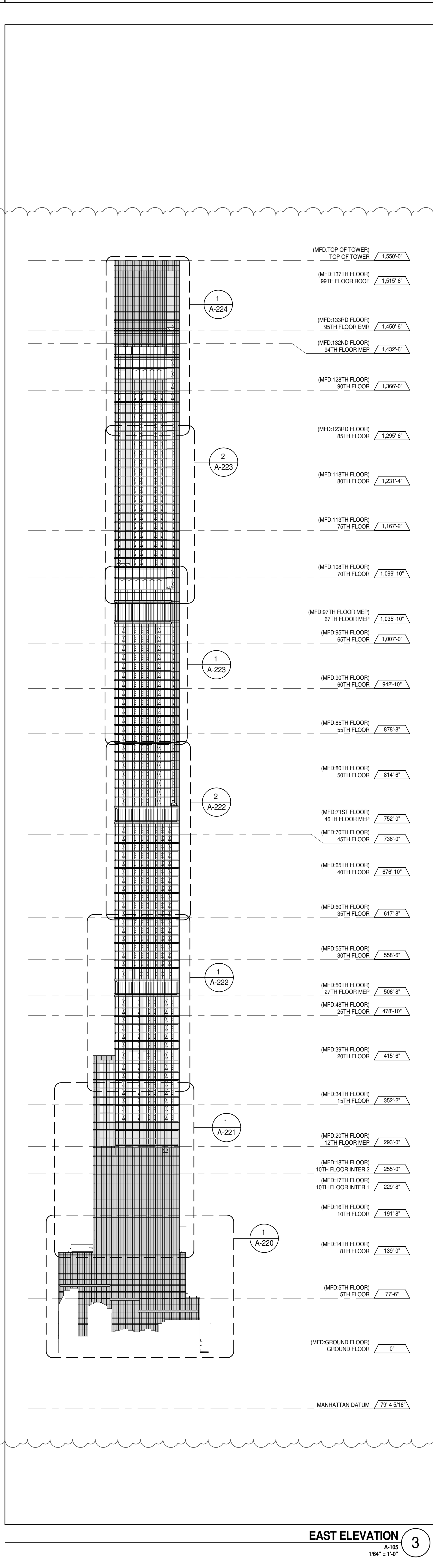
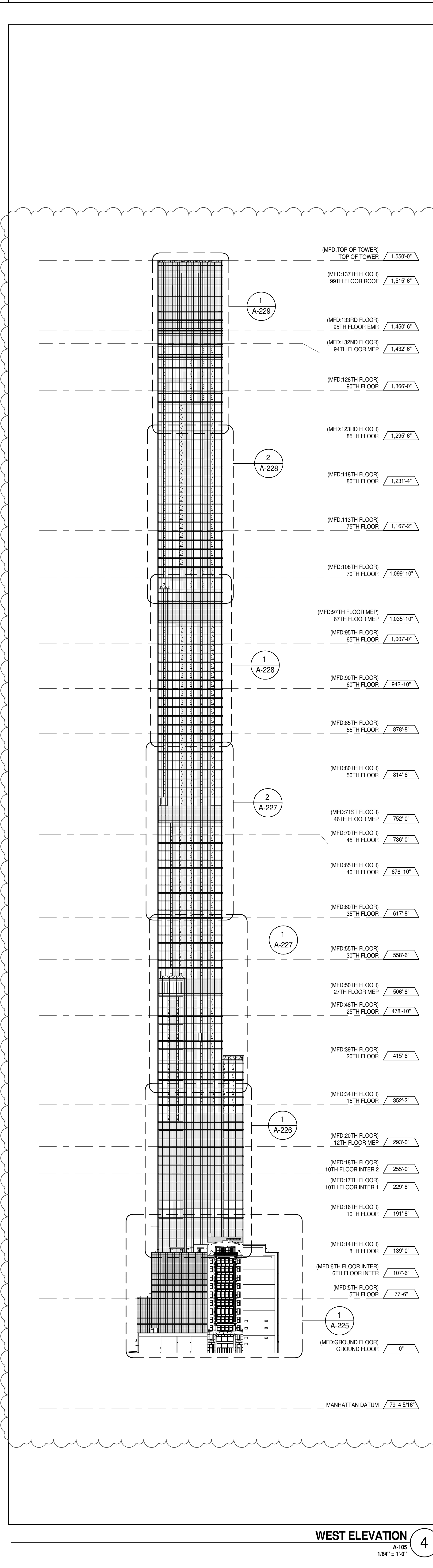
CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
BMU PLATFORM FLOOR PLAN (MFD-BMU PLATFORM)

SEAL & SIGNATURE DAVID L. LAM REGISTERED ARCHITECT STATE OF NEW YORK	DATE: 19 DEC 14 PROJECT No: 1216-00 DRAWN: Author CHECKED: Checker SCALE: 1/4" = 1'-0" DWG No: A-170.01 DOB PAGE No: 143 of 454 DOB 5-SCAN:
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DOB EMPLOYEE STAMP:



KEY PLAN: PROJECT #10172016-1025-01

PROJECT NORTH: TRUE NORTH

DEVELOPER: EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
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DESIGN ARCHITECT: Base Building Shell & Core
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CHICAGO IL 60603
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MEP ENGINEERS:
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NEW YORK, NY 10006 USA
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No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	D.O.B. SUBMISSION	05 DEC 14
3	CD PROGRESS ISSUE 2	19 DEC 14
4	D.O.B. SUBMISSION	18 FEB 15
5	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CD PROGRESS ISSUE 7	29 JAN 16
10	CD ISSUE 8 - GMP SET	31 MAR 16
	D.O.B. AMENDMENT 3	03 OCT 16

0 32'-0" 64'-0" 128'-0"

D.O.B. SUBMISSION

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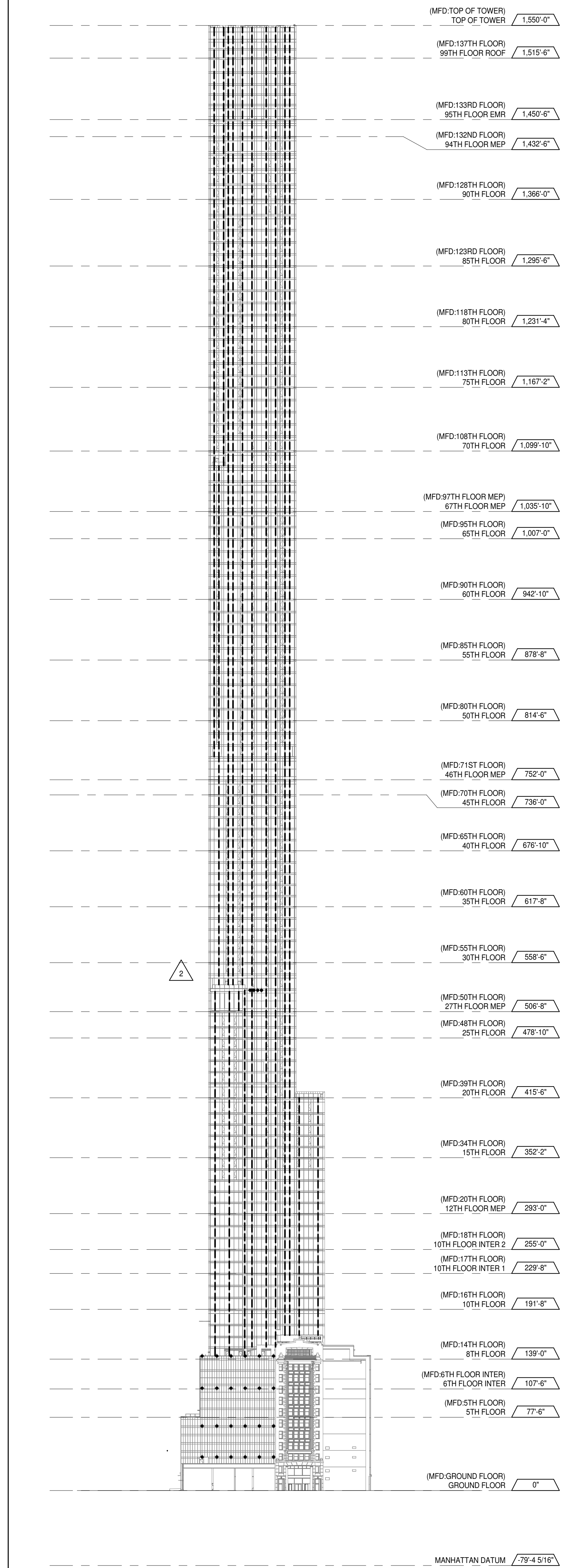
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CONSULTANT: **AAI ARCHITECTS, P.C.**

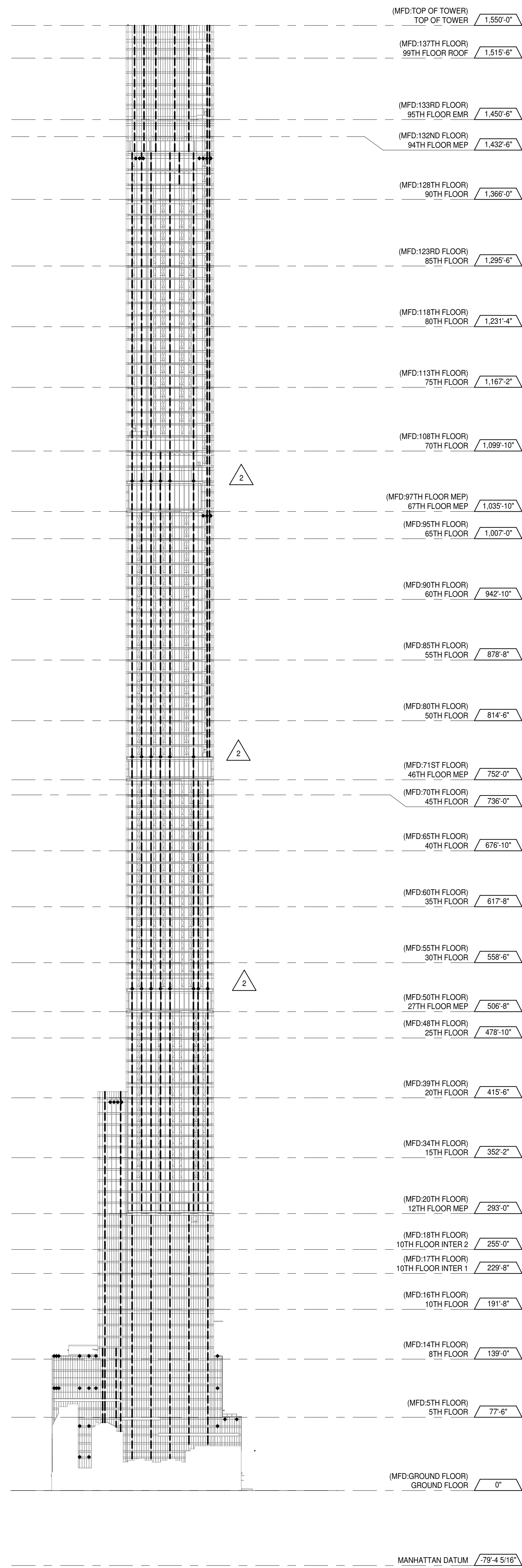
PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE: OVERALL BUILDING ELEVATIONS

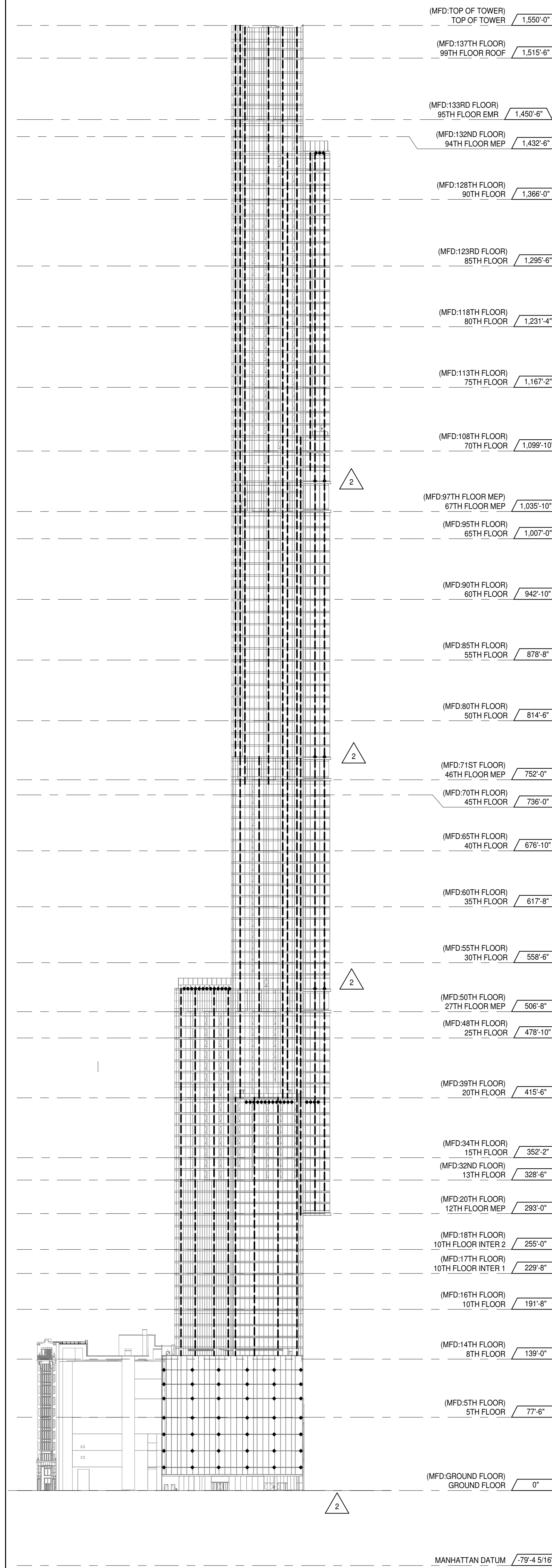
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PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
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DWG No: **A-202.02**
DOB PAGE No: 144 of 454
DOB 5-SCAN:



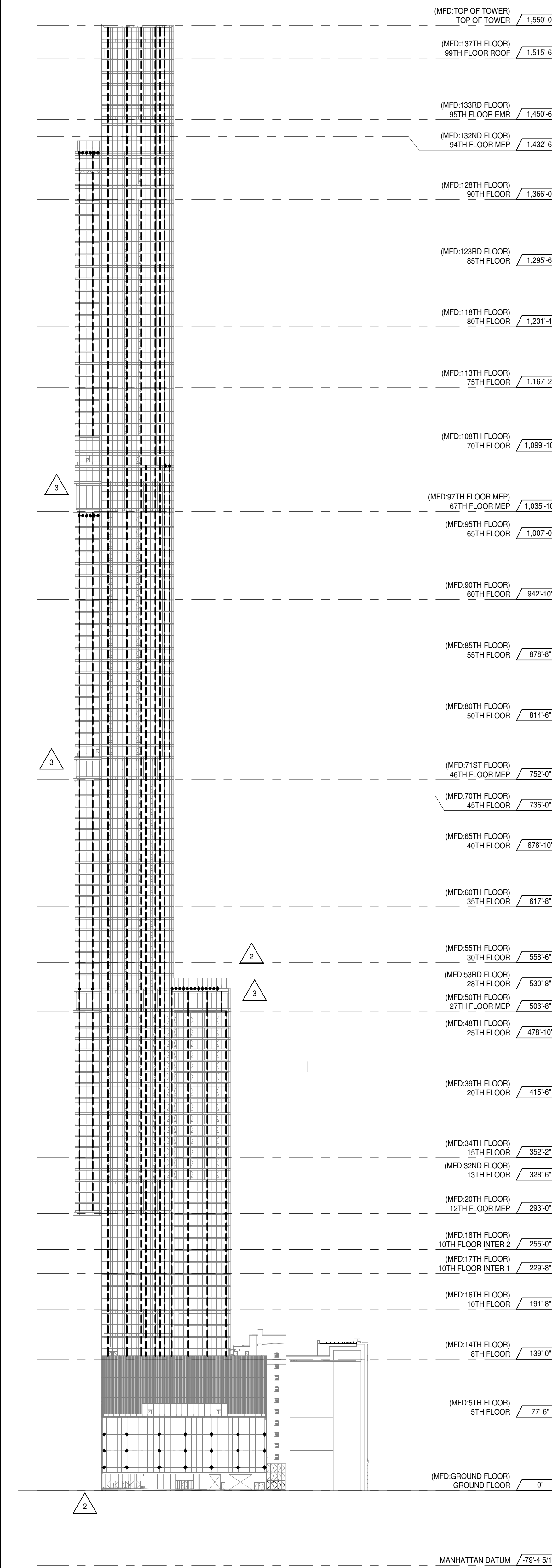
WEST ELEVATION 4
1/8" = 1'-0"



EAST ELEVATION 3
1/8" = 1'-0"



SOUTH ELEVATION 2
1/8" = 1'-0"



NORTH ELEVATION 1
1/8" = 1'-0"

KEY PLAN: PROJECT #10, WEST 90TH ST, WEST 97TH ST, 7TH AVE, 8TH AVE

PROJECT NORTH: TRUE NORTH

DEVELOPER: **EXTEL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
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LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 7	29 JAN 16
2	CD ISSUE 8 - GMP SET	31 MAR 16
3	CD BULLETIN ISSUE - 1	22 APR 16
	D.O.B. AMENDMENT 3	03 OCT 16

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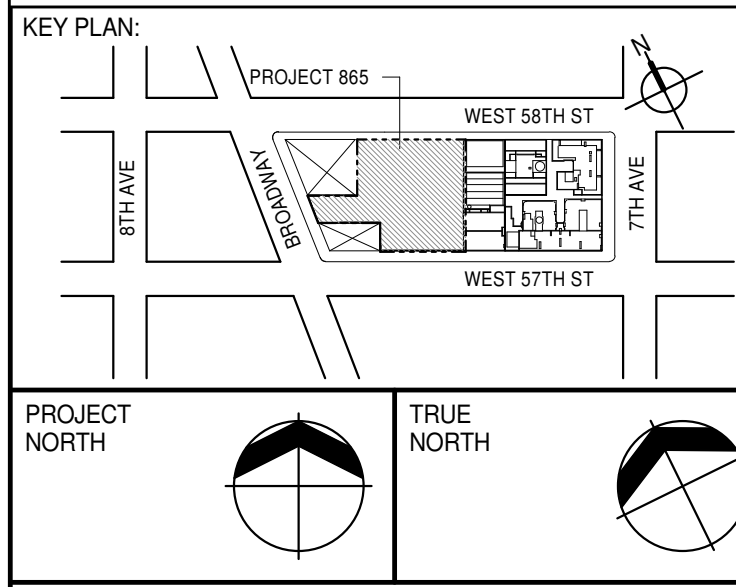
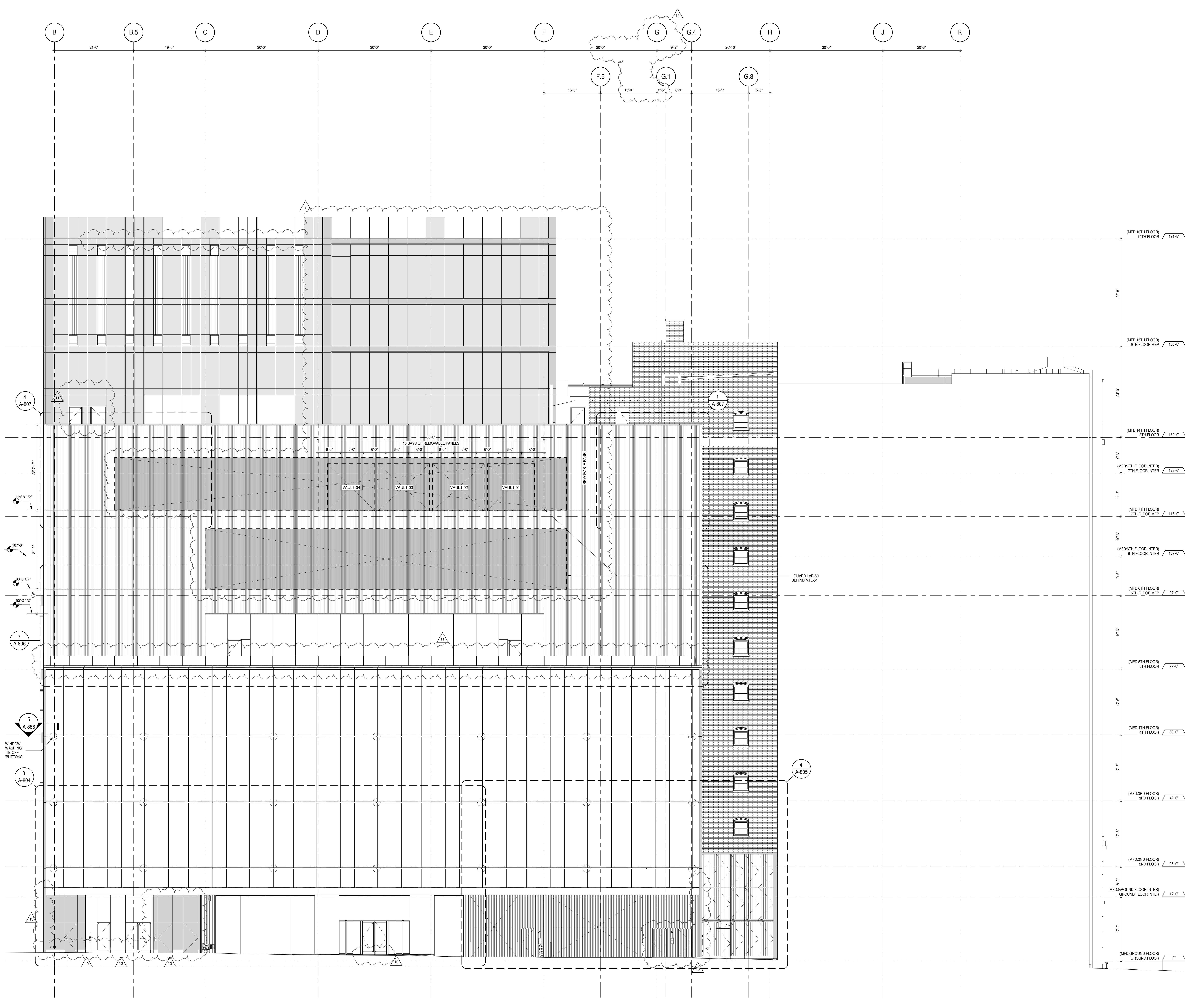
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE: **FAÇADE MAINTENANCE SYSTEM BUILDING ELEVATION**

SEAL & SIGNATURE	DATE	PROJECT No.	1216-00
	29 JAN 16	DRAWN: Author	REV: 3
		CHECK: Checker	
		SCALE: 1/8" = 1'-0"	
		DWG No:	A-203.00
		DOB PAGE No:	145 of 454
		DOB S-SCAN:	



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**
Rottet Architecture and Design Studio, PLLC
 238 Fifth Ave, 7th Floor
 New York, NY 10001
 TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
AAI ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **WSP CANTOR SEINUK**
 228 EAST 45th Street
 New York, NY 10017 USA
 TEL: 212 887 9885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
 165 Broadway, 22nd Floor
 New York, NY 10006 USA
 TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
 21 Penn Plaza - 350 West 51st Street, 9th Floor
 New York, NY 10001-2722
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
 100 Church Street
 New York, NY 10007
 TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
 40 Worth Street, Suite 808
 New York, NY 10013
 TEL: 212 757 6555 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
 39 West 57th Street, 12A
 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	CD PROGRESS ISSUE 7	29 JAN 16
12	CD ISSUE 8 - GMP SET	31 MAR 16
13	CD BULLETIN ISSUE - 1	22 APR 16
14	CD BULLETIN ISSUE - 2	11 MAY 16
15	ASI ISSUE - 1	18 MAY 16
16	CD BULLETIN ISSUE - 4	15 JUL 16
17	D.O.B. AMENDMENT 3	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

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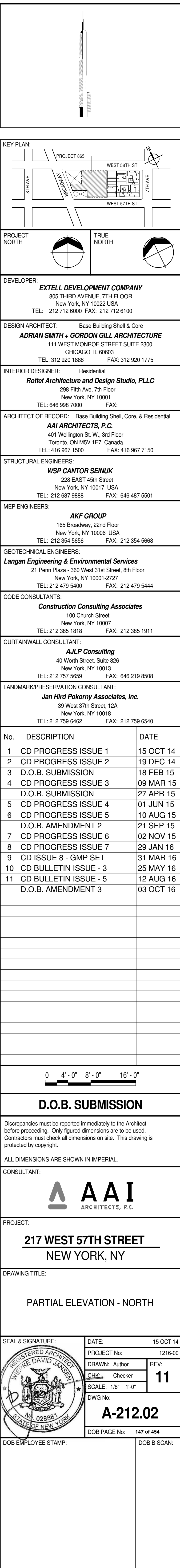
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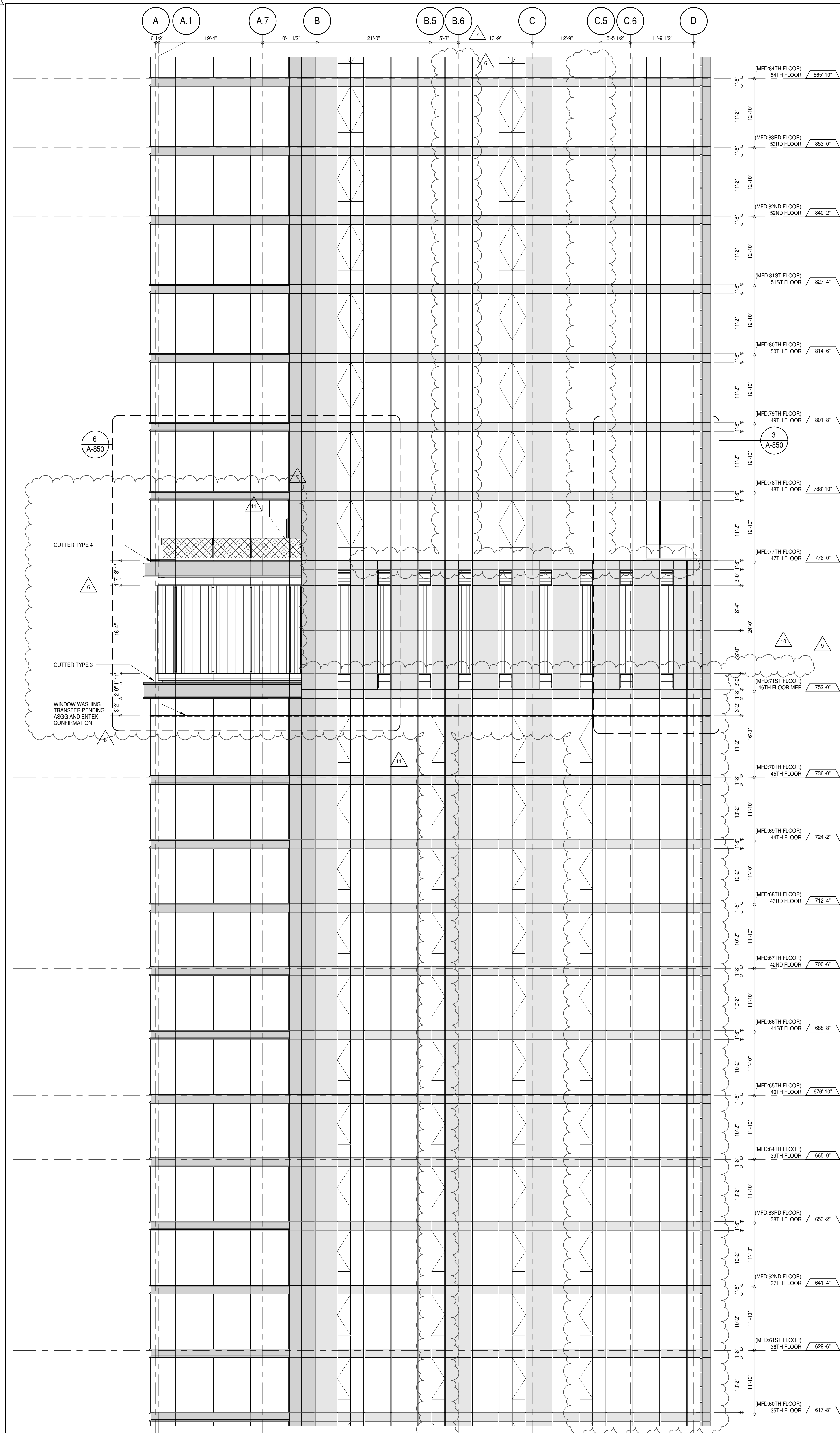
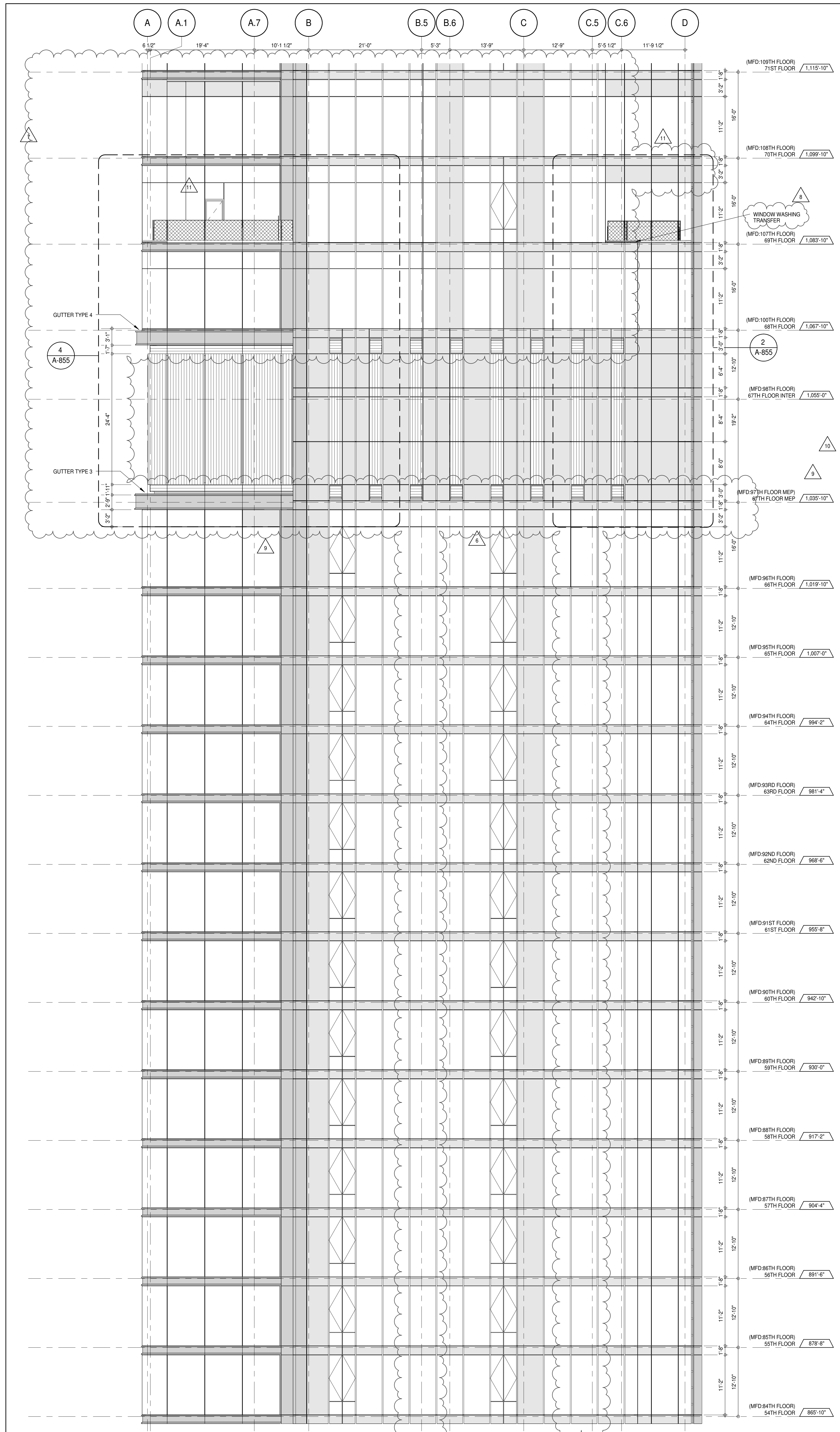


PROJECT: **217 WEST 57TH STREET**
 NEW YORK, NY

DRAWING TITLE: **PARTIAL ELEVATION - NORTH**

SEAL & SIGNATURE	DATE: 15 OCT 14
	PROJECT No: 1216-00
	DRAWN: Author
	CHECKED: 13
	SCALE: 1/8" = 1'-0"
DWG No:	A-210.03
DOB PAGE No:	166 of 454
DOB EMPLOYEE STAMP:	DOB S-SCAN:





KEY PLAN

PROJECT NORTH

DEVELOPER: EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10017
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 51st Street, 9th Floor
New York, NY 10019-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 3	25 MAY 16
13	CD BULLETIN ISSUE - 5	12 AUG 16
14	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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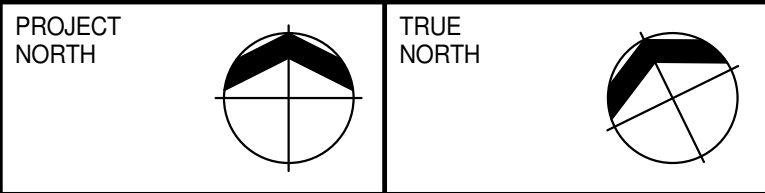
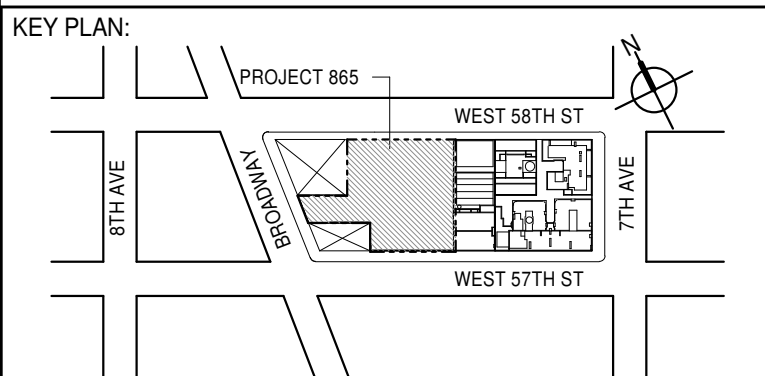
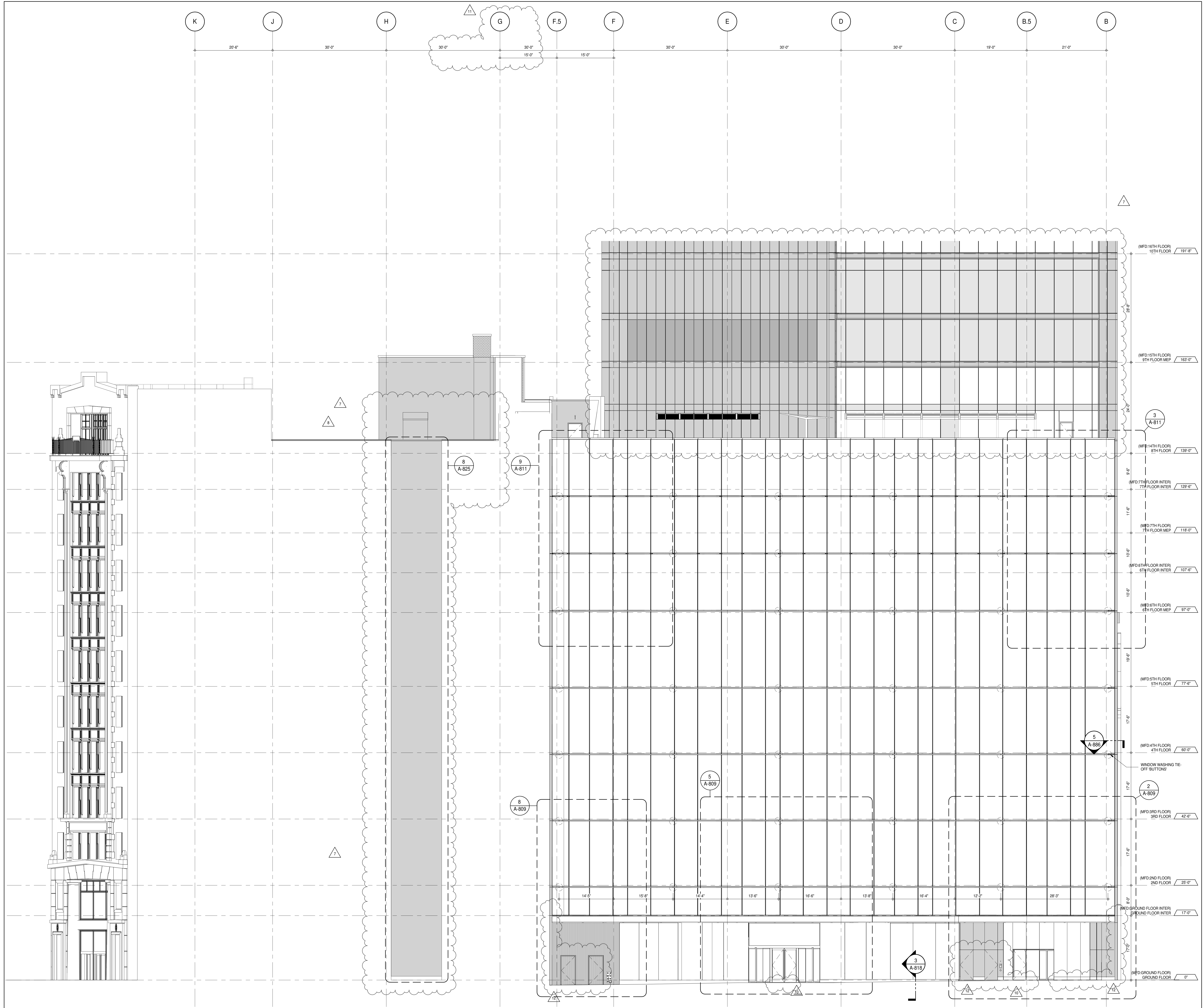
CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE: PARTIAL ELEVATIONS - NORTH

SEAL & SIGNATURE: **DAVID LAMBER**
REGISTERED ARCHITECT
STATE OF NEW YORK
NO. 02885

DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"
DWG No: A-213.02
DOB PAGE No: 148 of 454
DOB 5-SCAN:



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
Base Building Shell & Core
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
Residential
228 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
Base Building Shell, Core, & Residential
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **VSP CANTOR SEINUK**
228 EAST 45th Street
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TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1912 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 1	24 JUL 15
8	CD PROGRESS ISSUE 5	10 AUG 15
9	D.O.B. AMENDMENT 2	21 SEP 15
10	CD PROGRESS ISSUE 6	02 NOV 15
11	D.O.B. AMENDMENT 3	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

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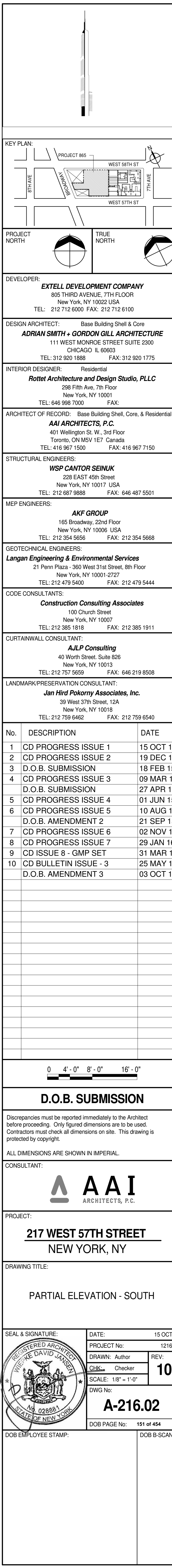
CONSULTANT: **AAI ARCHITECTS, P.C.**

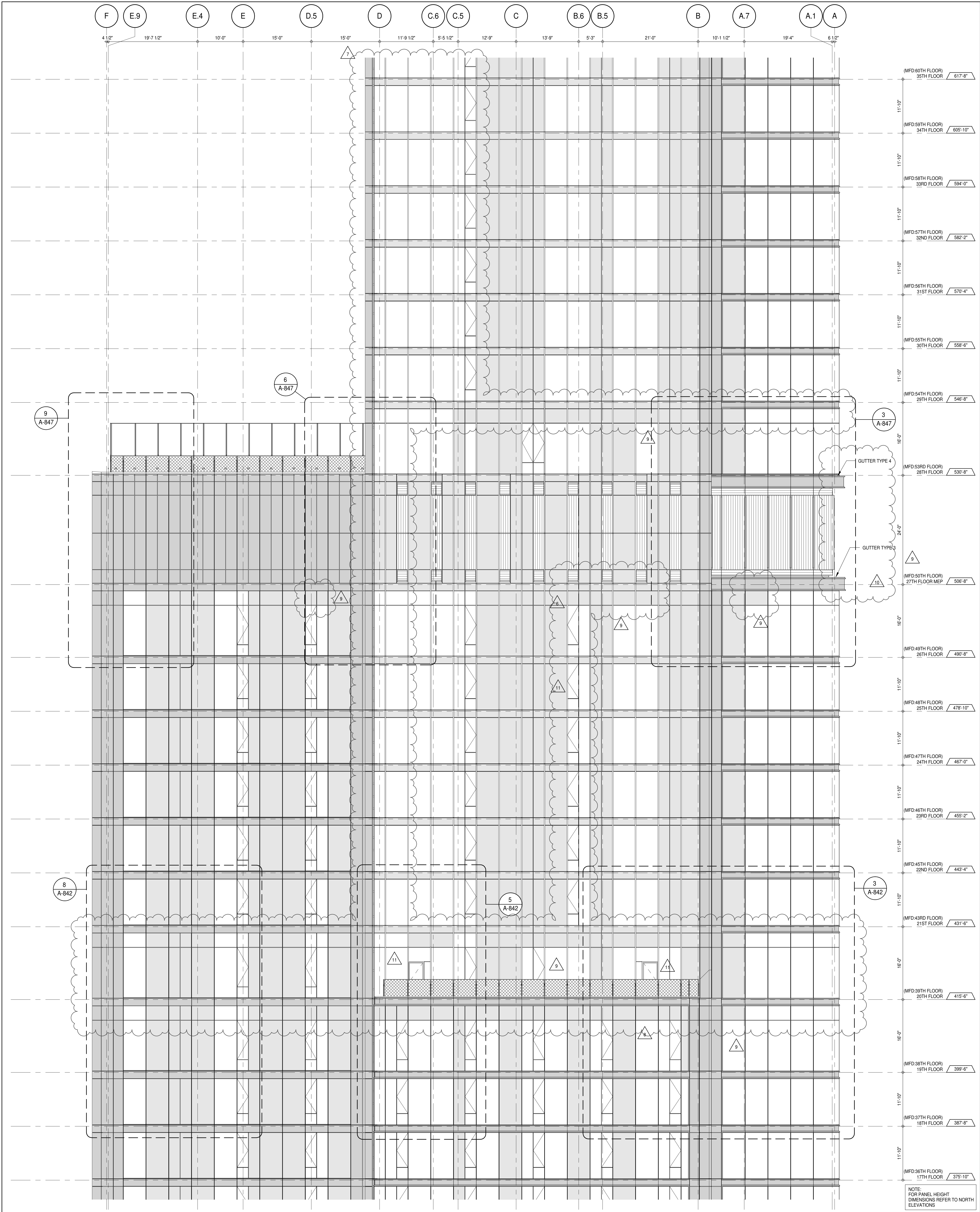
PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **PARTIAL ELEVATION - SOUTH**

SEAL & SIGNATURE: **DAVID L. LAMBERT**
REGISTERED ARCHITECT
NEW YORK STATE
DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-215.03**
DOB PAGE No: 159 of 454
DOB 5-SCAN:

PARTIAL ELEVATION - SOUTH
1/8" = 1'-0" **1**





PARTIAL ELEVATION - SOUTH
1
1/8" = 1'-0"

KEY PLAN

PROJECT NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:
Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:
Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 987 9885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10038 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 350 West 57th Street, 8th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1912 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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5	CD PROGRESS ISSUE 4	01 JUN 15
6	CD PROGRESS ISSUE 5	10 AUG 15
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7	CD PROGRESS ISSUE 6	02 NOV 15
8	CD PROGRESS ISSUE 7	29 JAN 16
9	CD ISSUE 8 - GMP SET	31 MAR 16
10	CD BULLETIN ISSUE - 3	25 MAY 16
11	CD BULLETIN ISSUE - 5	12 AUG 16
	D.O.B. AMENDMENT 3	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

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CONSULTANT:

AAI
ARCHITECTS, P.C.

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
PARTIAL ELEVATION - SOUTH

SEAL & SIGNATURE

DATE: 15 OCT 14

PROJECT No: 1216-00

DRAWN: Author

CHECKED: Checker

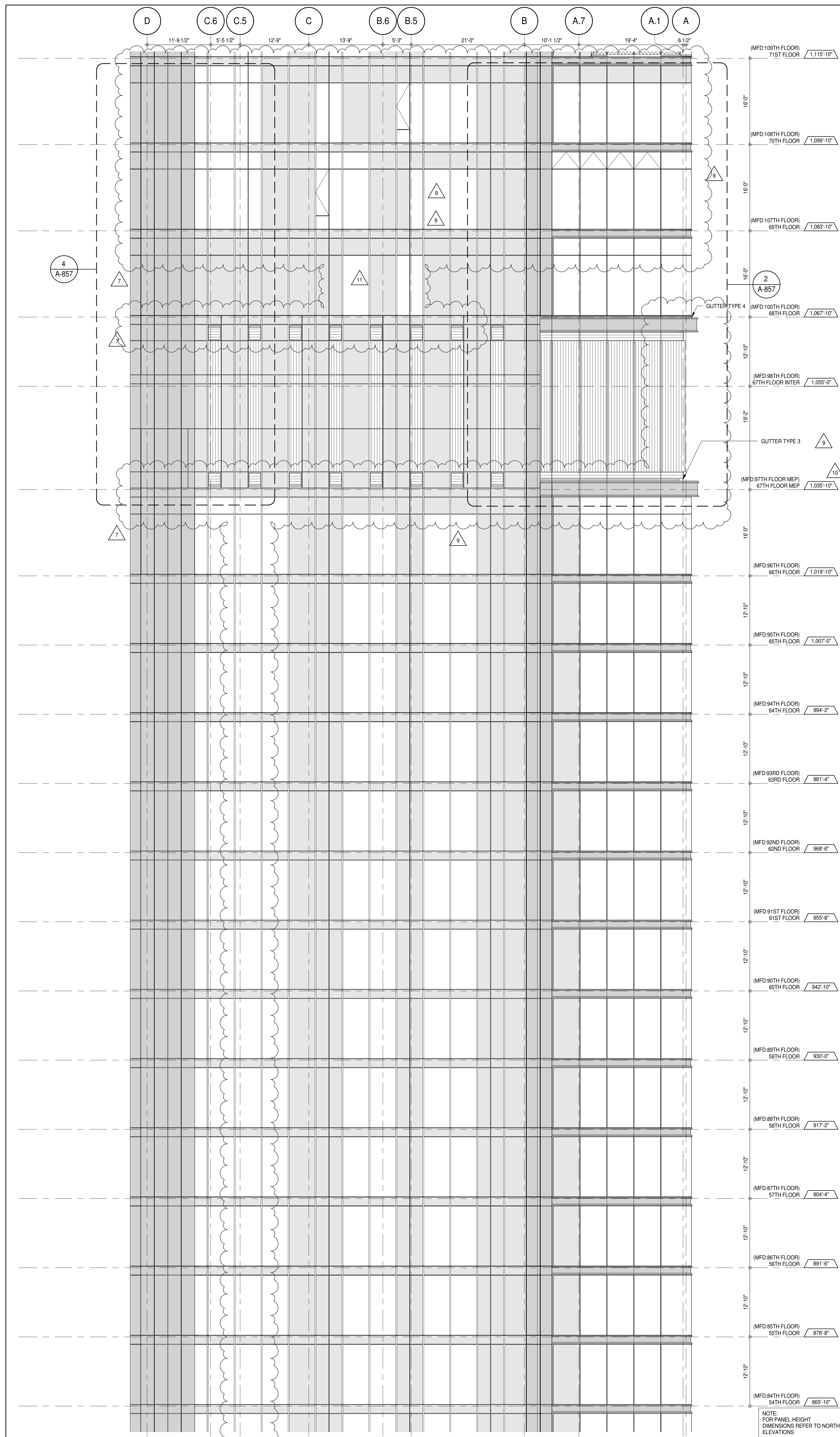
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DWG No:

A-217.02

DOB PAGE No: 193 of 454

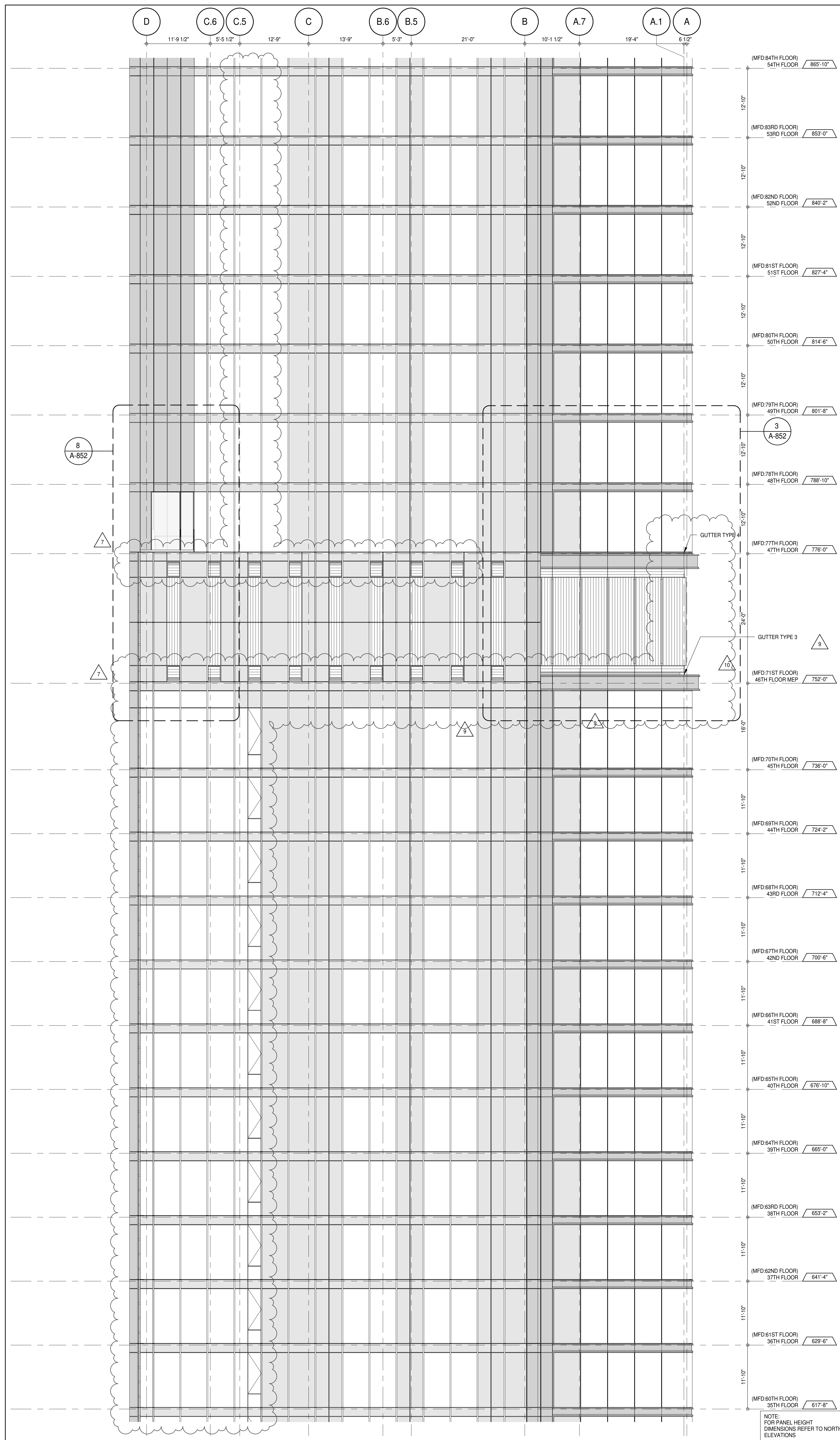
DOB 5-SCAN:



PARTIAL ELEVATION - SOUTH

2

1/8" = 1'-0"



PARTIAL ELEVATION - SOUTH

1

1/8" = 1'-0"

KEY PLAN: PROJECT #101, WEST 9TH ST, WEST 7TH ST, 7TH AVE, 8TH AVE

PROJECT NORTH: TRUE NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
Base Building Shell & Core
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rotter Architecture and Design Studio, PLLC**
208 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
Base Building Shell, Core, & Residential
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **VSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 857 9885 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
105 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 300 West 57th Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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3	D.O.B. SUBMISSION	18 FEB 15
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6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 3	25 MAY 16
13	CD BULLETIN ISSUE - 5	12 AUG 16
14	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

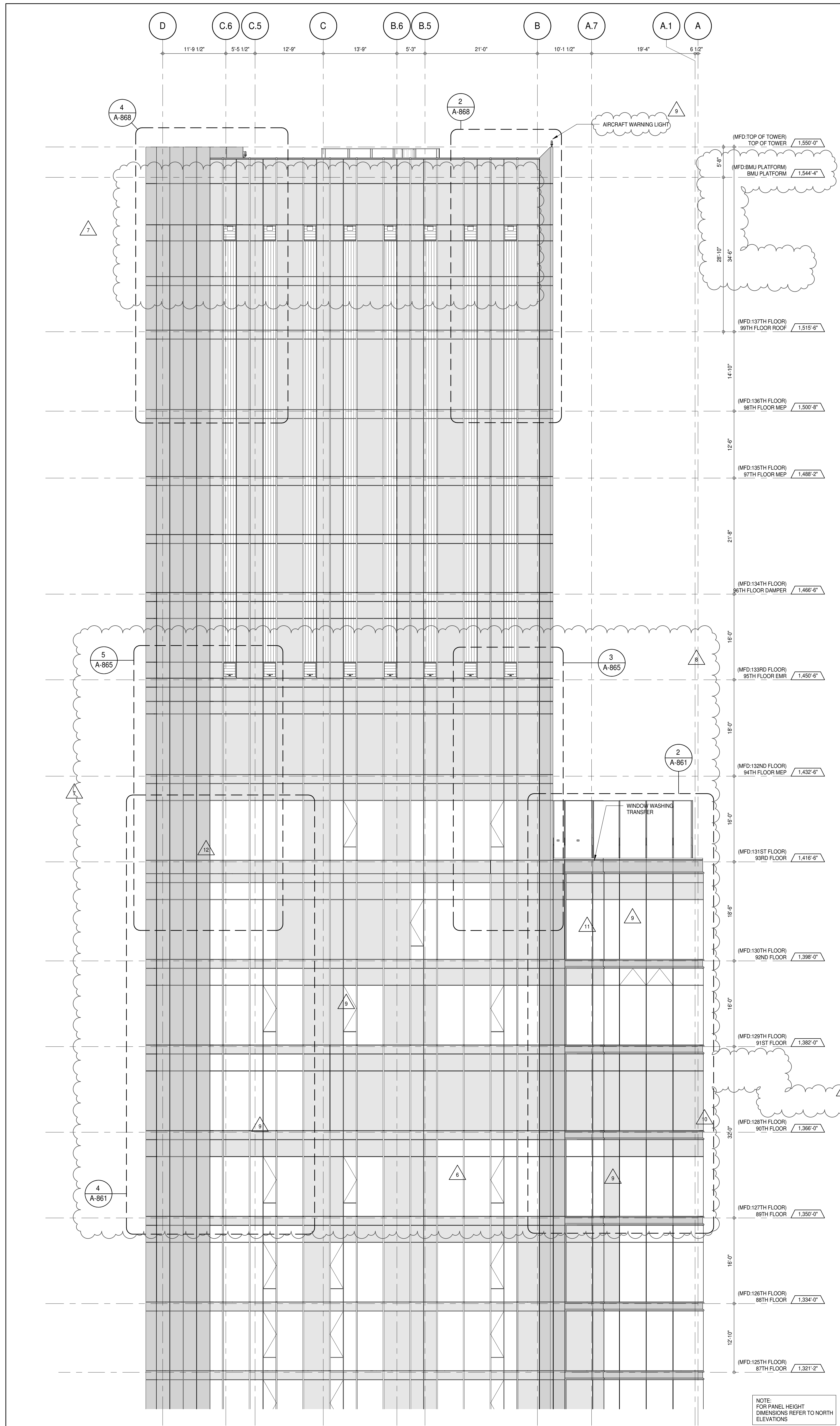
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

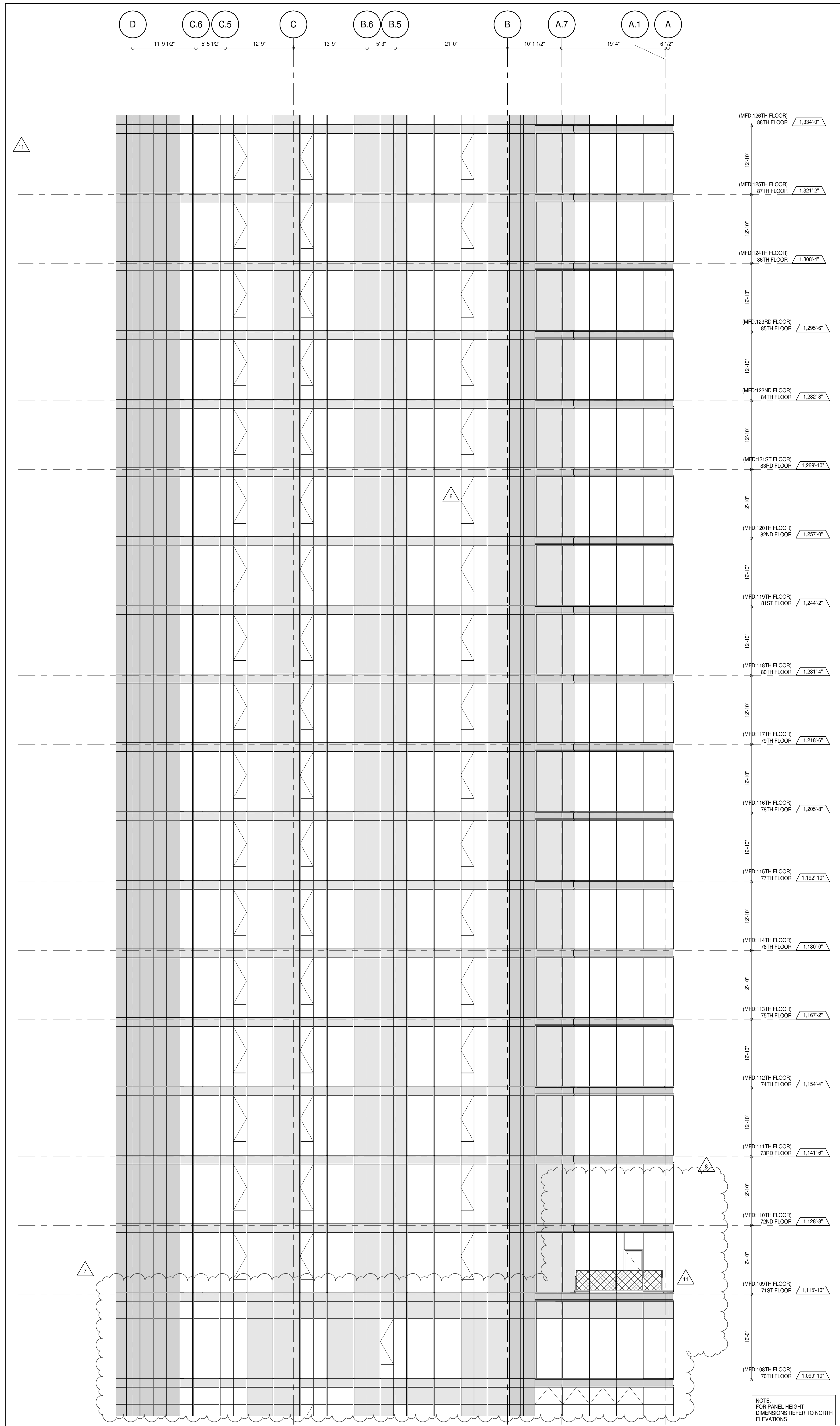
PROJECT: **217 WEST 57TH STREET, NEW YORK, NY**

DRAWING TITLE: **PARTIAL ELEVATIONS - SOUTH**

SEAL & SIGNATURE: **DAVID LAMBERT** DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-218.02**
DOB PAGE No: 193 of 454
DOB 5-SCAN:



PARTIAL ELEVATION - SOUTH
 A-219.02
 1/8" = 1'-0"



PARTIAL ELEVATION - SOUTH
 A-219.02
 1/8" = 1'-0"

DEPT OF BLDGS & 12160000 Job Number: 10/12/2014 1:50:27 PM

KEY PLAN: PROJECT #105 WEST 9TH ST WEST 5TH ST 7TH AVE

PROJECT NORTH: TRUE NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
 298 Fifth Ave, 7th Floor
 New York, NY 10001
 TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
 401 West 57th St, 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SEINUK
 228 EAST 45th Street
 New York, NY 10017 USA
 TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
 165 Broadway, 22nd Floor
 New York, NY 10006 USA
 TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
 21 Penn Plaza - 300 West 57th Street, 9th Floor
 New York, NY 10001-2722
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
 100 Church Street
 New York, NY 10007
 TEL: 212 385 1912 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
 40 Worth Street, Suite 806
 New York, NY 10013
 TEL: 212 757 5550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
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 39 West 57th Street, 12A
 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

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6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 3	25 MAY 16
13	CD BULLETIN ISSUE - 5	12 AUG 16
14	CD BULLETIN ISSUE - 7	14 SEP 16
15	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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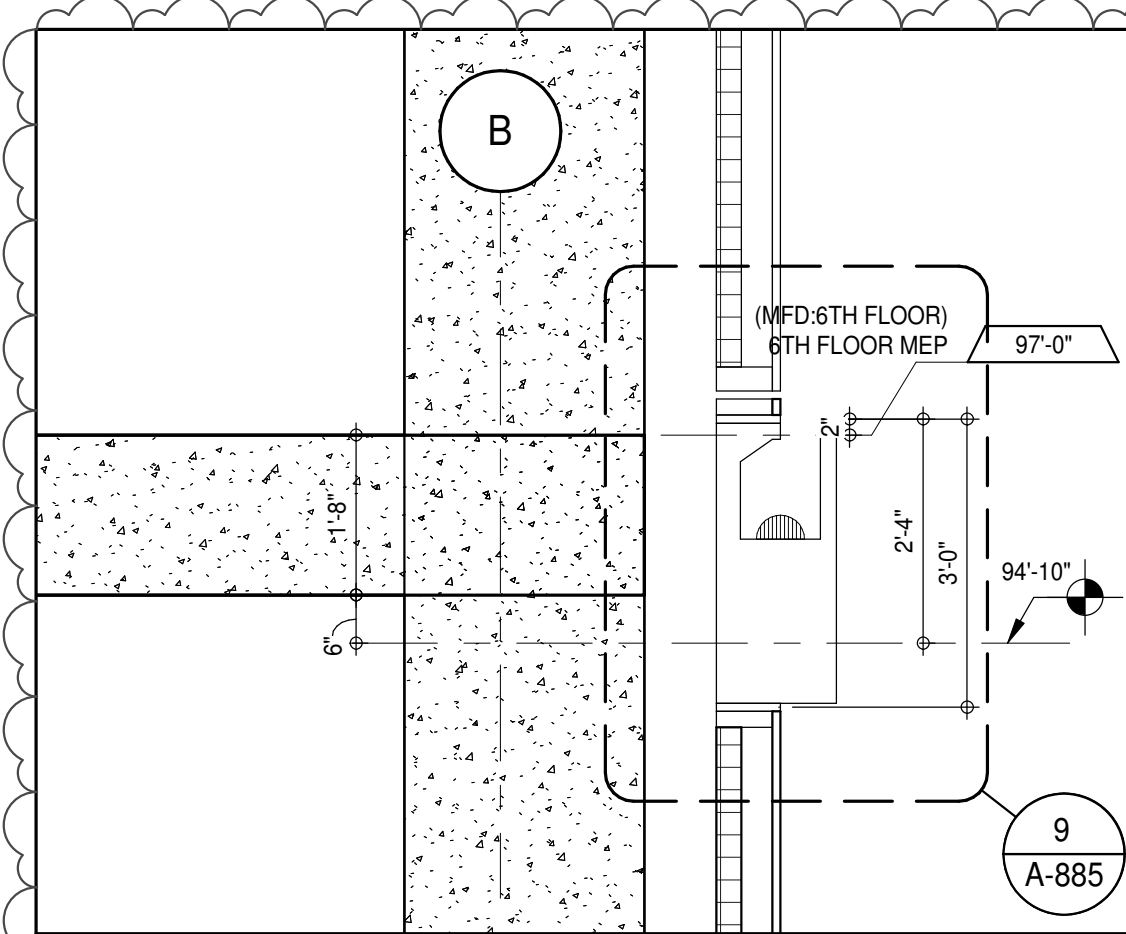
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

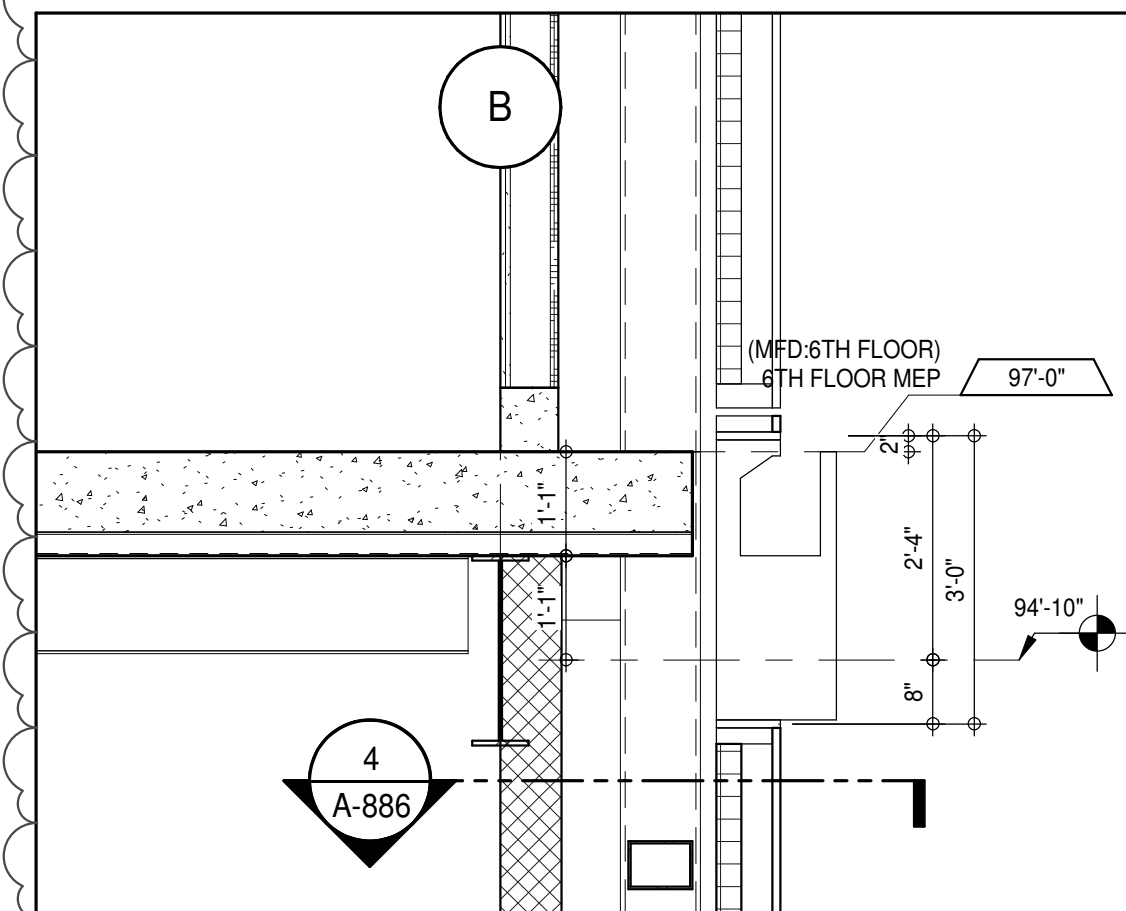
PROJECT: **217 WEST 57TH STREET NEW YORK, NY**

DRAWING TITLE: **PARTIAL ELEVATIONS - SOUTH**

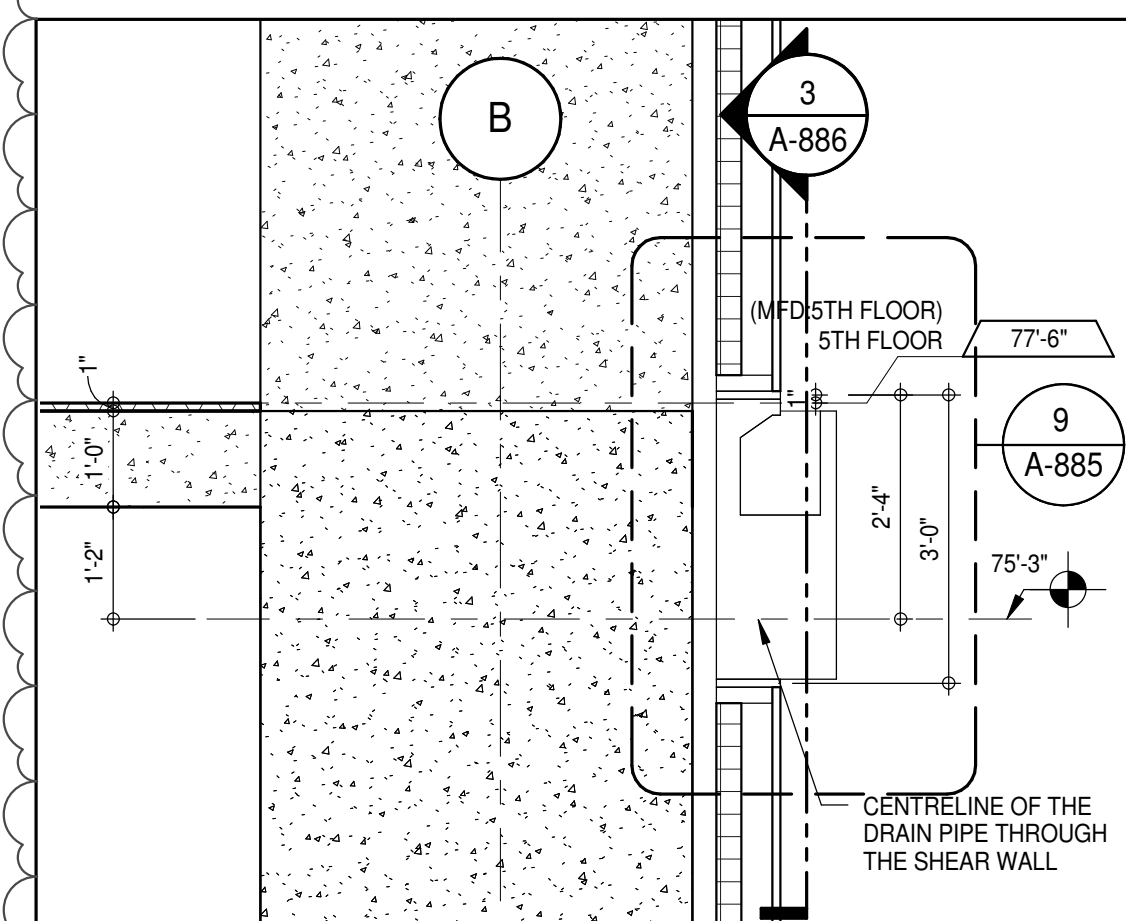
SEAL & SIGNATURE: **DAVID LAMER** DATE: 15 OCT 14
 PROJECT No: 1216-00
 DRAWN: Author
 CHECKED: Checker
 SCALE: 1/8" = 1'-0"
 DWG No: **A-219.02**
 DOB PAGE No: 154 of 454
 DOB EMPLOYEE STAMP: DOB 5-SCAN:



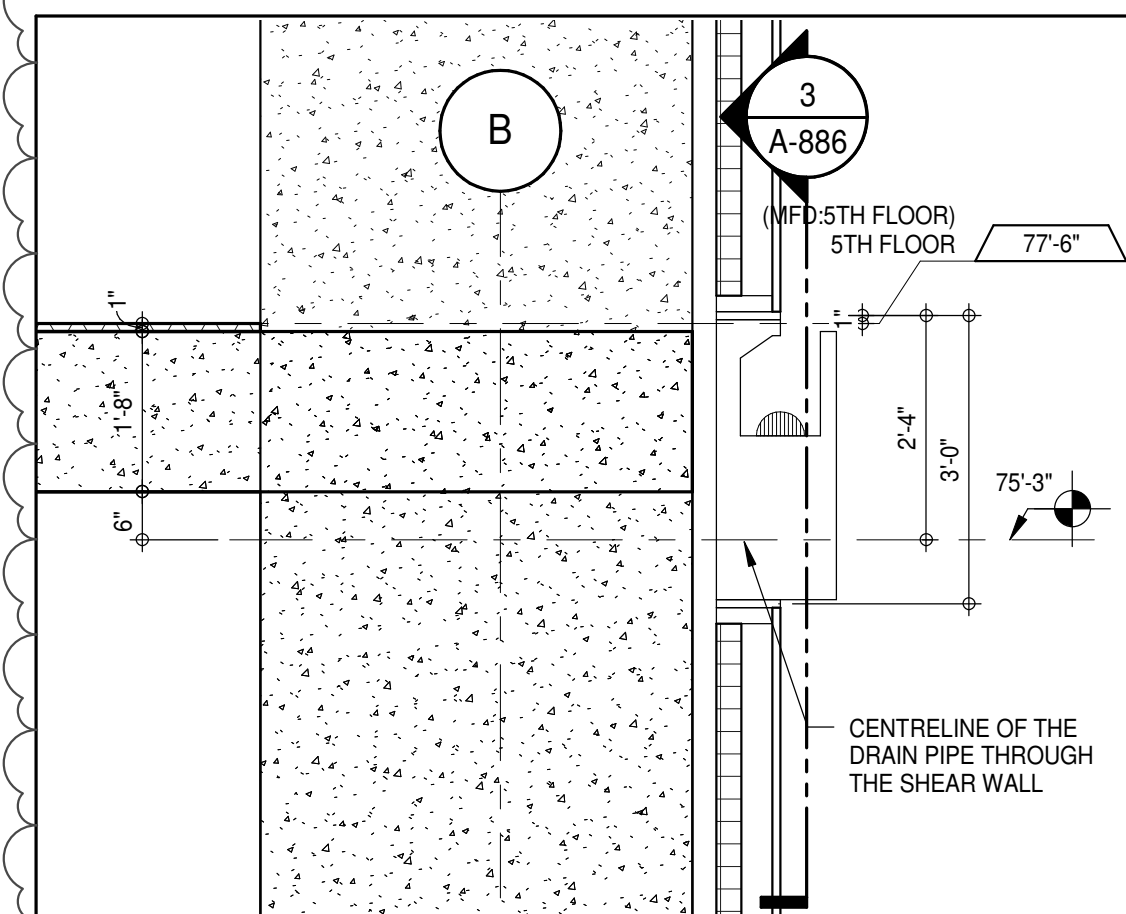
SECTION AT EAST GUTTER LEVEL 6
A-220
1/2" = 1'-0"



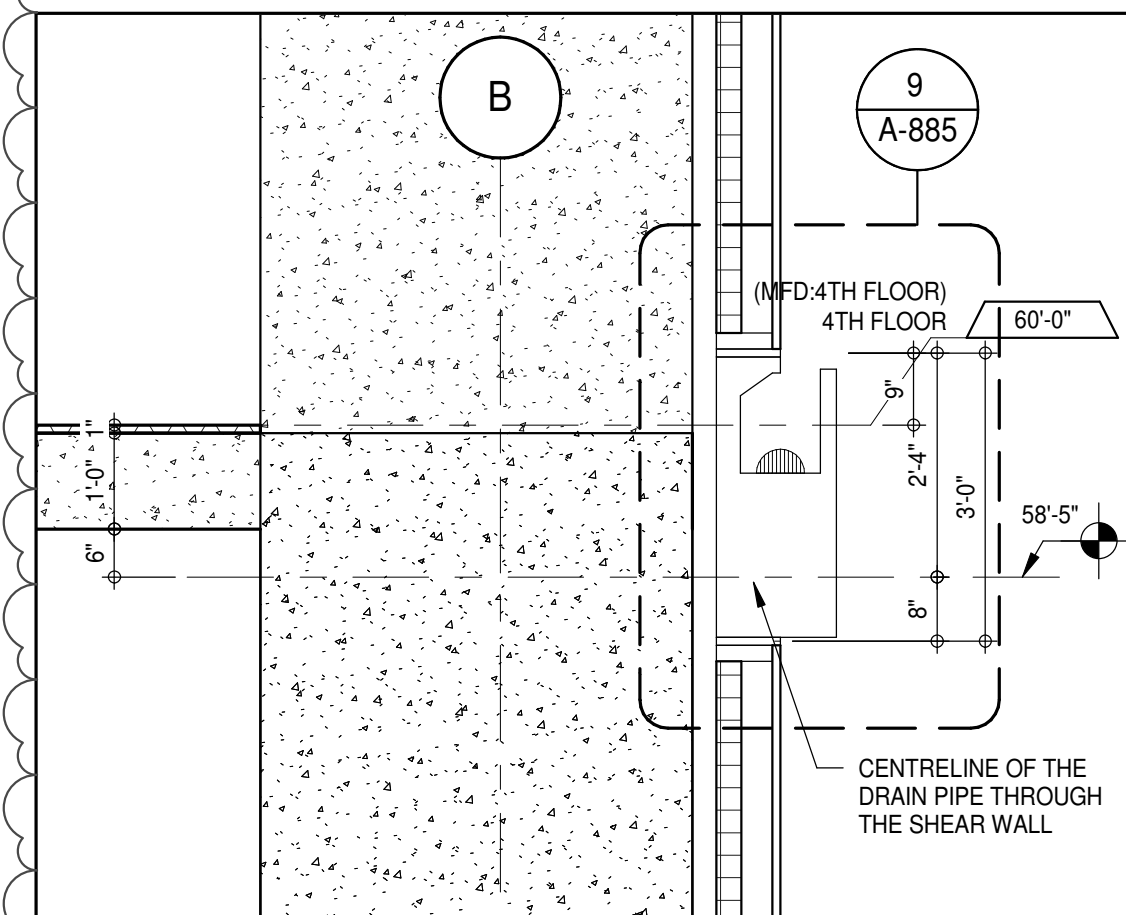
SECTION AT EAST GUTTER LEVEL 6
A-220
1/2" = 1'-0"



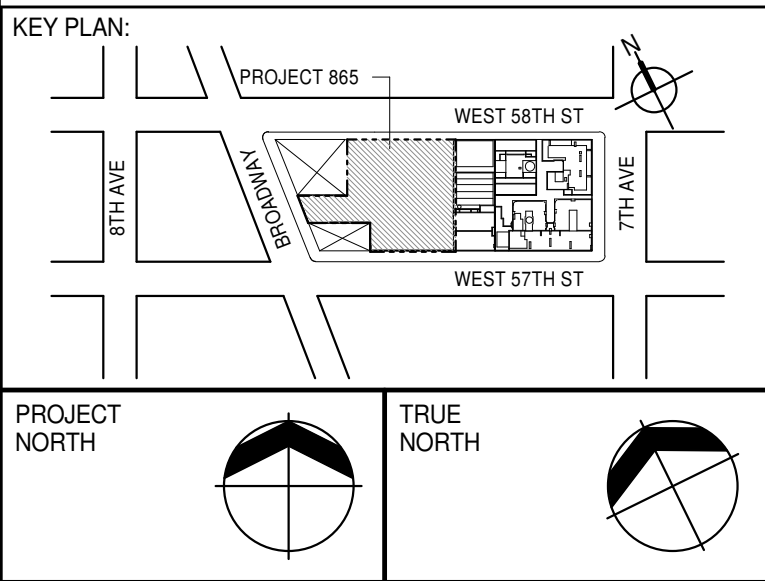
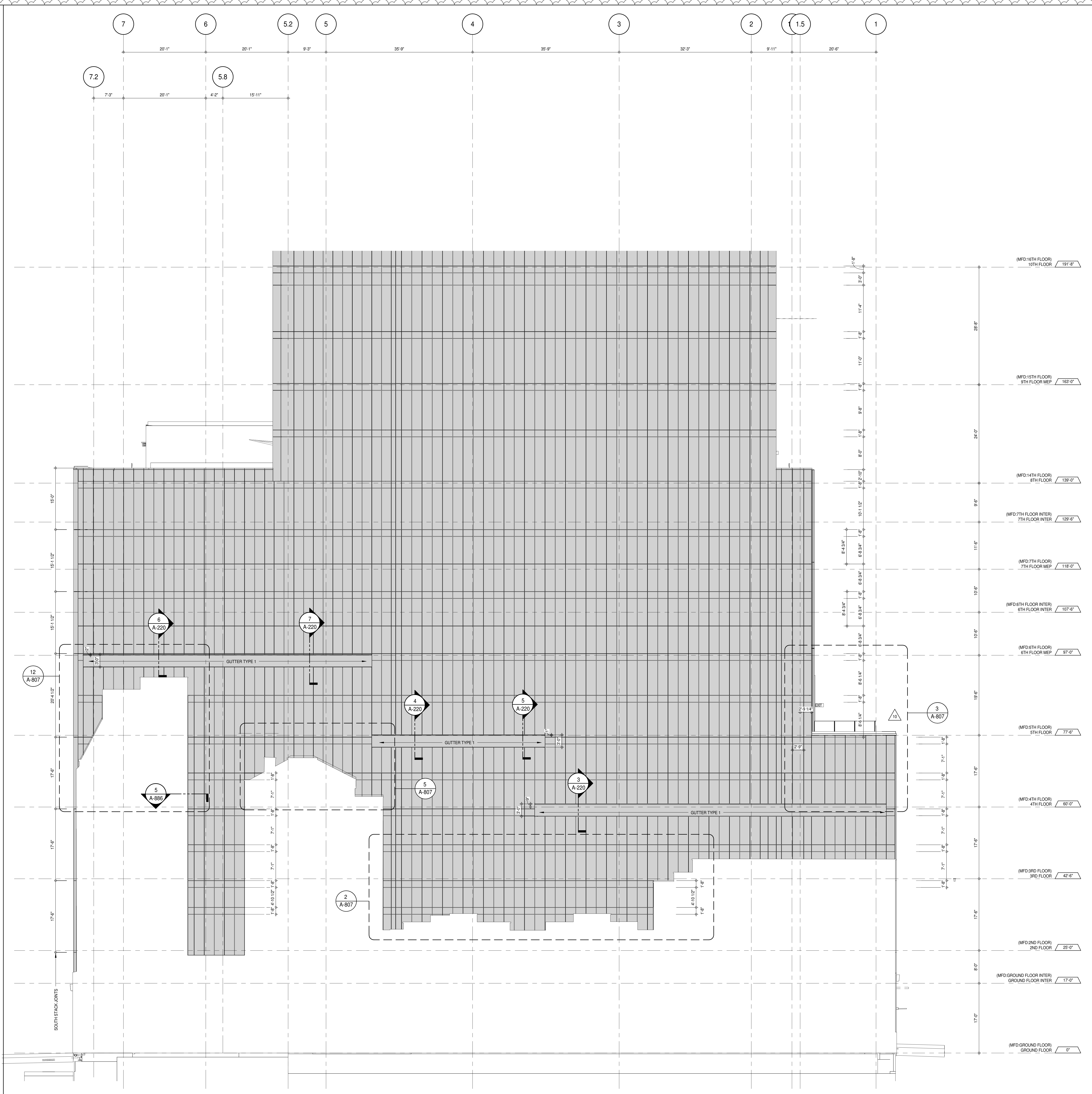
SECTION AT EAST GUTTER LEVEL 5
A-220
1/2" = 1'-0"



SECTION AT EAST GUTTER LEVEL 5
A-220
1/2" = 1'-0"



SECTION AT EAST GUTTER LEVEL 4
A-220
1/2" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:
Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:
Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Westchester St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERING:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 9885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 300 West 57th Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 5	12 AUG 16
13	D.O.B. AMENDMENT 3	03 OCT 16

0 4' - 0" 8' - 0" 16' - 0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

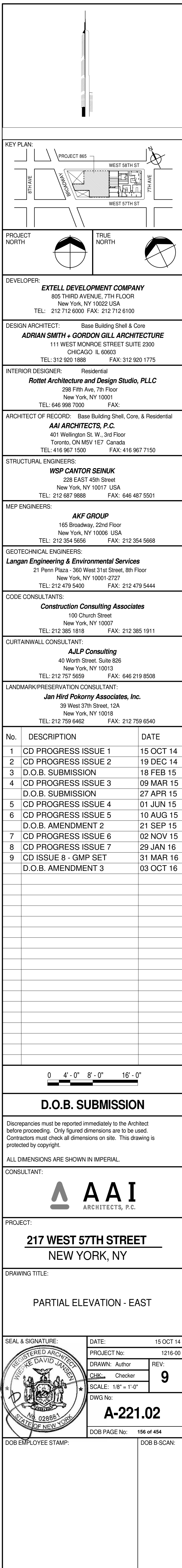
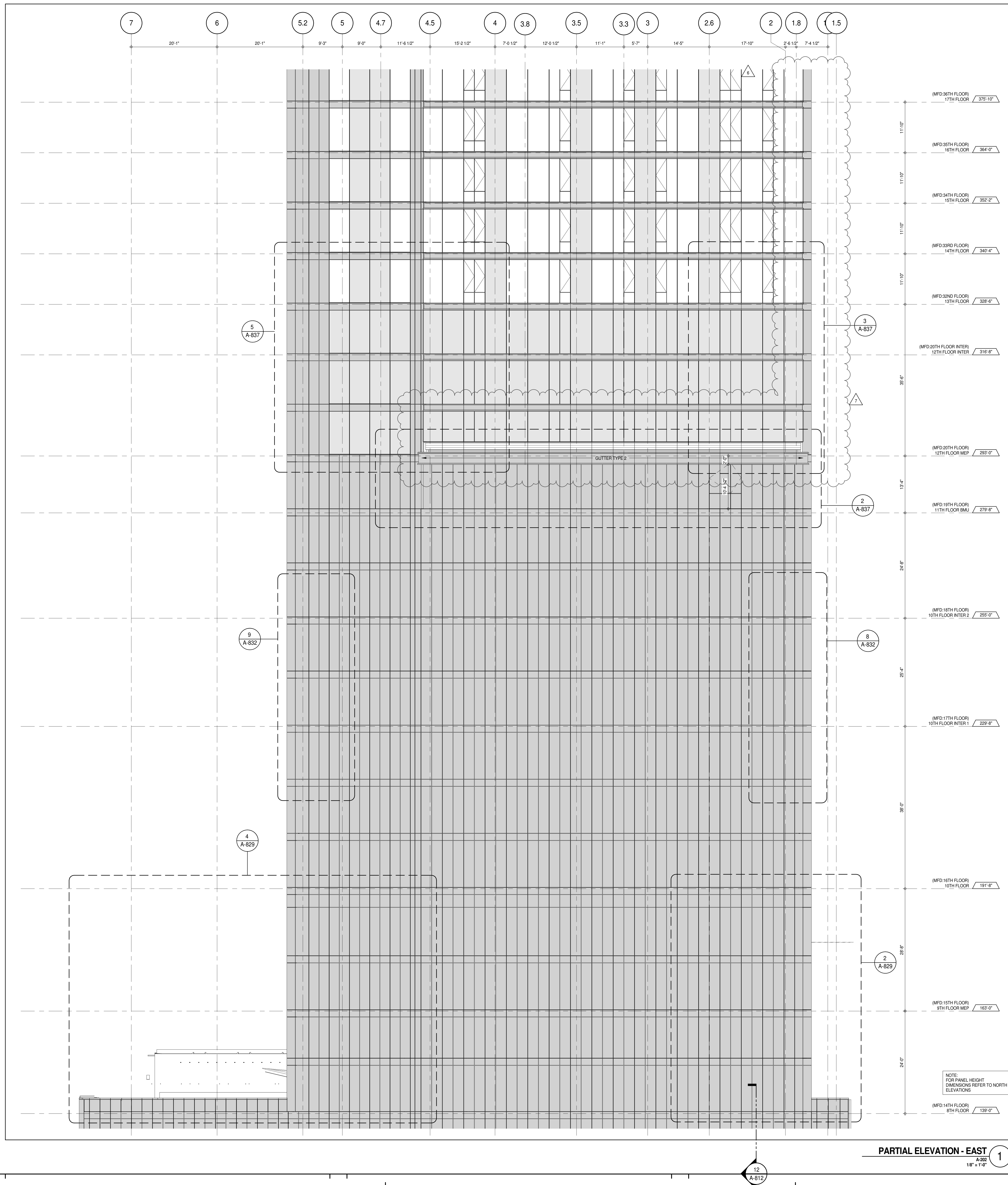
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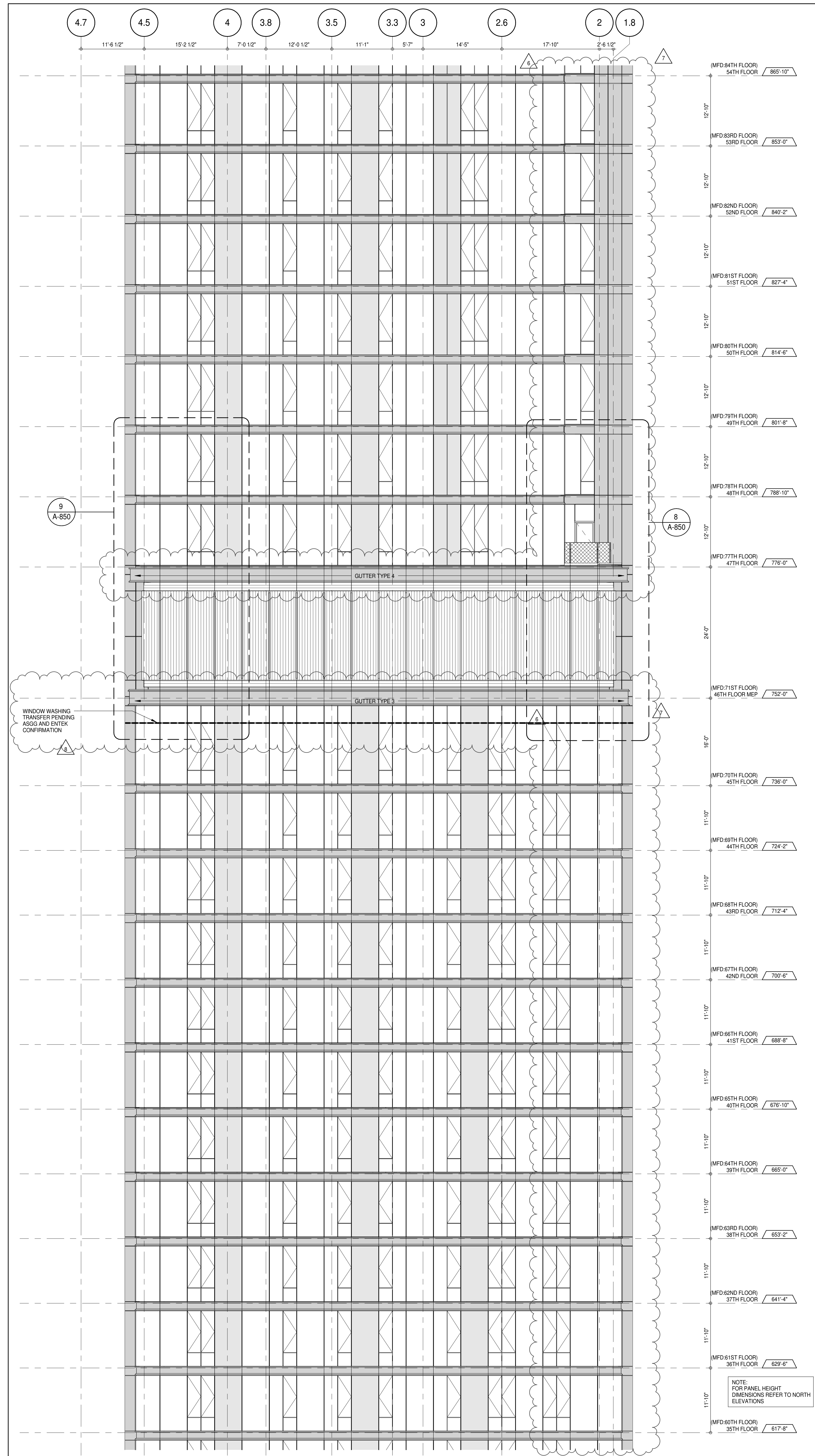
CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

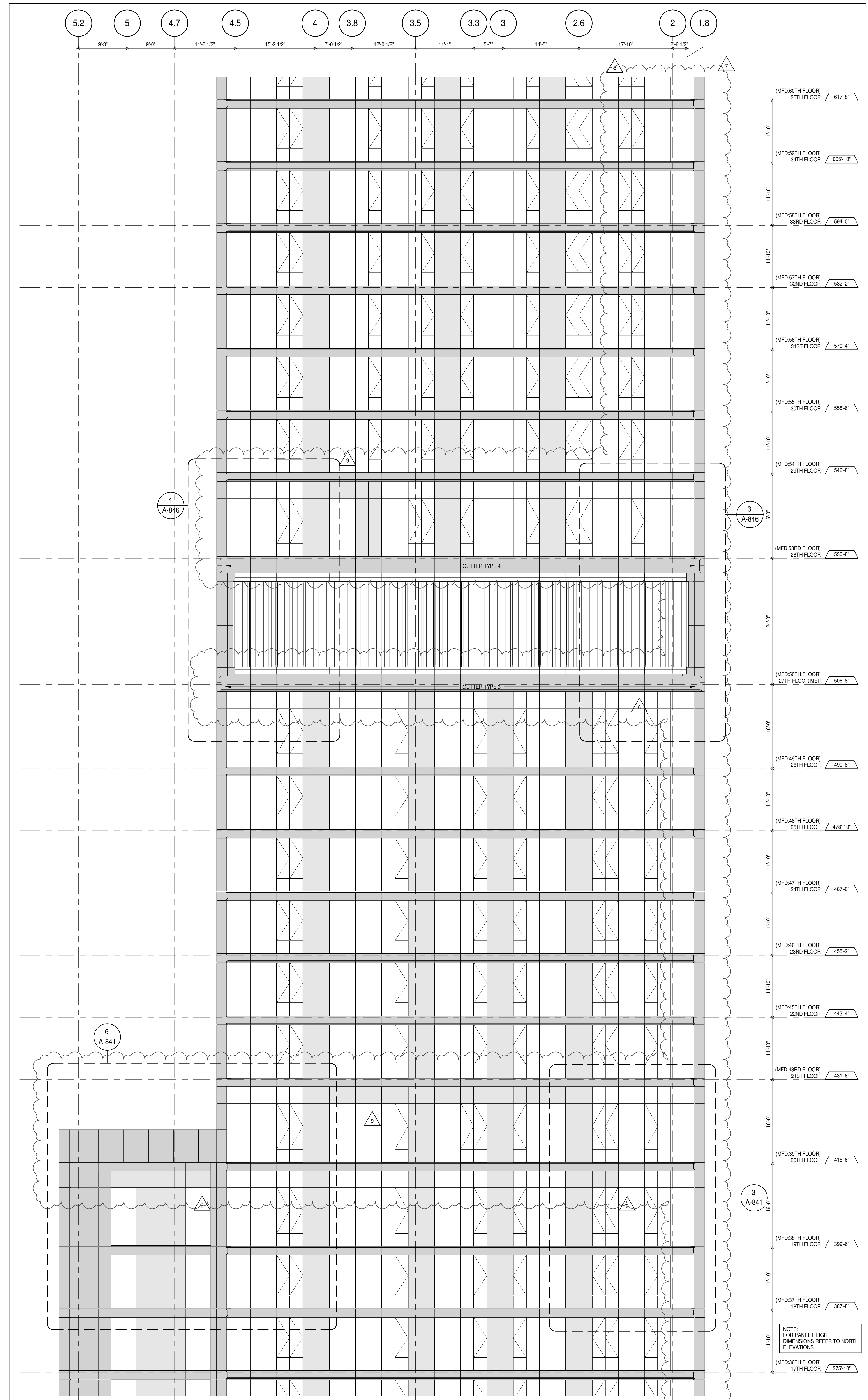
DRAWING TITLE:
PARTIAL ELEVATION - EAST

SEAL & SIGNATURE: DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: As Indicated
DWG No: **A-220.02**
DOB PAGE No: 155 of 454
DOB 5-SCAN:





PARTIAL ELEVATION - EAST
A-222
1/8" = 1'-0"



PARTIAL ELEVATION - EAST
A-222
1/8" = 1'-0"

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
Base Building Shell & Core
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rotter Architecture and Design Studio, PLLC**
208 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX: 646 989 7000

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
Base Building Shell, Core, & Residential
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **VSP CANTOR SEINUK**
228 East 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 300 West 51st Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1811

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 808
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

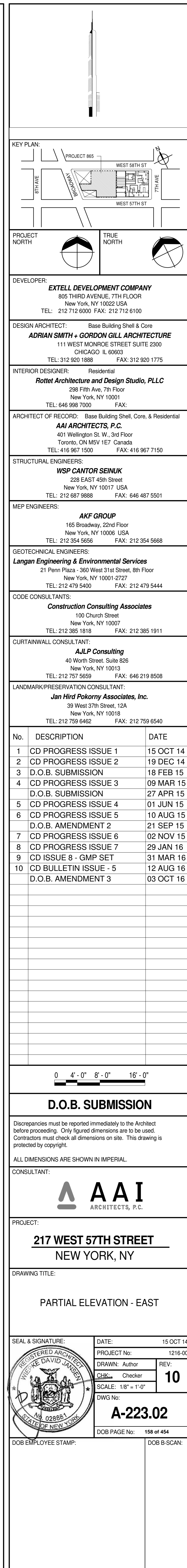
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

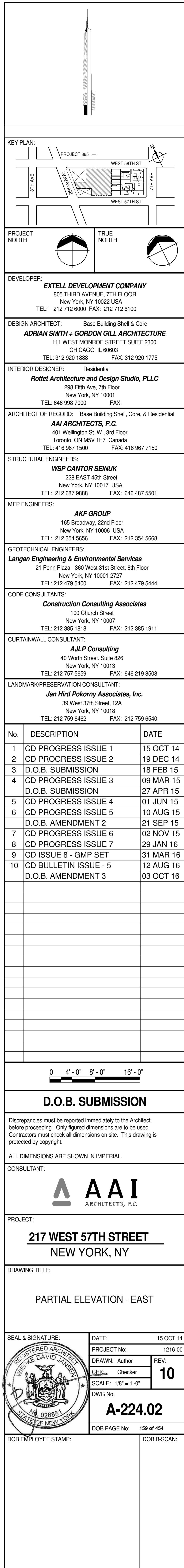
CONSULTANT: **AAI ARCHITECTS, P.C.**

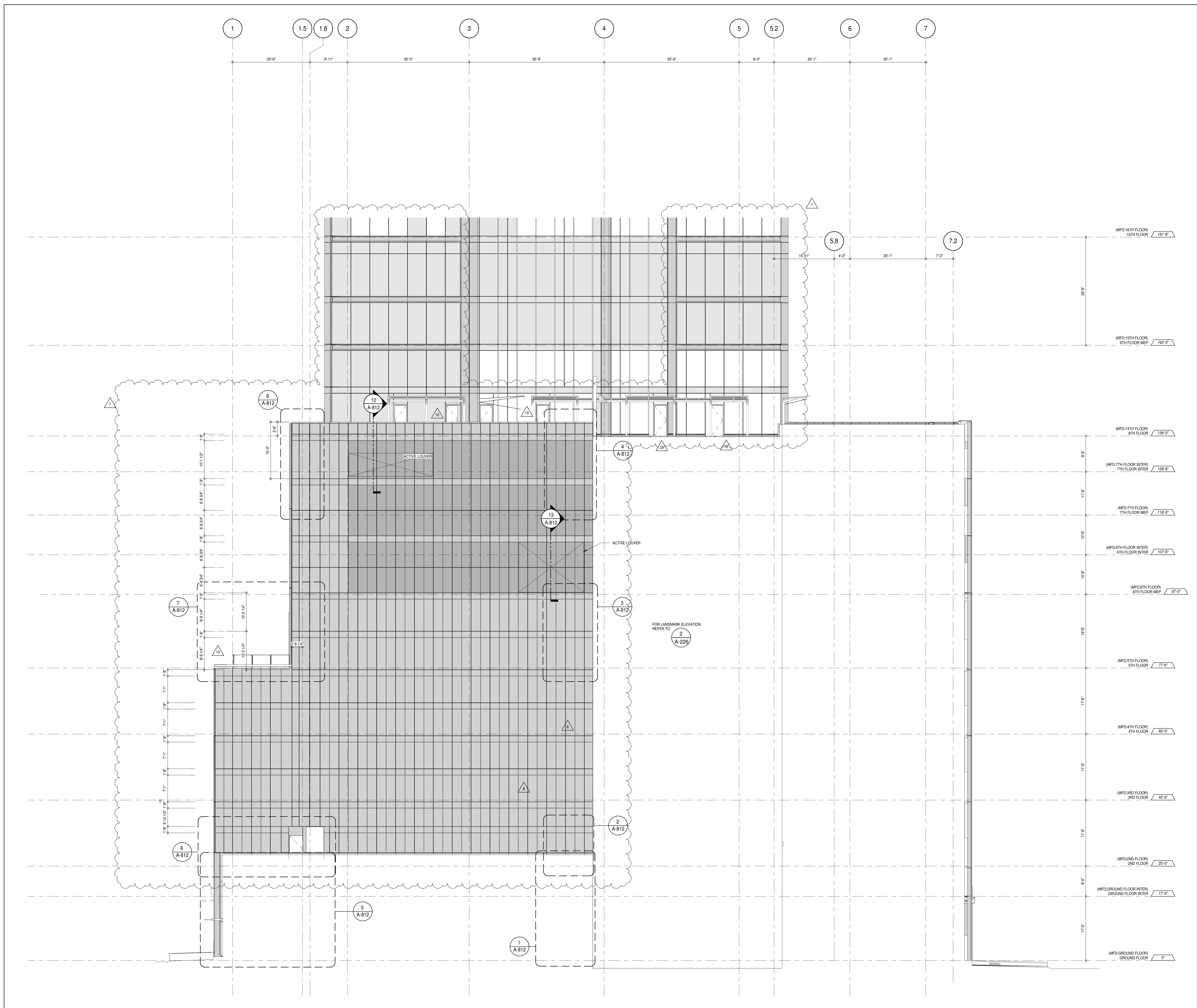
PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **PARTIAL ELEVATION - EAST**

SEAL & SIGNATURE: **DAVID L. LAMBERT**
DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-222.02**
DOB PAGE No: 197 of 454
DOB 5-SCAN:







PARTIAL ELEVATION - WEST 1
A-202
1/8" = 1'-0"

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
288 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **WSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 350 West 51st Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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3	D.O.B. SUBMISSION	18 FEB 15
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7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CD PROGRESS ISSUE 7	29 JAN 16
10	CD ISSUE 8 - GMP SET	31 MAR 16
11	CD BULLETIN ISSUE - 5	12 AUG 16
12	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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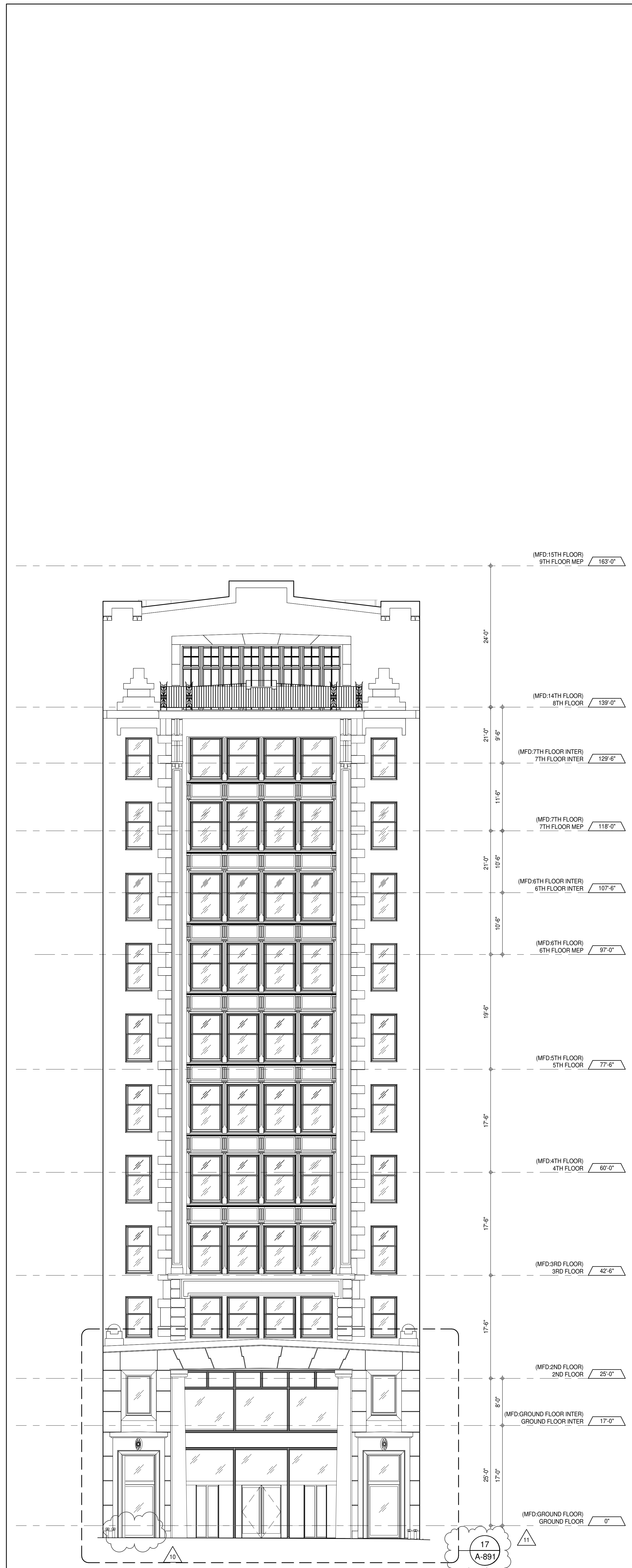
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

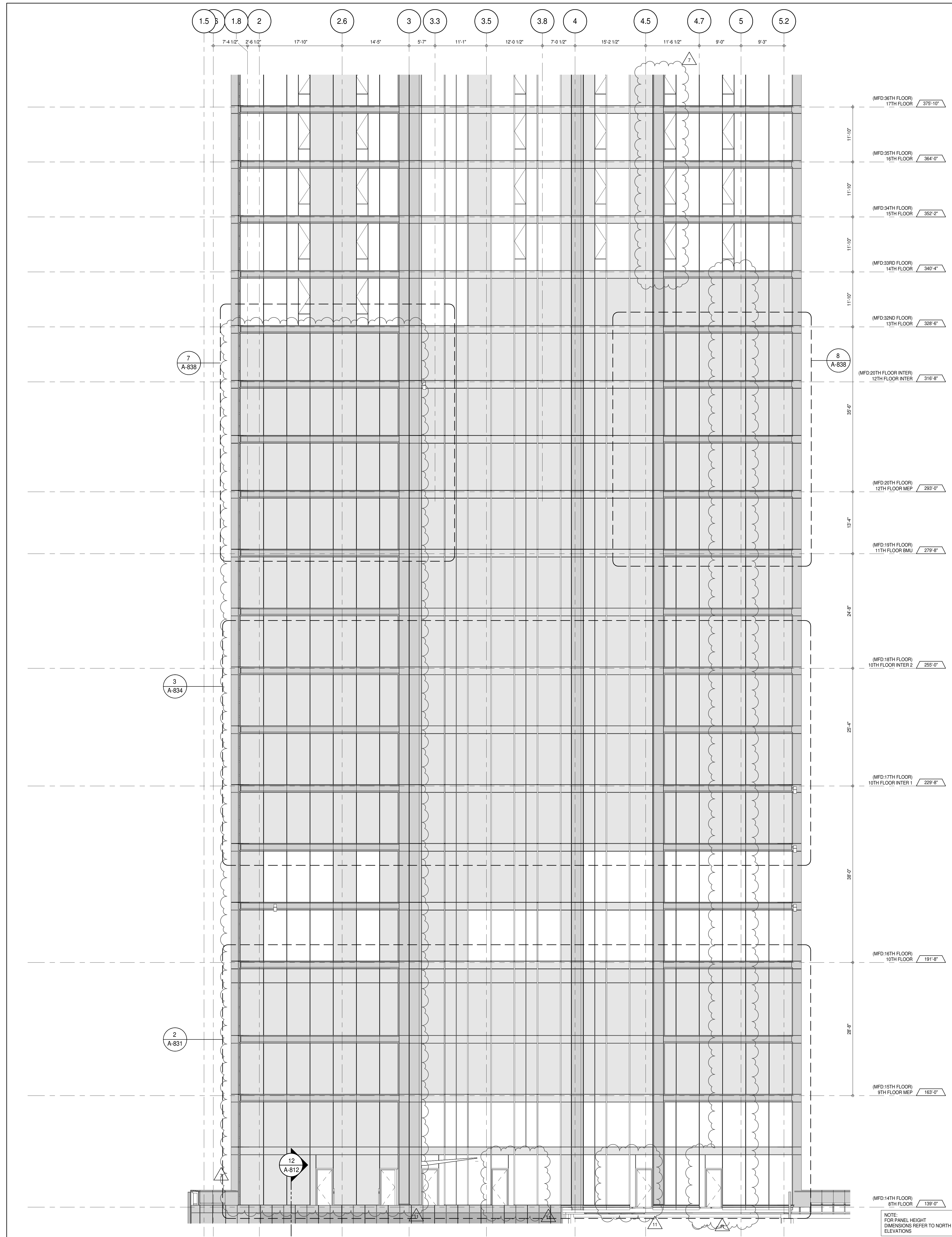
PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **PARTIAL ELEVATION - WEST**

SEAL & SIGNATURE	DATE	PROJECT No.	15 OCT 14
	DRAWN: Author	1216-00	REV: 10
	CHECKED: Checker		
DWG No:	SCALE: 1/8" = 1'-0"	A-225.02	
DOB PAGE No:	169 of 454		
DOB EMPLOYEE STAMP:	DOB S-SCAN:		



WEST ELEVATION - LANDMARK FACADE 2
 A-105
 1/8" = 1'-0"



PARTIAL ELEVATION - WEST 1
 A-226
 1/8" = 1'-0"

KEY PLAN

PROJECT NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
 298 Fifth Ave, 7th Floor
 New York, NY 10001
 TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **VSP CANTOR SEINUK**
 228 EAST 45th Street
 New York, NY 10017 USA
 TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
 165 Broadway, 22nd Floor
 New York, NY 10006 USA
 TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
 21 Penn Plaza - 360 West 31st Street, 9th Floor
 New York, NY 10001-2727
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
 100 Church Street
 New York, NY 10007
 TEL: 212 385 1912 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
 40 Worth Street, Suite 808
 New York, NY 10013
 TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
 39 West 37th Street, 12A
 New York, NY 10018
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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7	CD PROGRESS ISSUE 5	10 AUG 15
8	D.O.B. AMENDMENT 2	21 SEP 15
9	CD PROGRESS ISSUE 6	02 NOV 15
10	CD PROGRESS ISSUE 7	29 JAN 16
11	CD ISSUE 8 - GMP SET	31 MAR 16
12	CD BULLETIN ISSUE - 1	22 APR 16
13	CD BULLETIN ISSUE - 5	12 AUG 16
14	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

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CONSULTANT: **AAI ARCHITECTS, P.C.**

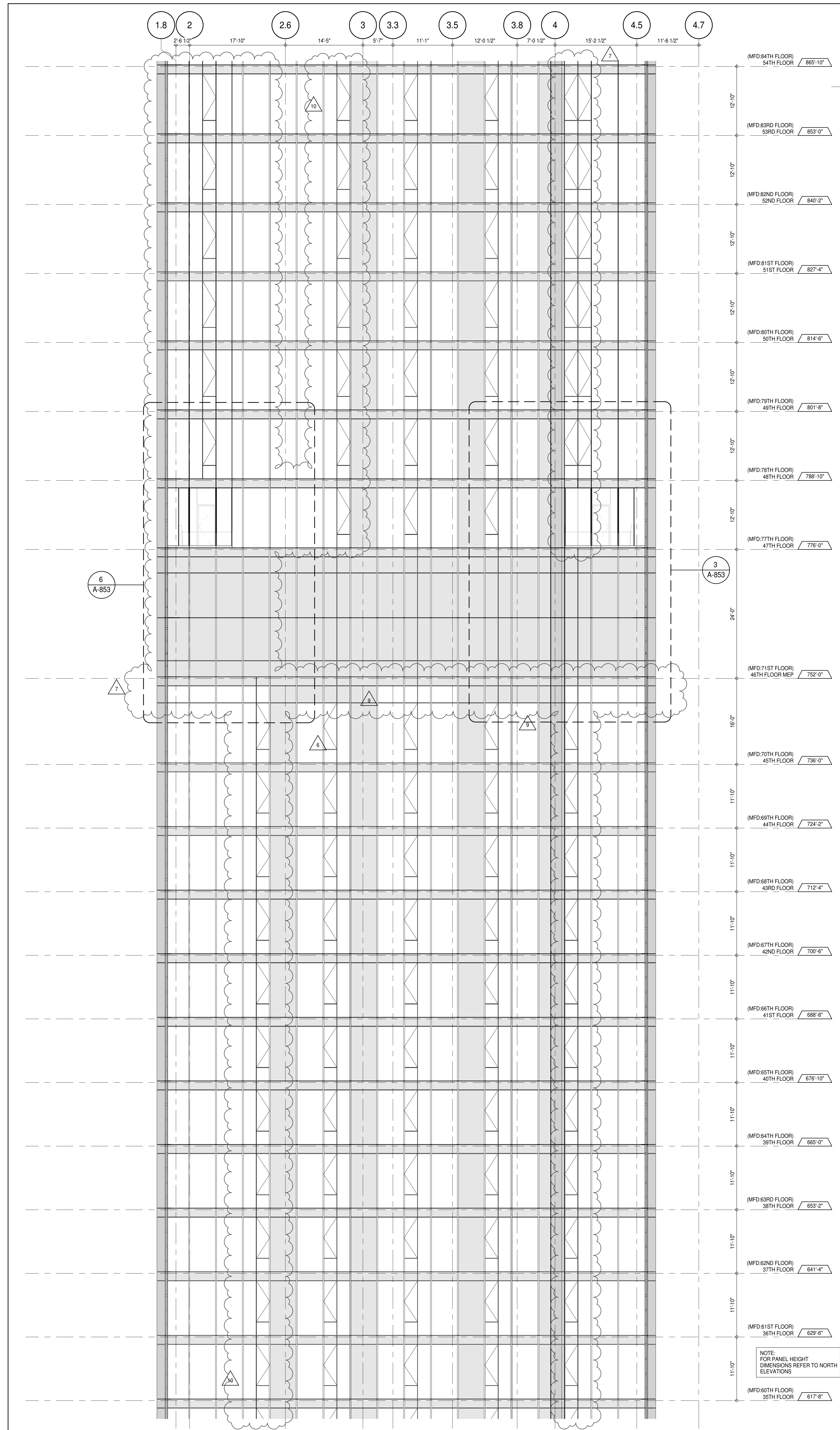
PROJECT: **217 WEST 57TH STREET
 NEW YORK, NY**

DRAWING TITLE: **PARTIAL ELEVATION - WEST**

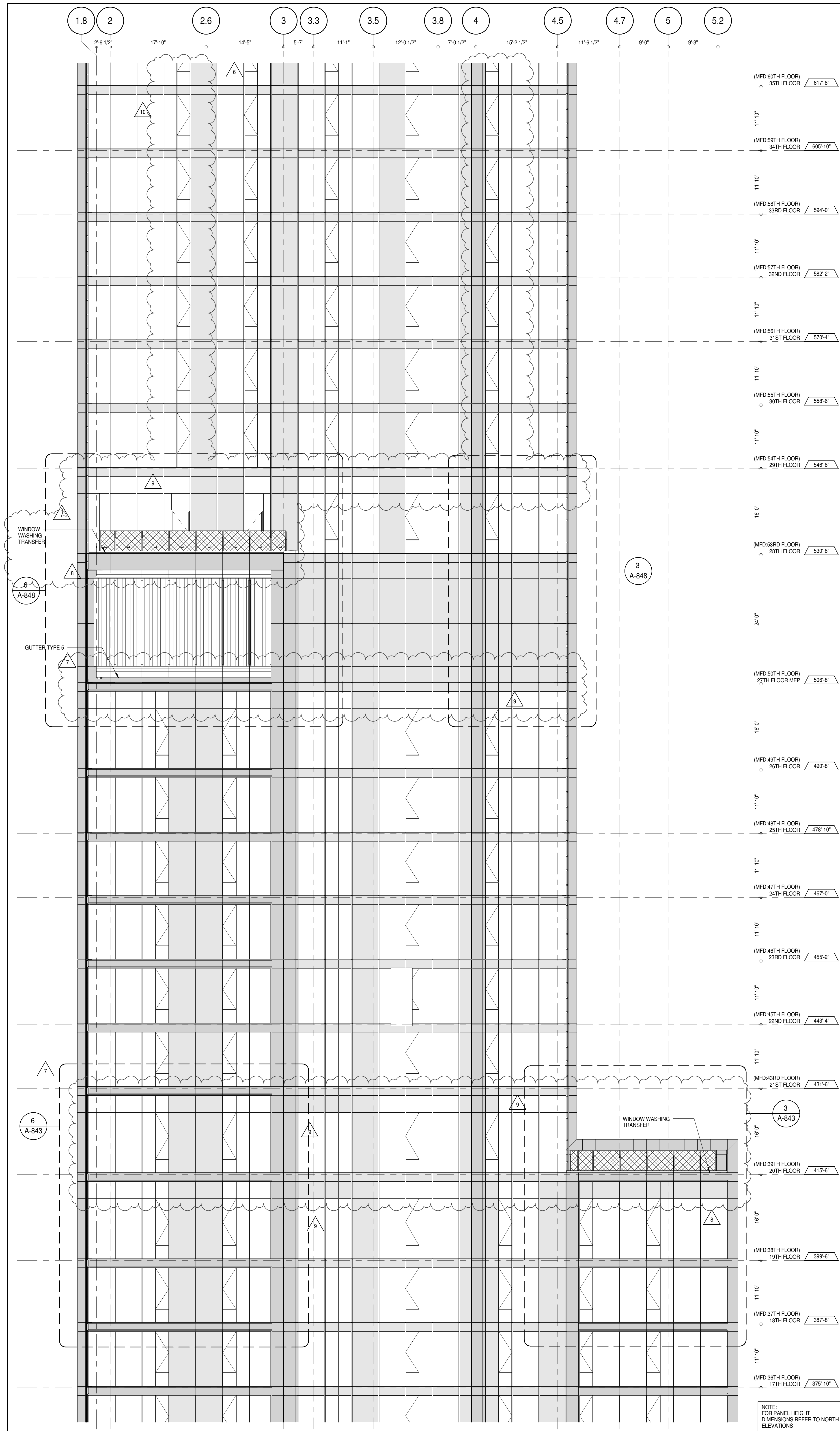
SEAL & SIGNATURE: **DAVID L. LAMBERT**
 REGISTERED ARCHITECT
 STATE OF NEW YORK
 NO. 02885

DATE: 15 OCT 14
 PROJECT No: 1216-00
 DRAWN: Author
 CHECKED: Checker
 SCALE: 1/8" = 1'-0"
 DWG No: **A-226.02**

DOB PAGE No: 191 of 454
 DOB 5-SCAN:

PARTIAL ELEVATION - WEST
A-202
1/8" = 1'-0"

2

PARTIAL ELEVATION - WEST
A-202
1/8" = 1'-0"

1

KEY PLAN: PROJECT #65 WEST 50TH ST WEST 57TH ST 7TH AVE 8TH AVE

PROJECT NORTH: TRUE NORTH

DEVELOPER: EXTRELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AAI ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SENUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 350 West 51st Street, 9th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 5550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
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3	D.O.B. SUBMISSION	18 FEB 15
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5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CD ISSUE 8 - GMP SET	31 MAR 16
10	CD BULLETIN ISSUE - 5	12 AUG 16
	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

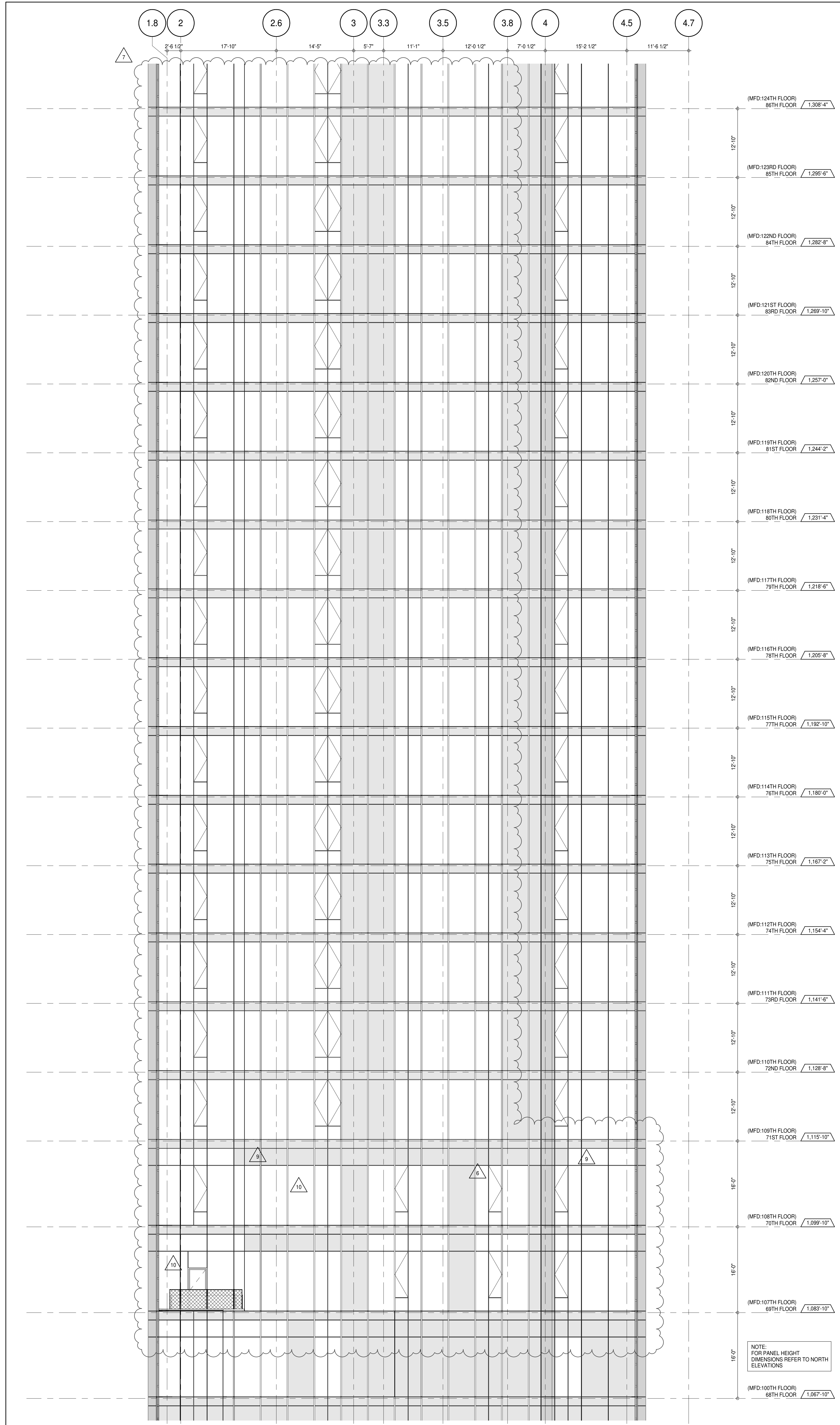
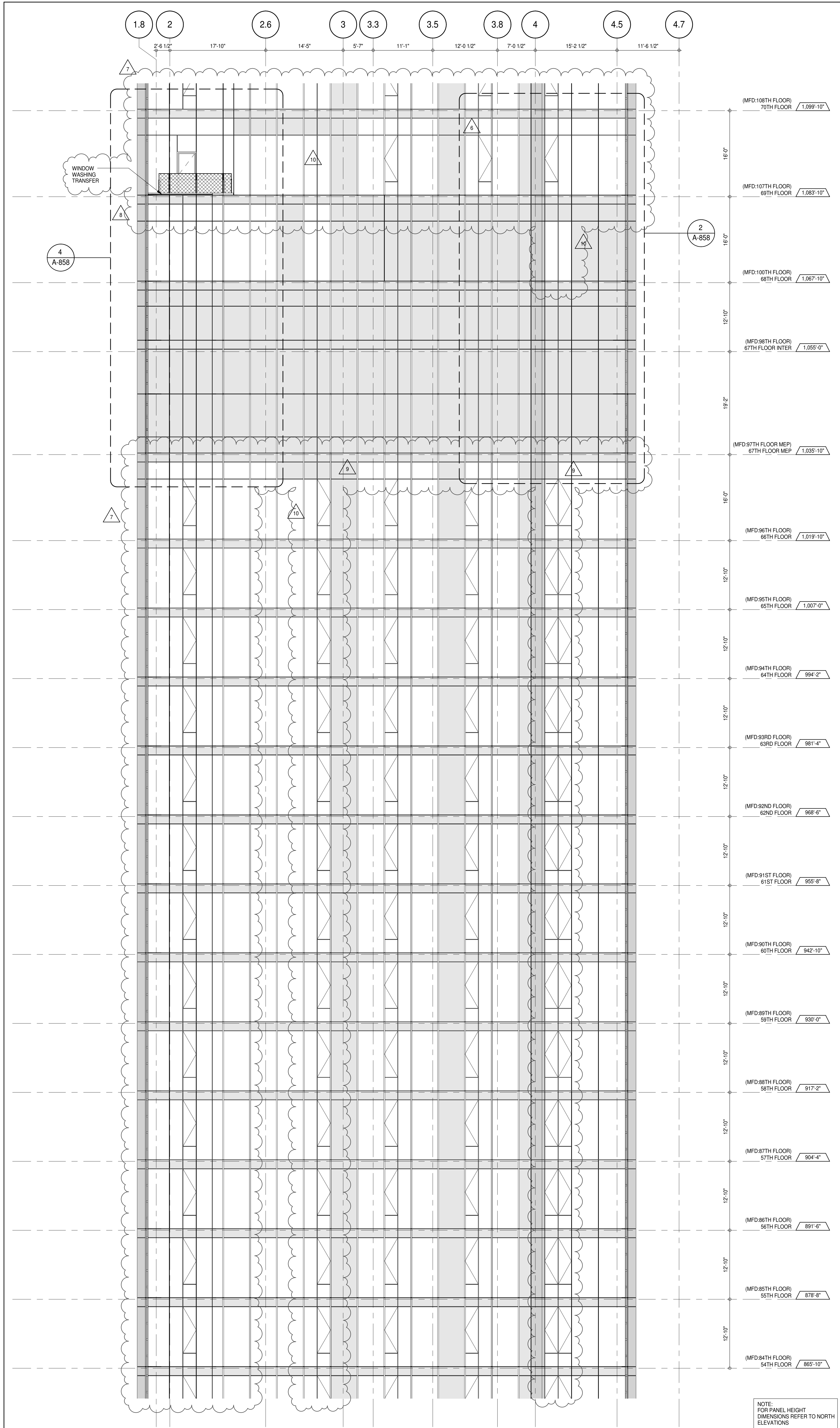
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE: PARTIAL ELEVATION - WEST

SEAL & SIGNATURE: DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-227.02**
DOB PAGE No: 163 of 454
DOB 5-SCAN:

PARTIAL ELEVATION - WEST
A-228.02
1/8" = 1'-0"PARTIAL ELEVATION - WEST
A-228.02
1/8" = 1'-0"

DEPT OF BUILDINGS

KEY PLAN

PROJECT NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **AAI ARCHITECTS, P.C.**
Base Building Shell & Core
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Rottet Architecture and Design Studio, PLLC**
Residential
228 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **AAI ARCHITECTS, P.C.**
Base Building Shell, Core, & Residential
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **VSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10038 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 360 West 57th Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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4	CD PROGRESS ISSUE 3	09 MAR 15
5	D.O.B. SUBMISSION	27 APR 15
6	CD PROGRESS ISSUE 4	01 JUN 15
7	D.O.B. AMENDMENT 2	21 SEP 15
8	CD PROGRESS ISSUE 6	02 NOV 15
9	CD ISSUE 8 - GMP SET	29 JAN 16
10	CD BULLETIN ISSUE - 5	12 AUG 16
	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AAI ARCHITECTS, P.C.**

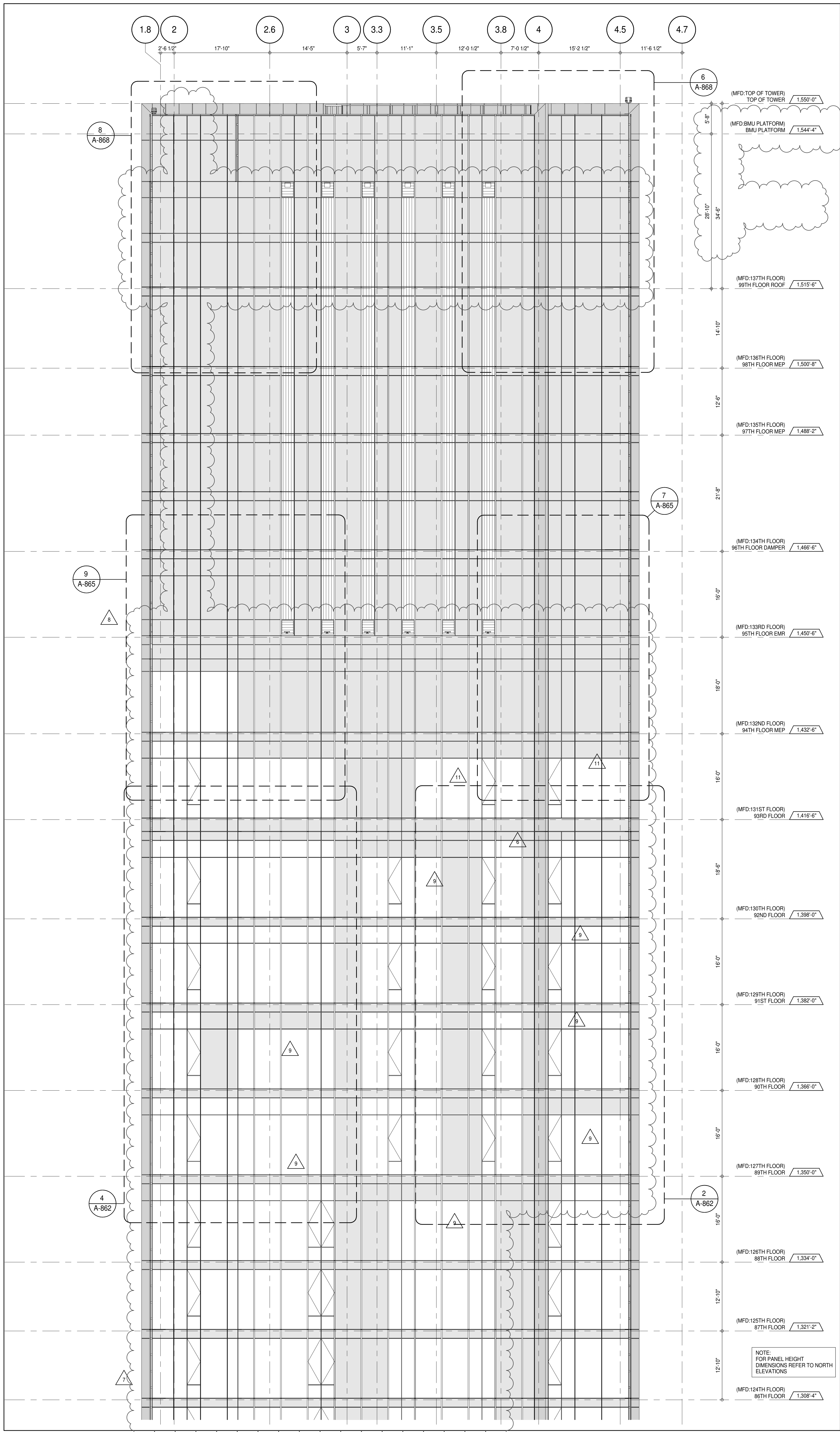
PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **PARTIAL ELEVATION - WEST**

SEAL & SIGNATURE: **DAVID LAMAR**
REGISTERED ARCHITECT
STATE OF NEW YORK
NO. 02885

DATE: 15 OCT 14
PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/8" = 1'-0"
DWG No: **A-228.02**

DOB PAGE No: 193 of 454
DOB 5-SCAN:



PARTIAL ELEVATION - WEST
 1
 1/8" = 1'-0"

DEPT OF BLDGS 121502025 Job Number ES-00103502 SS-01-0001

KEY PLAN:
 PROJECT #65
 WEST 57TH ST
 7TH AVE
 7TH AVE
 WEST 57TH ST

PROJECT NORTH
 TRUE NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 NEW YORK, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:
 Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:
 Residential
Rottet Architecture and Design Studio, PLLC
 298 Fifth Ave., 7th Floor
 New York, NY 10001
 TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD:
 Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
 228 EAST 45th Street
 New York, NY 10017 USA
 TEL: 212 987 9885 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
 165 Broadway, 22nd Floor
 New York, NY 10006 USA
 TEL: 212 354 5655 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
 21 Penn Plaza - 300 West 51st Street, 9th Floor
 New York, NY 10001-2722
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
 100 Church Street
 New York, NY 10007
 TEL: 212 385 1918 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
 40 Worth Street, Suite 826
 New York, NY 10013
 TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
 39 West 57th Street, 12A
 New York, NY 10019
 TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 14
2	CD PROGRESS ISSUE 2	19 DEC 14
3	D.O.B. SUBMISSION	18 FEB 15
4	CD PROGRESS ISSUE 3	09 MAR 15
	D.O.B. SUBMISSION	27 APR 15
5	CD PROGRESS ISSUE 4	01 JUN 15
6	CD PROGRESS ISSUE 5	10 AUG 15
	D.O.B. AMENDMENT 2	21 SEP 15
7	CD PROGRESS ISSUE 6	02 NOV 15
8	CD PROGRESS ISSUE 7	29 JAN 16
9	CD ISSUE 8 - GMP SET	31 MAR 16
10	CD BULLETIN ISSUE - 5	12 AUG 16
11	CD BULLETIN ISSUE - 7	14 SEP 16
	D.O.B. AMENDMENT 3	03 OCT 16

0 4'-0" 8'-0" 16'-0"

D.O.B. SUBMISSION

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

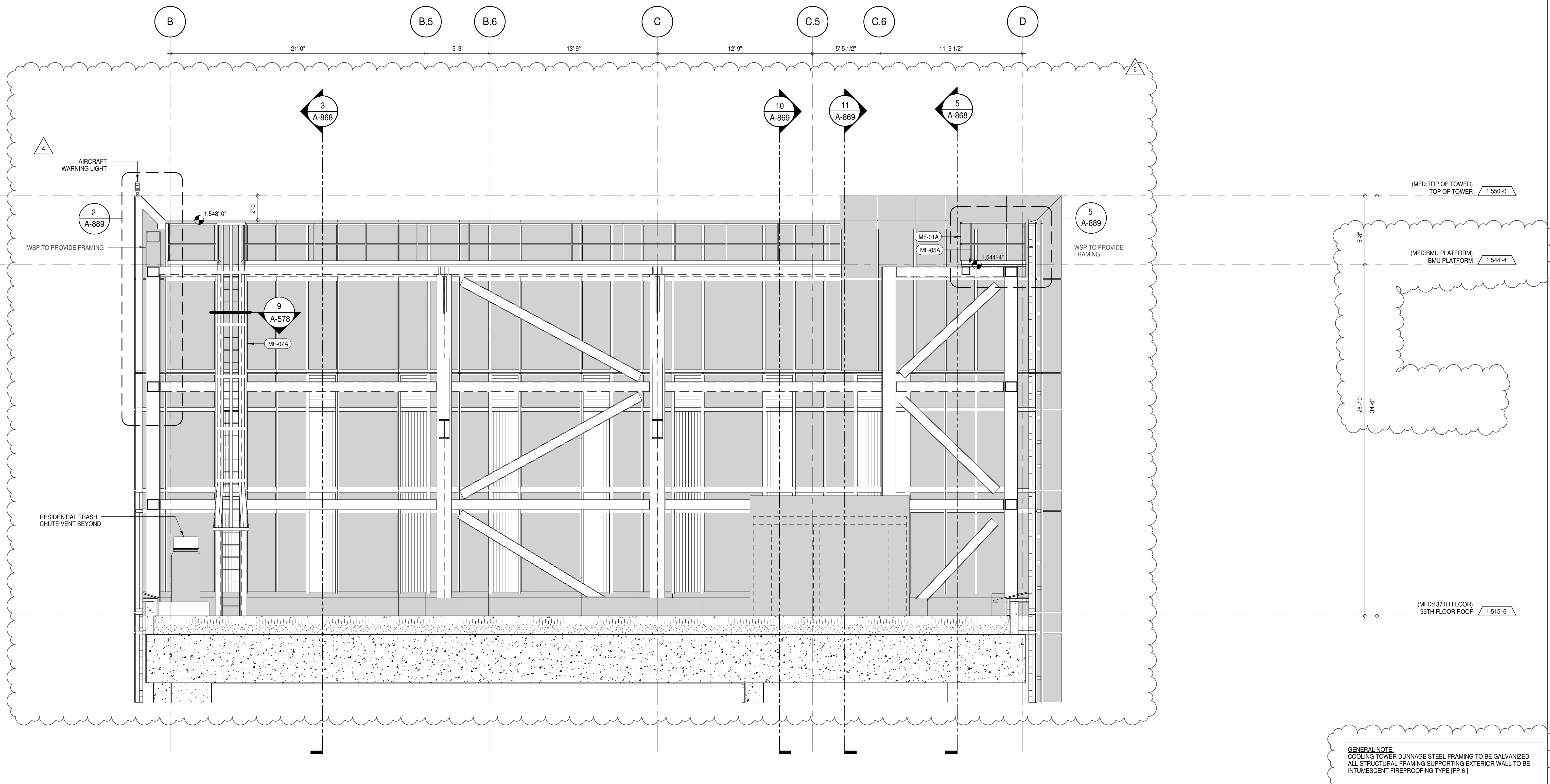
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI
 ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
 NEW YORK, NY

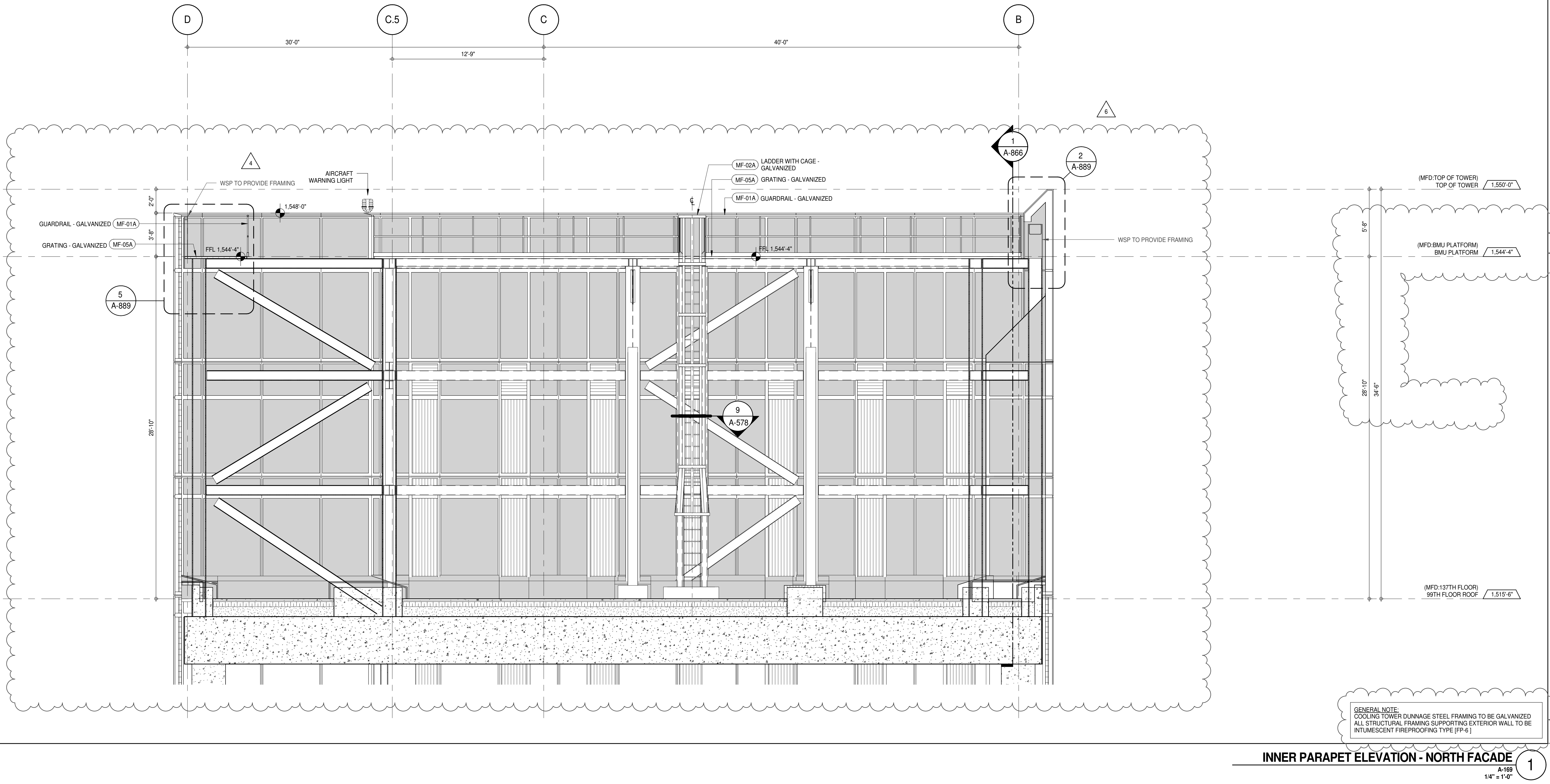
DRAWING TITLE:
PARTIAL ELEVATION - WEST

SEAL & SIGNATURE 	DATE: 15 OCT 14 PROJECT No: 1216-00 DRAWN: Author CHECKED: Checker SCALE: 1/8" = 1'-0" DWG No: A-229.02
DOB EMPLOYEE STAMP:	DOB PAGE No: 164 of 454 DOB 5-SCAN:



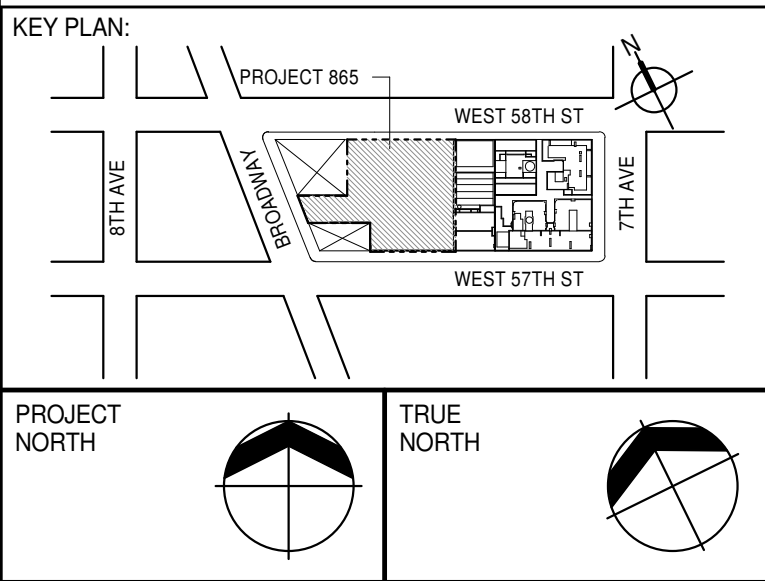
INNER PARAPET ELEVATION - SOUTH FACADE

1/4" = 1'-0"



INNER PARAPET ELEVATION - NORTH FACADE

1/4" = 1'-0"



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: **Base Building Shell & Core**
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: **Residential**
Rottel Architecture and Design Studio, PLLC
288 Fifth Ave., 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: **Base Building Shell, Core, & Residential**
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS: **WSP CANTOR SEINUK**
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS: **AKF GROUP**
165 Broadway, 22nd Floor
New York, NY 10038 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS: **Langan Engineering & Environmental Services**
21 Penn Plaza - 350 West 51st Street, 8th Floor
New York, NY 10001-2722
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS: **Construction Consulting Associates**
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT: **AJLP Consulting**
40 Worth Street, Suite 808
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT: **Jan Hird Pokorny Associates, Inc.**
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	D.O.B. SUBMISSION	18 FEB 15
2	CD PROGRESS ISSUE 3	09 MAR 15
3	D.O.B. SUBMISSION	27 APR 15
4	CD PROGRESS ISSUE 4	01 JUN 15
5	CD ISSUE 8 - GMP SET	31 MAR 16
6	CD BULLETIN ISSUE - 2	11 MAY 16
6	CD BULLETIN ISSUE - 5	12 AUG 16
6	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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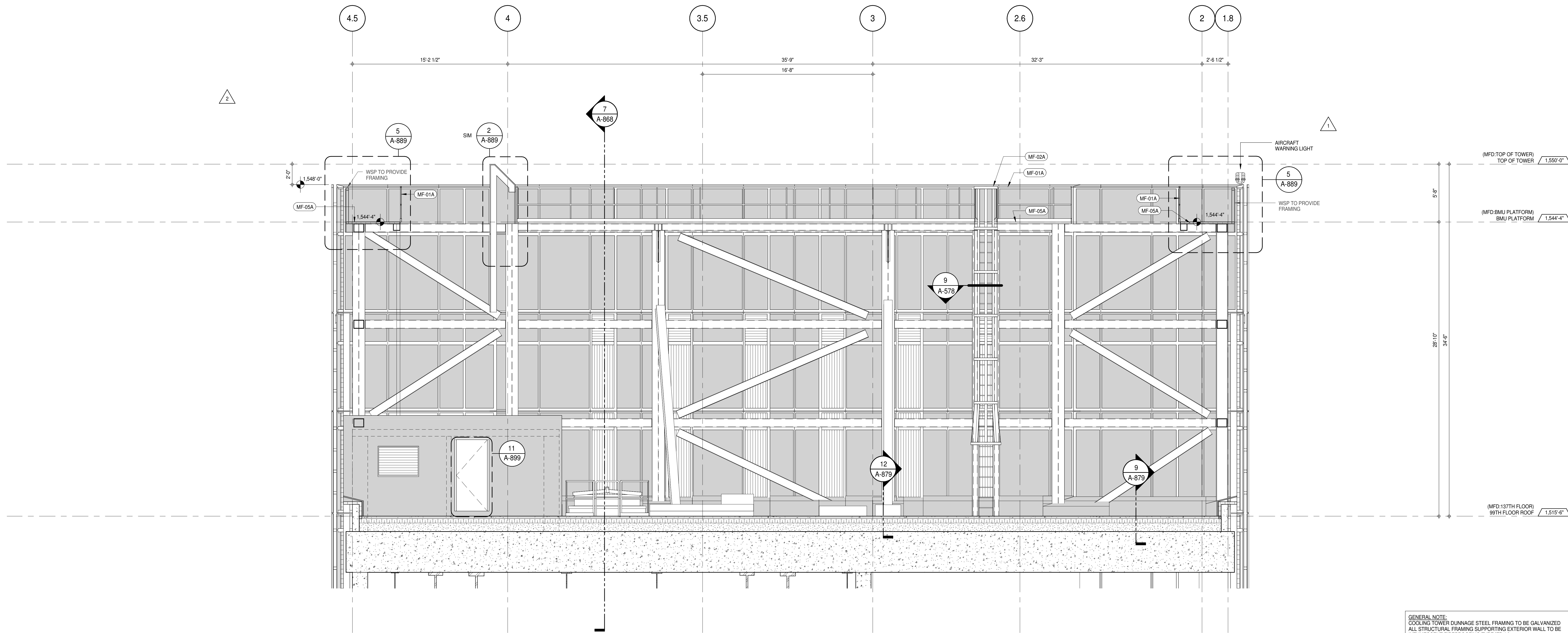
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AAI
ARCHITECTS, P.C.

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
TOP OF HOUSE INNER PARAPET ELEVATIONS

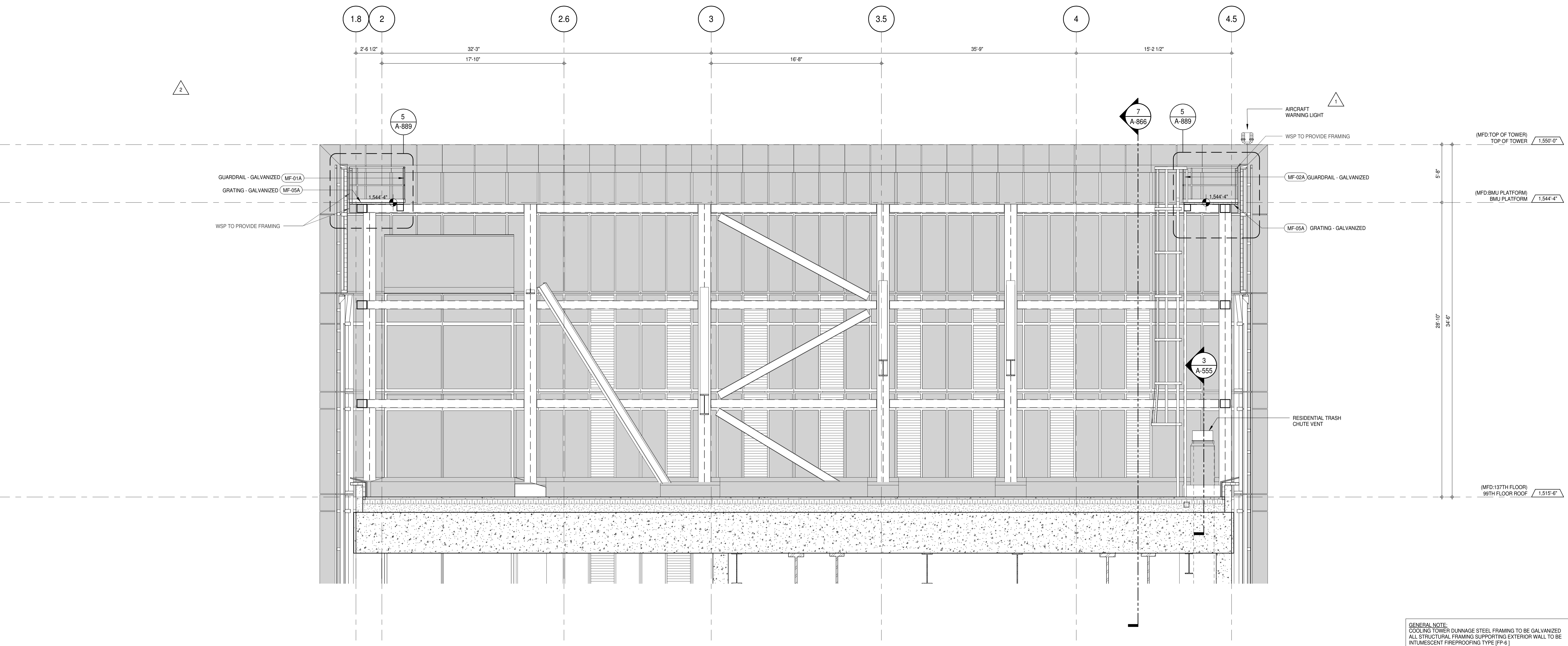
SEAL & SIGNATURE: **DAVID L. LEE**
REGISTERED ARCHITECT
NEW YORK
DATE: PROJECT No: 1216-00
DRAWN: Author
CHECKED: Checker
SCALE: 1/4" = 1'-0"
DWG No: **A-230.01**
DOB PAGE No: 165 of 454
DOB 5-SCAN:



INNER PARAPET ELEVATION - WEST FACADE

1/4\" = 1'-0\"

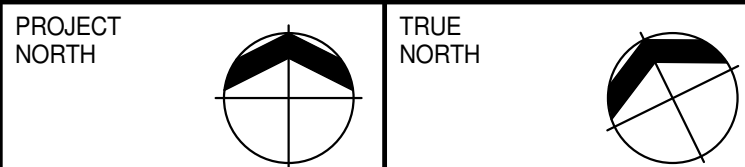
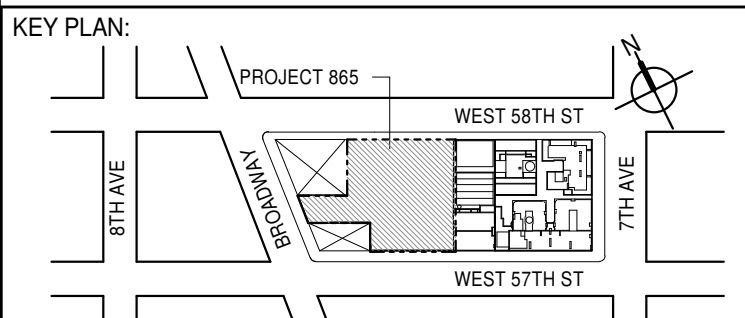
2



INNER PARAPET ELEVATION - EAST FACADE

1/4\" = 1'-0\"

1



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 989 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 887 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 57th Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1912 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 806
New York, NY 10013
TEL: 212 757 6550 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 57th Street, 12A
New York, NY 10019
TEL: 212 759 6452 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD ISSUE 8 - GMP SET	31 MAR 16
2	CD BULLETIN ISSUE - 5	12 AUG 16
	D.O.B. AMENDMENT 3	03 OCT 16

D.O.B. SUBMISSION

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:



PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
TOP OF HOUSE INNER PARAPET ELEVATIONS

SEAL & SIGNATURE: DATE: 02/17/16

PROJECT No: 1216-00

DRAWN: Author

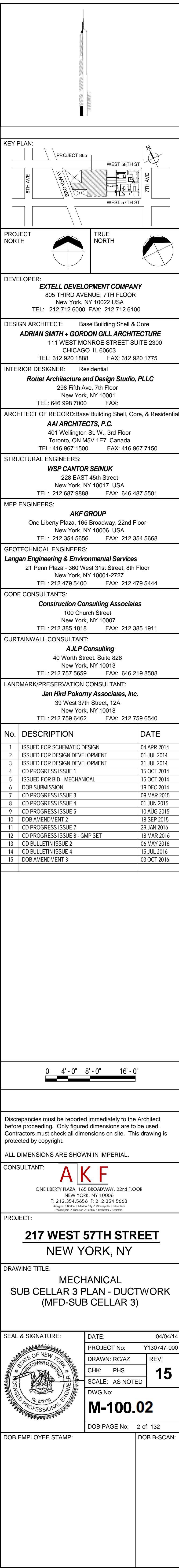
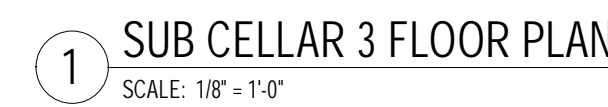
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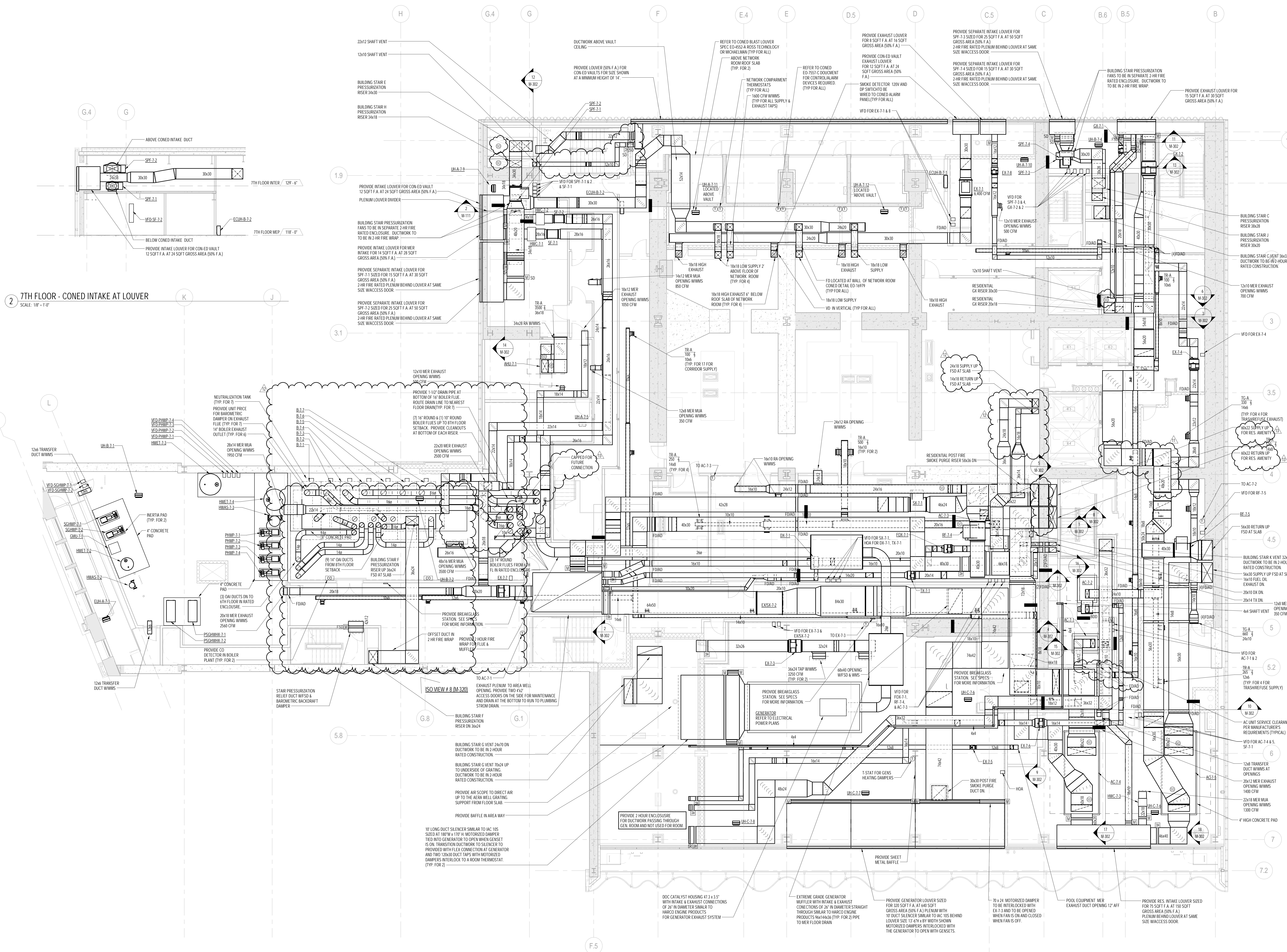
SCALE: 1/4\" = 1'-0\"

DWG No: A-231.00

DOB PAGE No: 166 of 454

DOB EMPLOYEE STAMP: DOB 5-SCAN:





7TH FLOOR PLAN
SCALE: 1/8" = 1'-0"

- NOTES:
1. ALL EXPOSED SUPPLY AND RETURN DUCTWORK TO BE ACOUSTICALLY LINED. REFER TO SPECIFICATIONS FOR LINING TYPE AND THICKNESS.
 2. ALL CONCEALED DUCTWORK TO BE ACOUSTICALLY UNINSULATED PER MECHANICAL SPECIFICATIONS.
 3. ALL MAKE-UP AIR AND OUTSIDE AIR DUCTWORK TO BE INSULATED PER MECHANICAL SPECIFICATIONS.

KEY PLAN:

PROJECT: TRUE NORTH

DEVELOPER: EXTREME DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 820 1888 FAX: 312 820 1775

INTERIOR DESIGNER: Residential
Rotet Architecture and Design Studio, PLLC
288 Fifth Ave. 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SENEK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 687 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 37th Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
A.J.P. Consulting
40 Worth Street, Suite 626
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PERMISSION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6482 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BD - MECHANICAL	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	CD PROGRESS ISSUE 5	18 SEP 2015
10	DOB AMENDMENT 1	18 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE 8 - CAMP SET	18 MAR 2016
14	DOB AMENDMENT 3	03 OCT 2016

SCALE: 0' 4" 8" 16" 0"

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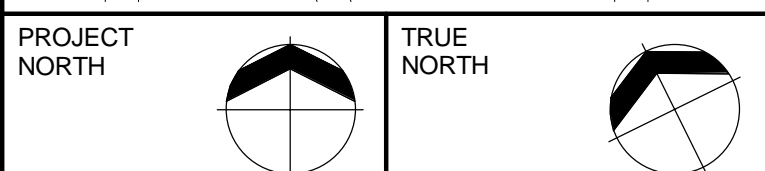
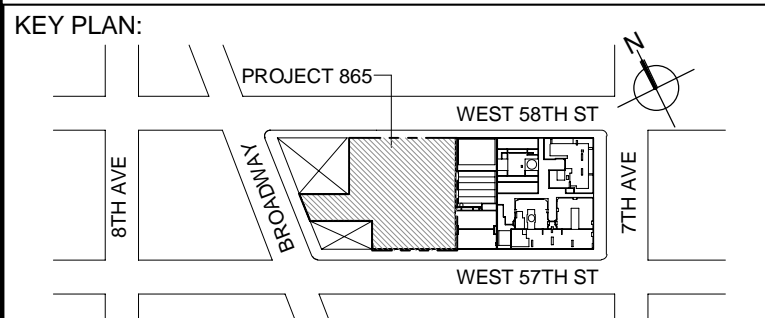
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AKF**
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
WWW.AKF-ENGINEERS.COM

PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE: MECHANICAL
7th FLOOR PLAN - DUCTWORK
(MFD-7th FLOOR)

SEAL & SIGNATURE: DATE: 04/04/14
PROJECT No: Y130747-000
DRAWN: RCIAZ REV: 14
CHK: PHS SCALE: As indicated
DWG No: **M-111.02**
DOB PAGE No: 13 of 132
DOB EMPLOYEE: DOB B-SCAN:



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 697 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Lagan Engineering & Environmental Services
21 Penn Plaza - 360 West 37th Street, 6th Floor
New York, NY 10018-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
A.J.P. Consulting
40 Worth Street, Suite 626
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	21 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	DOB SUBMISSION	09 MAR 2015
7	CD PROGRESS ISSUE 3	01 JUN 2015
8	CD PROGRESS ISSUE 4	19 DEC 2015
9	CD PROGRESS ISSUE 5	18 AUG 2015
10	DOB AMENDMENT 2	18 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE B - CAMP SET	18 MAR 2016
14	CD BULLETIN ISSUE 3	25 MAY 2016
15	CD BULLETIN ISSUE 4	15 JUL 2016
16	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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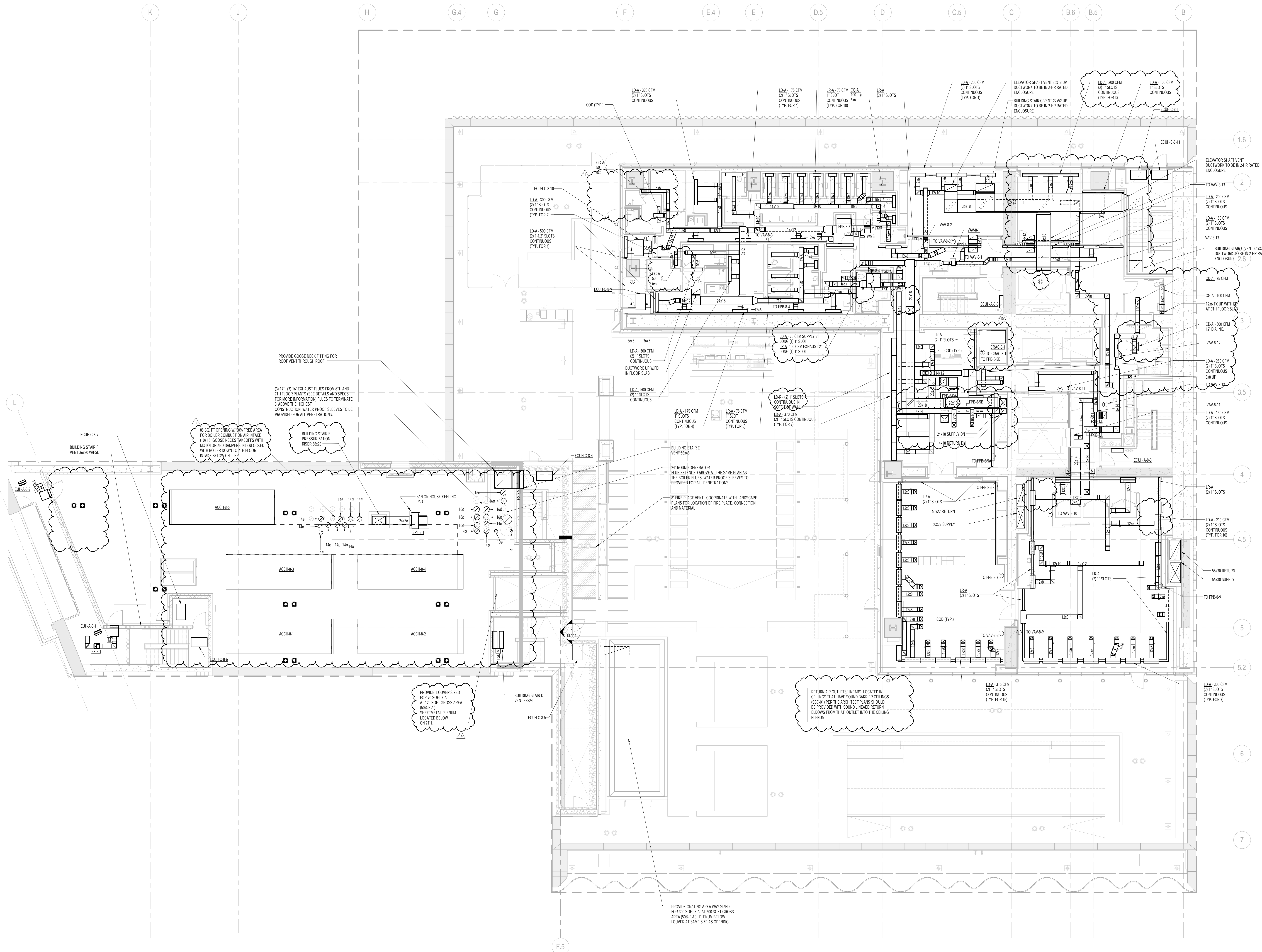
CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
WWW.AKF-ENGINEERS.COM

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**MECHANICAL
8th FLOOR PLAN - DUCTWORK
(MFD-14th FLOOR)**

SEAL & SIGNATURE: DATE: 04/04/14
PROJECT No: Y130747-000
DRAWN: RCIAZ REV: 16
CHK: PHS
SCALE: As indicated
DWG No: **M-113.02**

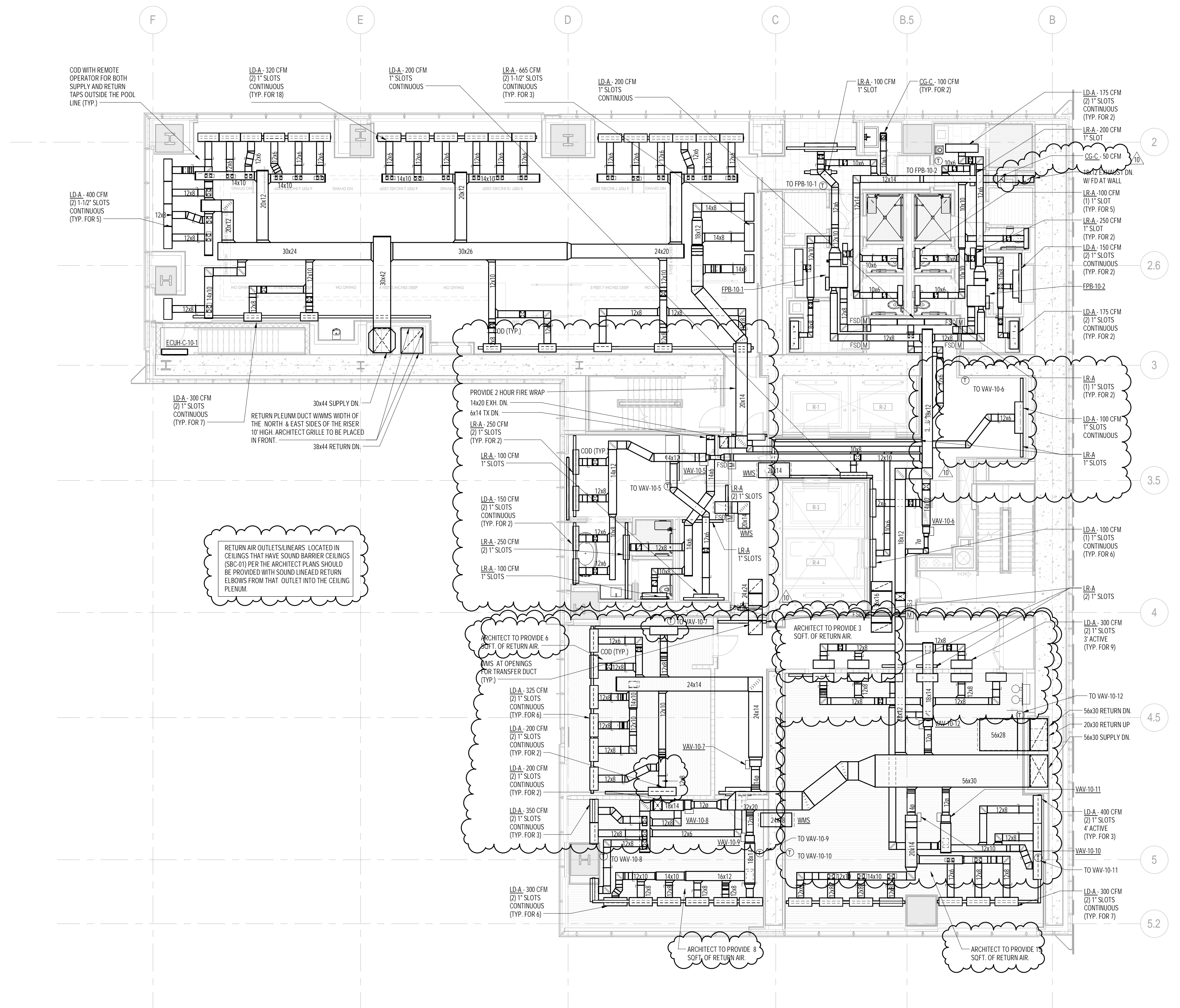
DOB EMPLOYEE STAMP: DOB PAGE No: 16 of 132 DOB B-SCAN:



1 8th FLOOR PLAN
SCALE: 1/8" = 1'-0"

- NOTES:
1. ALL EXPOSED SUPPLY AND RETURN DUCTWORK TO BE ACoustically LINED. REFER TO SPECIFICATIONS FOR LINING TYPE AND THICKNESS.
 2. ALL CONCEALED DUCTWORK TO BE ACoustically LINED INSULATED PER MECHANICAL SPECIFICATIONS.
 3. MAKE-UP AIR CURTAINS ARE REQUIRED TO BE INSTALLED PER MECHANICAL SPECIFICATIONS.

NOTE: 1. DO NOT SETBACK FROM MECHANICAL DESIGN APPROVED CALLER LAYOUT BY OWNER.

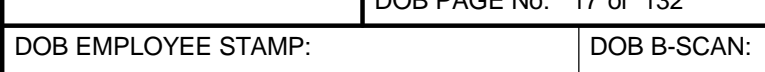


1 10th FLOOR PLAN
SCALE: 1/8" = 1'-0"

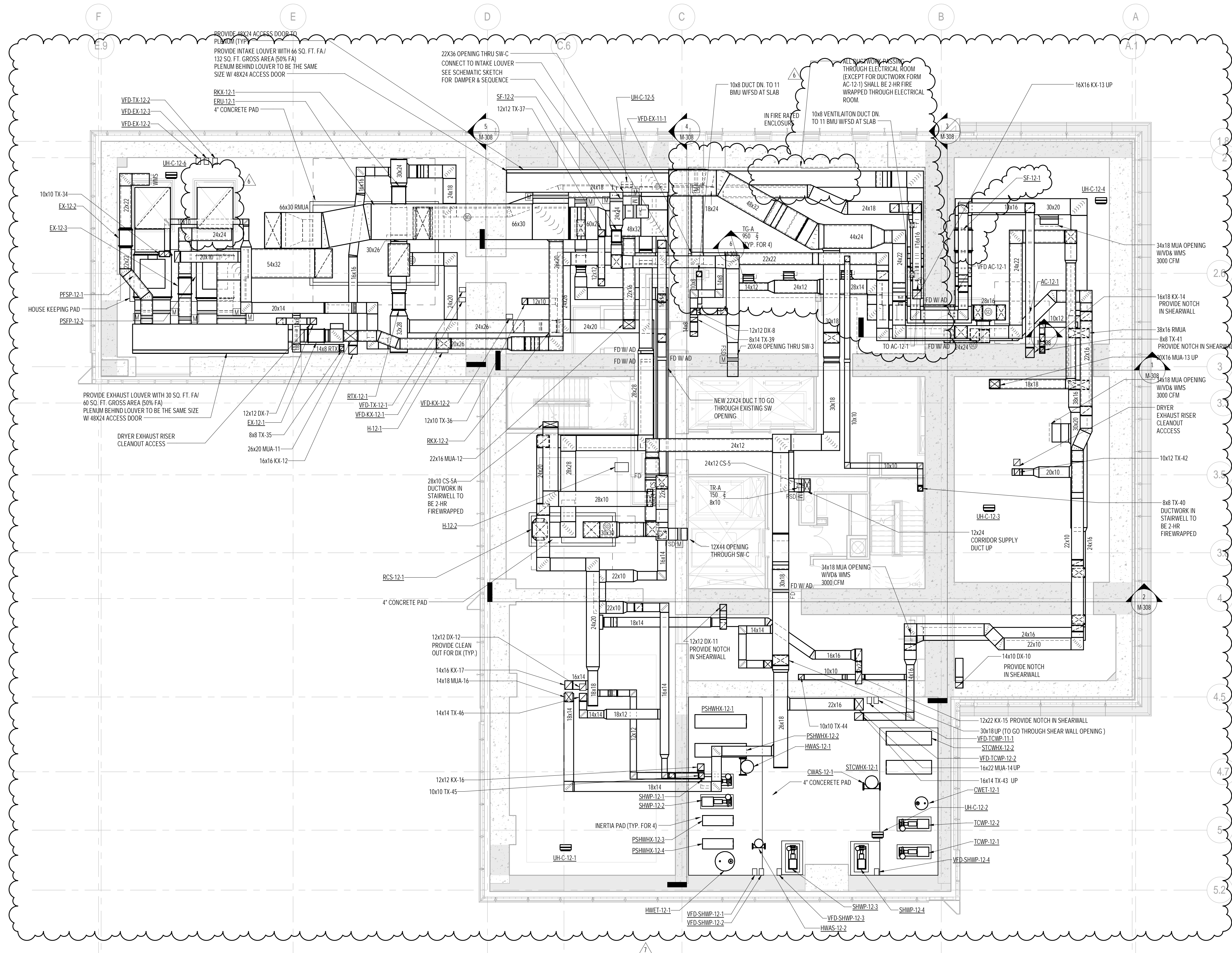
KEY PLAN: 		
PROJECT NORTH 		
DEVELOPER: EXTELL DEVELOPMENT COMPANY 805 THIRD AVENUE, 7TH FLOOR NEW YORK, NY 10022 USA TEL: 212 712 6000 FAX: 212 712 6100		
DESIGN ARCHITECT: Base Building Shell & Core ADRIAN SMITH + GORDON GILL ARCHITECTURE 111 WEST MONROE STREET SUITE 2300 CHICAGO, IL 60603 TEL: 312 920 1888 FAX: 312 920 1775		
INTERIOR DESIGNER: Residential Rotter Architecture and Design Studio, PLLC 288 Fifth Ave, 7th Floor New York, NY 10001 TEL: 646 998 7000 FAX:		
ARCHITECT OF RECORD: Base Building Shell, Core, & Residential AJA ARCHITECTS, P.C. 401 Wellington St., 3rd Floor Toronto, ON M5V 1E7 Canada TEL: 416 967 1500 FAX: 416 967 7150		
STRUCTURAL ENGINEERS: WSP CANTOR SEINUK 228 EAST 45th Street New York, NY 10017 USA TEL: 212 687 8888 FAX: 646 487 5501		
MEP ENGINEERS: AKF GROUP One Liberty Plaza, 165 Broadway, 22nd Floor New York, NY 10006 USA TEL: 212 354 5656 FAX: 212 354 5668		
GEOTECHNICAL ENGINEERS: Lagan Engineering & Environmental Services 21 Penn Plaza - 360 West 37th Street, 8th Floor New York, NY 10018-2727 TEL: 212 479 5400 FAX: 212 479 5444		
CODE CONSULTANTS: Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1818 FAX: 212 385 1911		
CURTAINWALL CONSULTANT: A.J.P. Consulting 40 Worth Street, Suite 626 New York, NY 10013 TEL: 212 757 5659 FAX: 646 219 8508		
LANDMARK/PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc. 39 West 37th Street, 12A New York, NY 10018 TEL: 212 759 6462 FAX: 212 759 6540		
No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 5	10 AUG 2015
9	DOB AMENDMENT 1	18 SEP 2015
10	CD PROGRESS ISSUE 6	02 NOV 2015
11	CD PROGRESS ISSUE 7	29 JAN 2016
12	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
13	DOB AMENDMENT 3	03 OCT 2016
Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.		
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.		
CONSULTANT: AKF ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR NEW YORK, NY 10006 T: 212 354 5656 F: 212 354 5668 WWW.AKF-ENGINEERS.COM		
PROJECT: 217 WEST 57TH STREET NEW YORK, NY		
DRAWING TITLE: MECHANICAL 10th FLOOR PLAN - DUCTWORK (MFD-16th FLOOR)		
SEAL & SIGNATURE: 	DATE: 04/04/14 PROJECT No: Y130747-000 DRAWN: RCIAZ CHK: PHS SCALE: 1/8" = 1'-0" DWG No: M-115.02	REV: 13
DOB EMPLOYEE STAMP:		DOB B-SCAN:



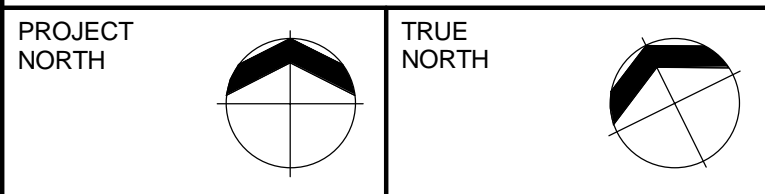
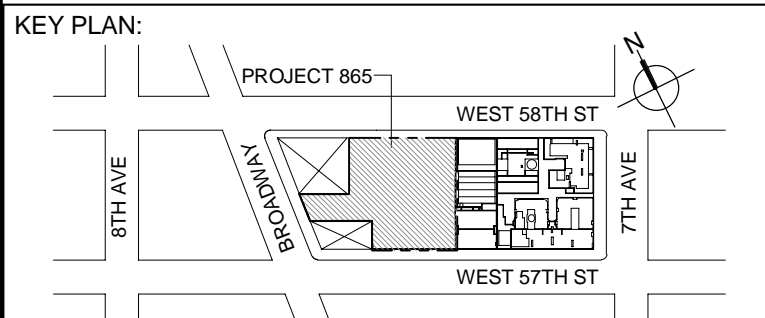
10th FLO
SCALE: 1/8" = 1'-0"







1 12th FLOOR PLAN
SCALE: 1/8" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 820 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

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MEP ENGINEERS:
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CURTAINWALL CONSULTANT:
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
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TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	DOB SUBMISSION	19 DEC 2014
2	CD PROGRESS ISSUE 3	09 MAR 2015
3	CD PROGRESS ISSUE 4	01 JUN 2015
4	CD PROGRESS ISSUE 5	10 AUG 2015
5	DOB AMENDMENT 2	18 SEP 2015
6	CD PROGRESS ISSUE 6	02 NOV 2015
7	CD PROGRESS ISSUE 7	29 JAN 2016
8	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
9	CD BULLETIN ISSUE 7	14 SEPT 2016
10	DOB AMENDMENT 3	03 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

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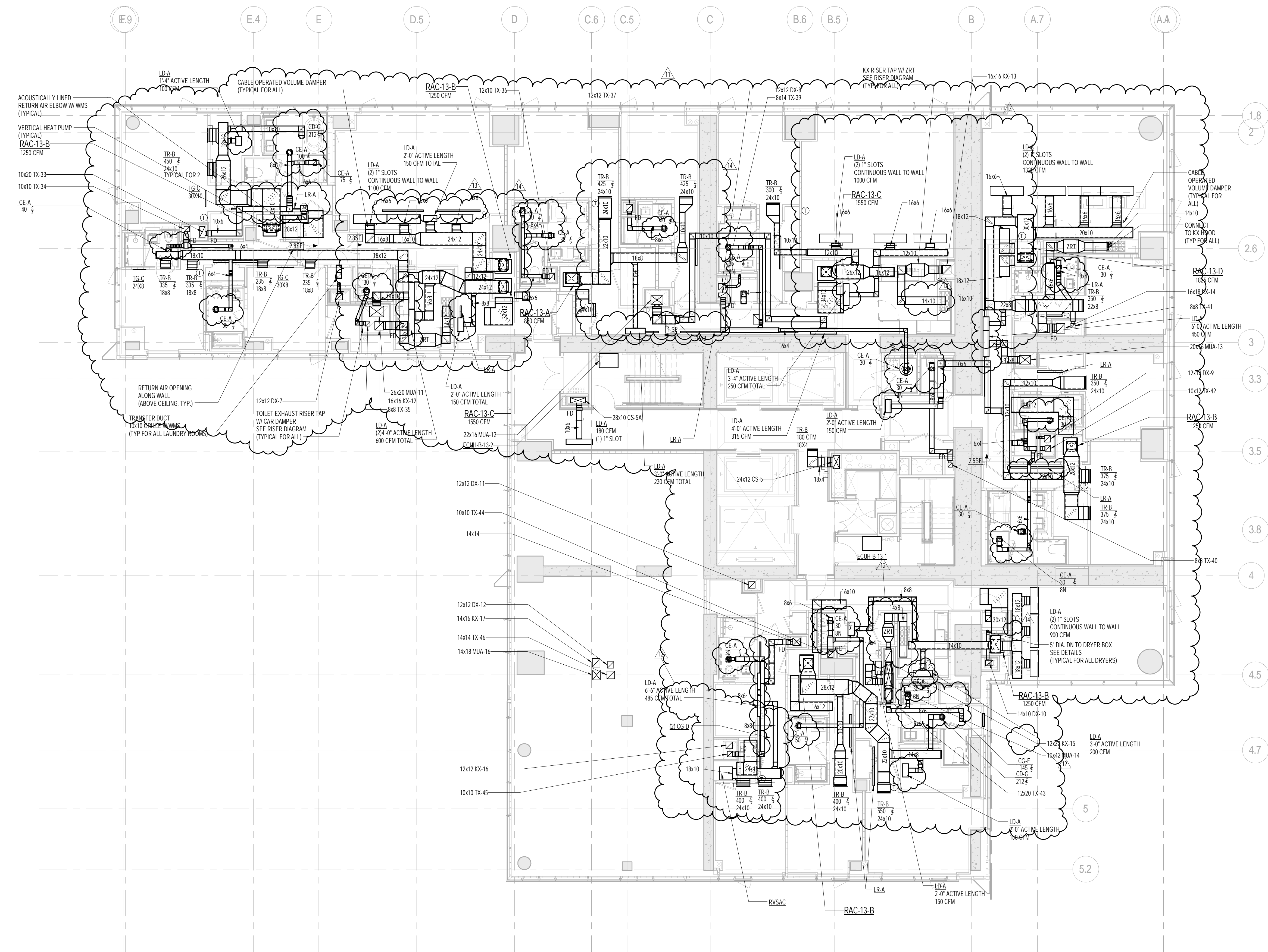
CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
WWW.AKF.COM

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**MECHANICAL
12th FLOOR PLAN - DUCTWORK
(MFD-20th FLOOR)**

SEAL & SIGNATURE: DATE: 12/08/14
PROJECT No: Y130747-000
DRAWN: RCIAZ REV: 10
CHK: PHS
SCALE: 1/8" = 1'-0"
DWG No: **M-119.02**

DOB EMPLOYEE STAMP: DOB PAGE No: 19 of 132 DOB B-SCAN:



1 13th FLOOR PLAN
SCALE: 1/8" = 1'-0"

- NOTES:
1. ALL ARCHITECTURAL RETURN AIR OPENINGS IN MILLWORK ETC. SHALL BE BASED ON (21" SLOT LINEARS SHOWN TO LRA'S BASED ON RETURN FREE AREA. NOTED: REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
 2. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ALL DEVICES AND AIR OUTLETS.
 3. REFER TO RISER DIAGRAMS AND DETAILS FOR ALL DEVICES AND TYPES SHOWN ON MECHANICAL DRAWING.

KEY PLAN: PROJECT 665 - WEST 68TH ST, WEST 67TH ST, WEST 66TH ST, WEST 65TH ST, WEST 64TH ST, WEST 63TH ST, WEST 62TH ST, WEST 61TH ST, WEST 60TH ST, WEST 59TH ST, WEST 58TH ST, WEST 57TH ST, WEST 56TH ST, WEST 55TH ST, WEST 54TH ST, WEST 53TH ST, WEST 52TH ST, WEST 51TH ST, WEST 50TH ST, WEST 49TH ST, WEST 48TH ST, WEST 47TH ST, WEST 46TH ST, WEST 45TH ST, WEST 44TH ST, WEST 43TH ST, WEST 42TH ST, WEST 41TH ST, WEST 40TH ST, WEST 39TH ST, WEST 38TH ST, WEST 37TH ST, WEST 36TH ST, WEST 35TH ST, WEST 34TH ST, WEST 33TH ST, WEST 32TH ST, WEST 31ST ST, WEST 30TH ST, WEST 29TH ST, WEST 28TH ST, WEST 27TH ST, WEST 26TH ST, WEST 25TH ST, WEST 24TH ST, WEST 23RD ST, WEST 22ND ST, WEST 21ST ST, WEST 20TH ST, WEST 19TH ST, WEST 18TH ST, WEST 17TH ST, WEST 16TH ST, WEST 15TH ST, WEST 14TH ST, WEST 13TH ST, WEST 12TH ST, WEST 11TH ST, WEST 10TH ST, WEST 9TH ST, WEST 8TH ST, WEST 7TH ST, WEST 6TH ST, WEST 5TH ST, WEST 4TH ST, WEST 3RD ST, WEST 2ND ST, WEST 1ST ST, WEST 0TH ST, WEST -1ST ST, WEST -2ND ST, WEST -3RD ST, WEST -4TH ST, WEST -5TH ST, WEST -6TH ST, WEST -7TH ST, WEST -8TH ST, WEST -9TH ST, WEST -10TH ST, WEST -11TH ST, WEST -12TH ST, WEST -13TH ST, WEST -14TH ST, WEST -15TH ST, WEST -16TH ST, WEST -17TH ST, WEST -18TH ST, WEST -19TH ST, WEST -20TH ST, WEST -21ST ST, WEST -22ND ST, WEST -23RD ST, WEST -24TH ST, WEST -25TH ST, WEST -26TH ST, WEST -27TH ST, WEST -28TH ST, WEST -29TH ST, WEST -30TH ST, WEST -31ST ST, WEST -32ND ST, WEST -33RD ST, WEST -34TH ST, WEST -35TH ST, WEST -36TH ST, WEST -37TH ST, WEST -38TH ST, WEST -39TH ST, WEST -40TH ST, WEST -41ST ST, WEST -42ND ST, WEST -43RD ST, WEST -44TH ST, WEST -45TH ST, WEST -46TH ST, WEST -47TH ST, WEST -48TH ST, WEST -49TH ST, WEST -50TH ST, WEST -51ST ST, WEST -52ND ST, WEST -53RD ST, WEST -54TH ST, WEST -55TH ST, WEST -56TH ST, WEST -57TH ST, WEST -58TH ST, WEST -59TH ST, WEST -60TH ST, WEST -61ST ST, WEST -62ND ST, WEST -63RD ST, WEST -64TH ST, WEST -65TH ST, WEST -66TH ST, WEST -67TH ST, WEST -68TH ST, WEST -69TH ST, WEST -70TH ST, WEST -71ST ST, WEST -72ND ST, WEST -73RD ST, WEST -74TH ST, WEST -75TH ST, WEST -76TH ST, WEST -77TH ST, WEST -78TH ST, WEST -79TH ST, WEST -80TH ST, WEST -81ST ST, WEST -82ND ST, WEST -83RD ST, WEST -84TH ST, WEST -85TH ST, WEST -86TH ST, WEST -87TH ST, WEST -88TH ST, WEST -89TH ST, WEST -90TH ST, WEST -91ST ST, WEST -92ND ST, WEST -93RD ST, WEST -94TH ST, WEST -95TH ST, WEST -96TH ST, WEST -97TH ST, WEST -98TH ST, WEST -99TH ST, WEST -100TH ST.

PROJECT NORTH: TRUE NORTH

DEVELOPER: EXTRELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 820 1888 FAX: 312 820 1775

INTERIOR DESIGNER: Residential
Rotet Architecture and Design Studio, PLLC
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AAI ARCHITECTS, P.C.
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MEP ENGINEERS: AKF GROUP
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CODE CONSULTANTS: Construction Consulting Associates
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LANDMARK/PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc.
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TEL: 212 759 6482 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	CD PROGRESS ISSUE 5	18 SEP 2015
10	DOB AMENDMENT 1	18 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE 8 - CMP SET	18 MAR 2016
14	CD BULLETIN ISSUE 4	15 JUL 2016
15	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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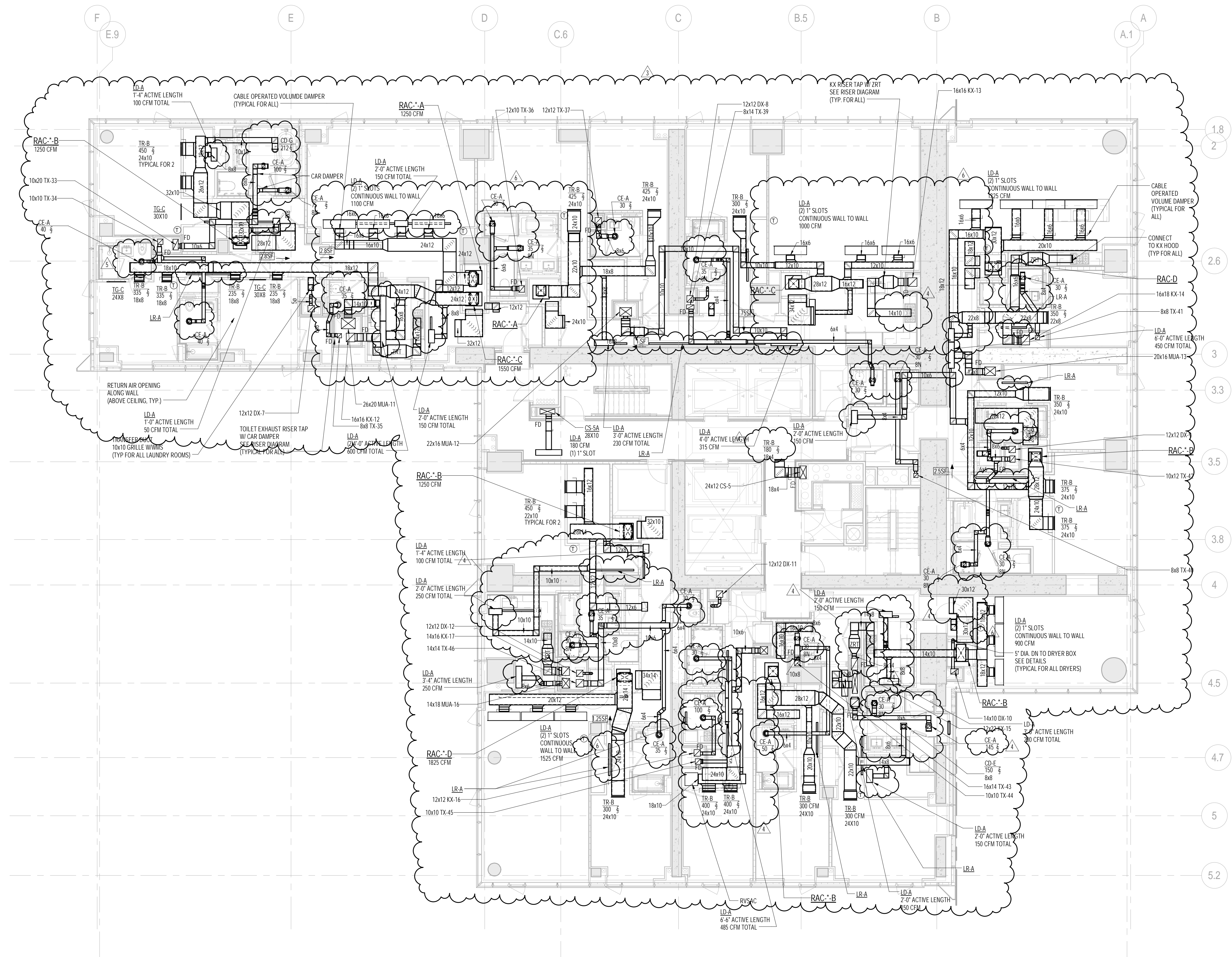
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PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE: MECHANICAL
13th FLOOR PLAN - DUCTWORK
(MFD-32nd FLOOR)

SEAL & SIGNATURE: DATE: 04/04/14
PROJECT No: Y130747-000
DRAWN: RCIAZ REV: 15
CHK: PHS
SCALE: As indicated
DWG No: M-120.02
DOB PAGE No: 20 of 132
DOB EMPLOYEE STAMP: DOB B-SCAN:

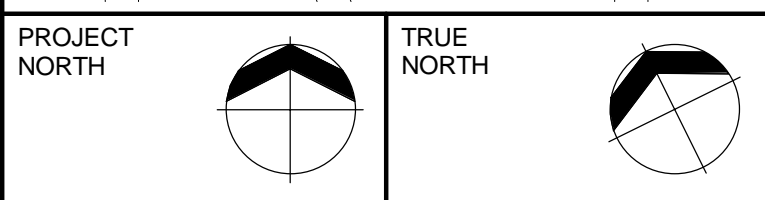
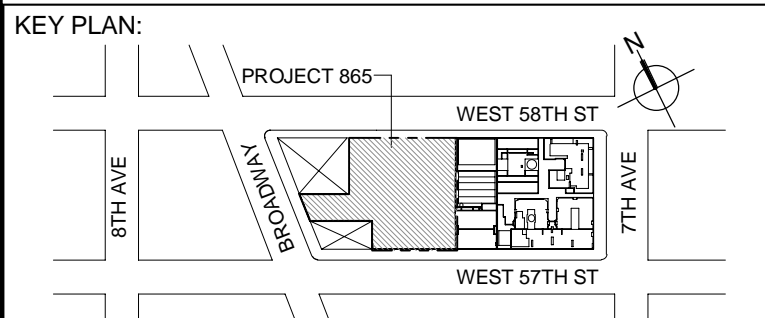


1 TYPICAL 14th-18th FLOOR PLANS

SCALE: 1/8" = 1'-0"

NOTES:

1. ALL ARCHITECTURAL RETURN AIR OPENINGS IN MILLWORK ETC. SHALL BE BASED ON (21" SLOTTED) LINEARS SIMILAR TO LRA'S BASED ON RETURN FREE AREA. (NOTED: REFER TO ARCHITECTURAL PLANS FOR LOCATIONS)
2. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ALL DEVICES AND AIR OUTLETS.
3. REFER TO RISER DIAGRAMS AND DETAILS FOR ALL DEVICES AND TYPES SHOWN ON MECHANICAL DRAWINGS.



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No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 5	10 AUG 2015
2	DOB AMENDMENT 2	18 SEP 2015
3	CD PROGRESS ISSUE 6	02 NOV 2015
4	CD PROGRESS ISSUE 7	29 JAN 2016
5	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
6	CD BULLETIN ISSUE 4	15 JUL 2016
7	DOB AMENDMENT 3	03 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

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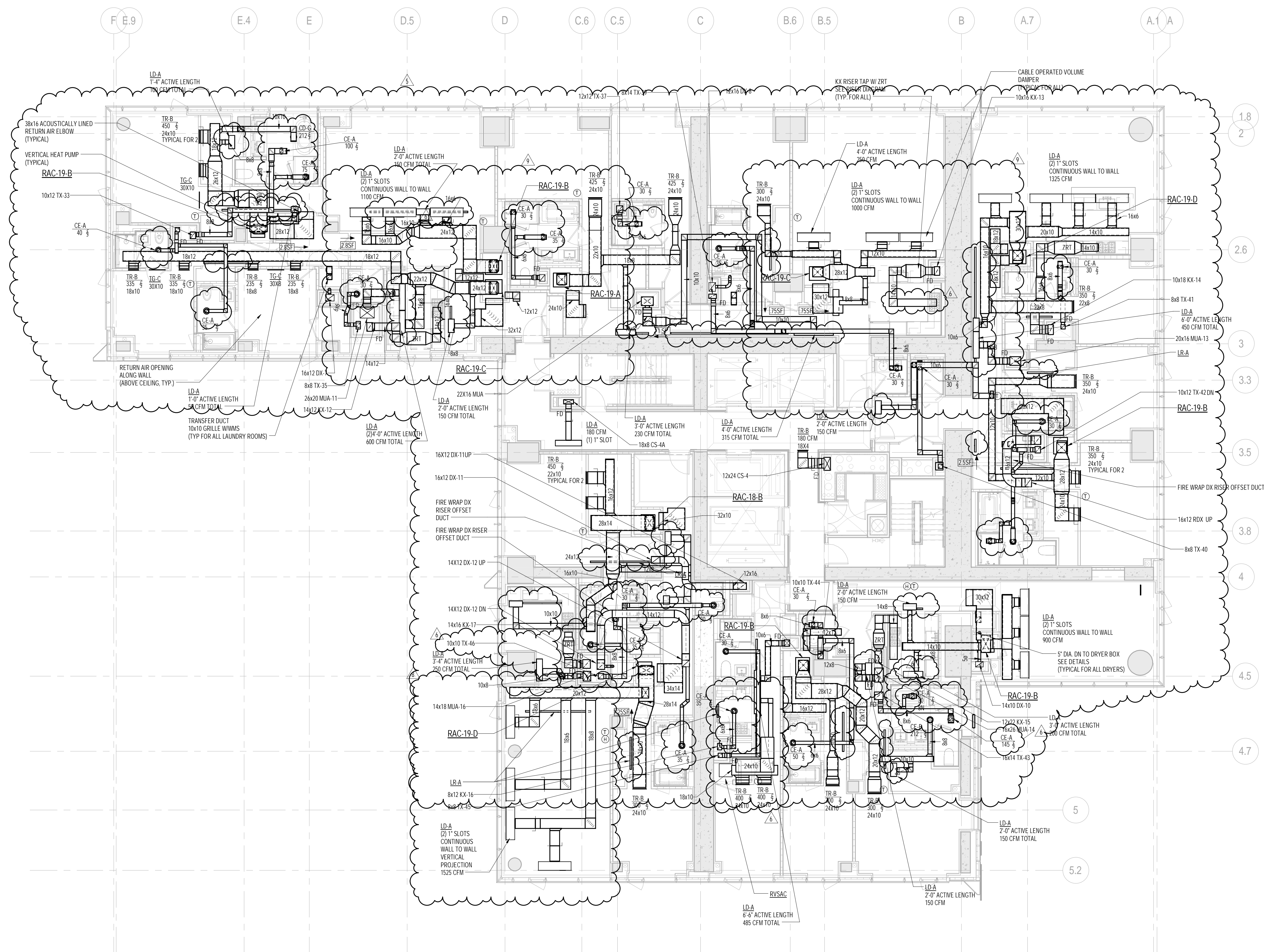
CONSULTANT:
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PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
MECHANICAL
14th FLOOR PLAN - DUCTWORK
(TYPICAL 14th-18th FLOORS)
(MFD-33rd-37th FLOOR)

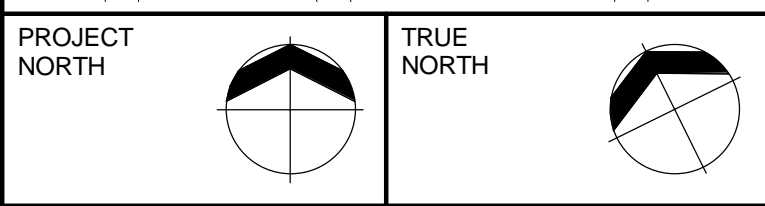
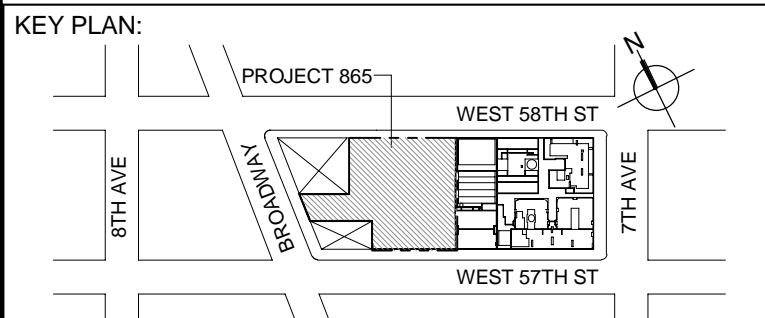
SEAL & SIGNATURE: PROJECT No: Y130747-000 DATE: 08/05/15
DRAWN: AZ REV: 7
CHK: PHS
SCALE: As indicated
DWG No: **M-121.02**
DOB PAGE No: 21 of 132
DOB EMPLOYEE STAMP: DOB B-SCAN:





19th FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTE:
1. ALL ARCHITECTURAL RETURN AIR OPENINGS IN MILLWORK ETC. SHALL BE BASED ON (21" SLOTT LINEARS SIMILAR TO LRA'S BASED ON RETURN AIR AREA. NOTED: REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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TEL: 212 759 6482 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 3	09 MAR 2015
2	CD PROGRESS ISSUE 4	01 JUN 2015
3	CD PROGRESS ISSUE 5	10 AUG 2015
4	DOB AMENDMENT 1	18 SEP 2015
5	CD PROGRESS ISSUE 6	02 NOV 2015
6	CD PROGRESS ISSUE 7	29 JAN 2016
7	CD PROGRESS ISSUE 8 - OMP SET	18 MAR 2016
8	CD BULLETIN ISSUE 3	25 MAY 2016
9	CD BULLETIN ISSUE 4	15 JUL 2016
10	DOB AMENDMENT 2	03 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

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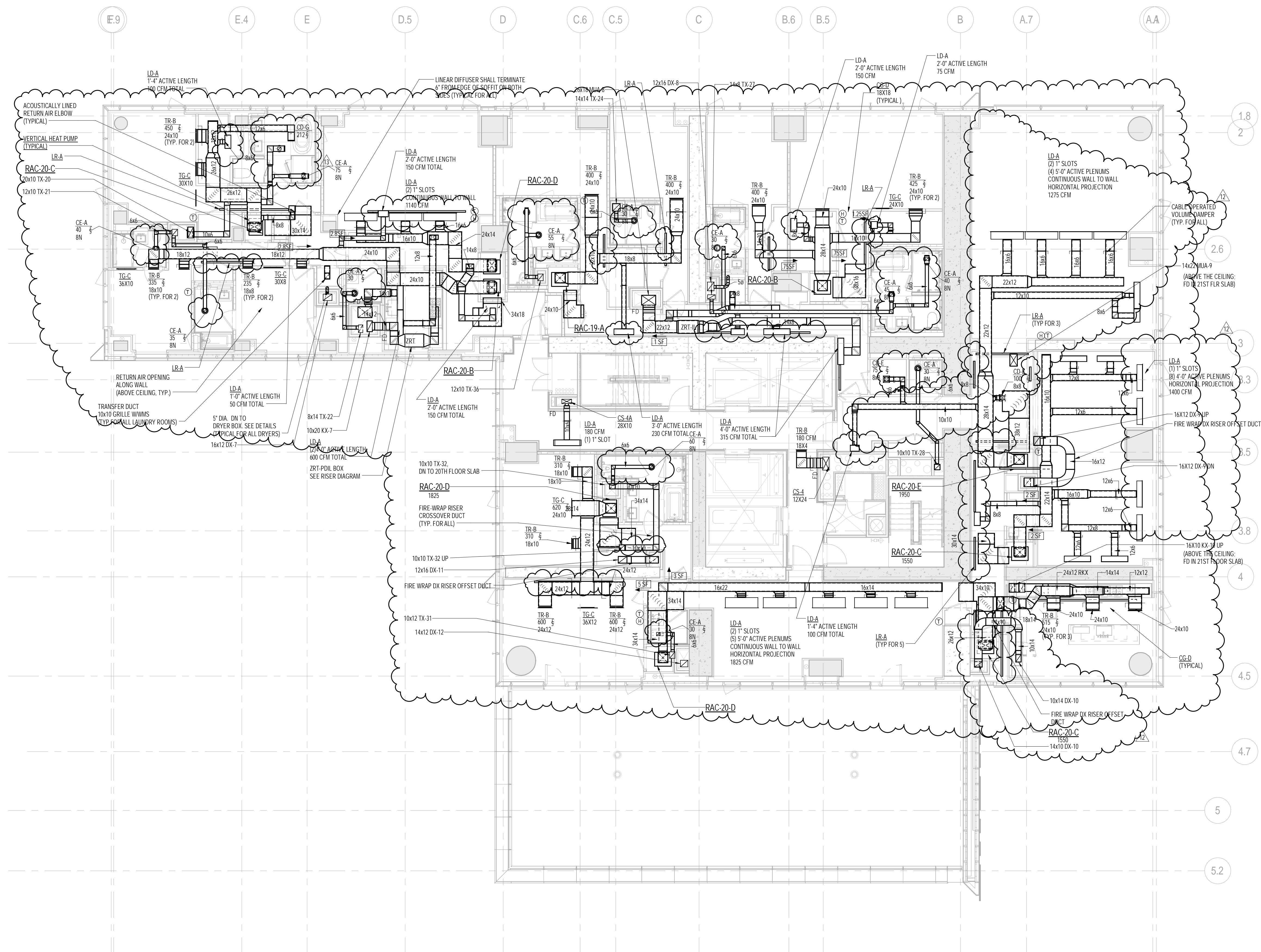
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
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ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
FAX: 212 354 5669

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**MECHANICAL
19th FLOOR PLAN - DUCTWORK
(MFD-38th FLOOR)**

SEAL & SIGNATURE: DATE: 03/09/15
PROJECT No: Y130747-000
DRAWN: RC REV: 10
CHK: PHS SCALE: As indicated
DWG No: **M-126.02**
DOB PAGE No: 22 of 132
DOB EMPLOYEE STAMP: DOB B-SCAN:

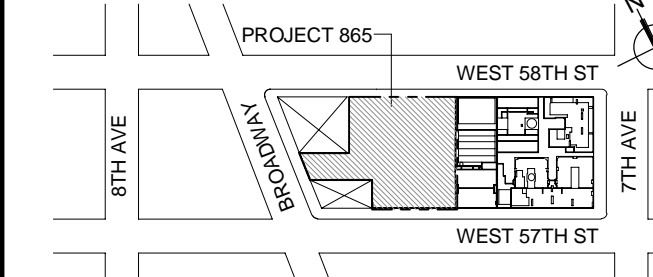


1 20th FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTES

- ALL ARCHITECTURAL RETURN AIR OPENINGS IN MILLWORK ETC. SHALL BE BASED ON (21) SLOTTED LINES SHOWN TO L.R.A.S. BASED ON RETURN FREE AREA. NOTED. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
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- REFER TO RISER DIAGRAMS AND DETAILS FOR ALL DEVICES AND TYPES SHOWN ON MECHANICAL DRAWINGS.

KEY PLAN



PROJECT

NORTH

TRUE

NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
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TEL: 212 712 6000 FAX: 212 712 6100

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INTERIOR DESIGNER:

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No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
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12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE 8 - CMP SET	18 MAR 2016
14	DOB AMENDMENT 3	03 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

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CONSULTANT:

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NEW YORK, NY 10006
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WWW.AKF-ENGINEERS.COM

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

MECHANICAL
20th FLOOR PLAN - DUCTWORK
(MFD-39th FLOOR)

SEAL & SIGNATURE:

DATE: 04/04/14

PROJECT No: Y130747-000

DRAWN: RCIAZ REV:

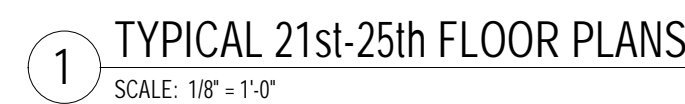
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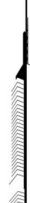
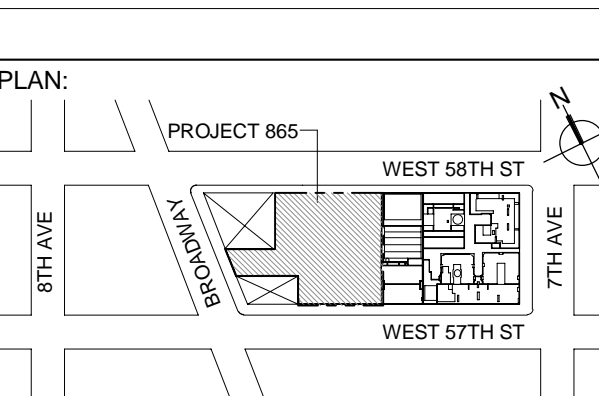

DWG No:

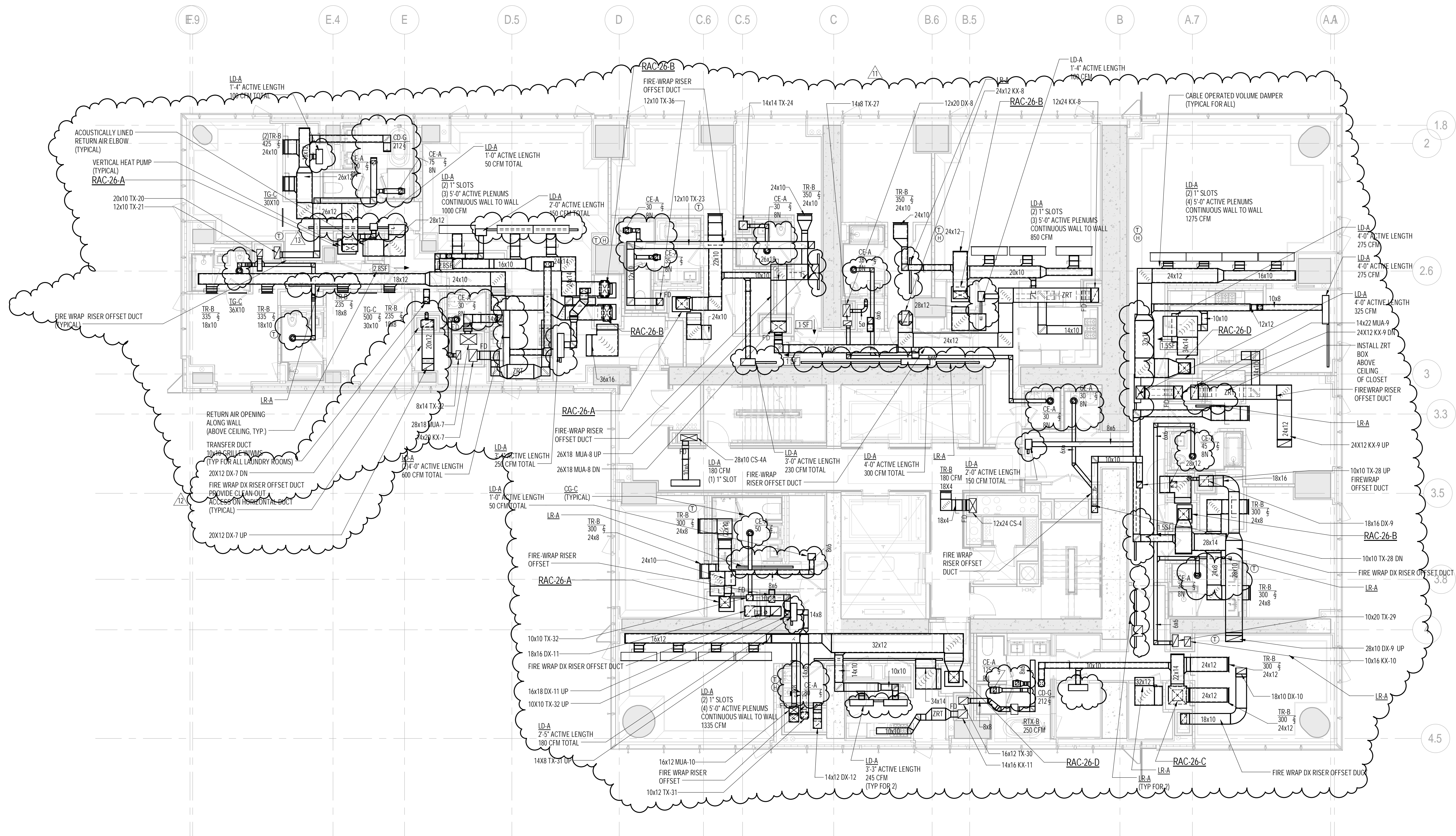
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DOB PAGE No: 23 of 132

DOB EMPLOYEE STAMP: DOB B-SCAN:

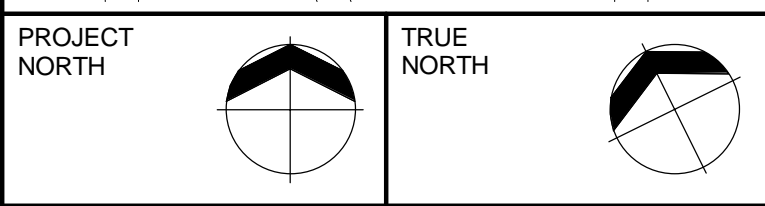
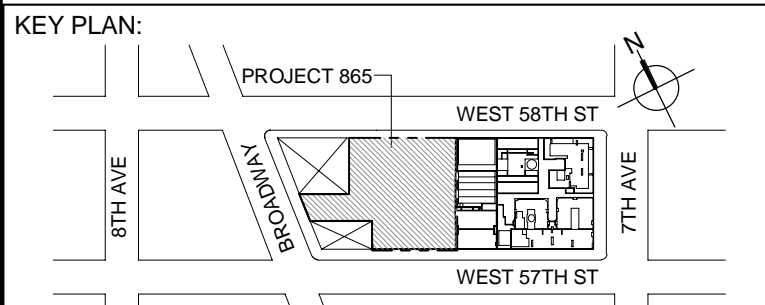


		
		
<div><div>PROJECT NORTH</div><div>TRUE NORTH</div></div>		
DEVELOPER: EXTELL DEVELOPMENT COMPANY 805 THIRD AVENUE, 7TH FLOOR New York, NY 10022 USA TEL: 212 712 6000 FAX: 212 715 6100		
DESIGN ARCHITECT: Base Building Shell & Core ADRIAN SMITH + GORDON GILL ARCHITECTURE 111 WEST MONROE STREET SUITE 2300 CHICAGO, IL 60603 TEL: 312 820 1888 FAX: 312 920 1775		
INTERIOR DESIGNER: Residential Rotter Architecture and Design Studio, PLLC 298 Fifth Ave, 7th Floor New York, NY 10001 TEL: 646 988 7000 FAX: 646 988 7000		
ARCHITECT OF RECORD: Base Building Shell, Core, & Residential AAI ARCHITECTS, P.C. 401 Wellington St., W, 3rd Floor Toronto, ON M5V 1E7, Canada TEL: 416 967 1500 FAX: 416 967 7150		
STRUCTURAL ENGINEERS: WSP CANTOR SENUK 228 East 45th Street New York, NY 10017 USA TEL: 212 687 9898 FAX: 646 487 5501		
MEP ENGINEERS: AKF GROUP One Liberty Plaza, 165 Broadway, 22nd Floor New York, NY 10006 USA TEL: 212 354 6565 FAX: 212 354 5668		
GEOTECHNICAL ENGINEERS: Langan Engineering & Environmental Services 21 Penn Plaza - 360 West 31st Street, 8th Floor New York, NY 10001-2727 TEL: 212 479 5400 FAX: 212 479 5444		
CODE CONSULTANTS: Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1818 FAX: 212 385 1911		
CURTAINWALL CONSULTANT: AJLP Consulting 40 Worth Street, Suite 826 New York, NY 10013 TEL: 212 757 8559 FAX: 646 219 8508		
LANDMARK/PRESERVATION CONSULTANT: Jan Hrd Pokorny Associates, Inc. 39 West 37th Street, 12A New York, NY 10018 TEL: 212 759 6462 FAX: 212 759 6540		
No.	DESCRIPTION	DATE
1	DOB SUBMISSION	10 DEC 2014
2	CD PROGRESS ISSUE 3	09 MAR 2015
3	CD PROGRESS ISSUE 4	01 JUN 2015
4	CD PROGRESS ISSUE 5	10 AUG 2015
5	DOB AMENDMENT 2	10 SEP 2015
6	CD PROGRESS ISSUE 6	02 NOV 2015
7	CD PROGRESS ISSUE 7	29 JAN 2016
8	CD PROGRESS ISSUE 8 - GMP SET	10 MAR 2016
9	CD BULLETIN ISSUE 3	25 MAY 2016
10	DOB AMENDMENT 3	03 OCT 2016
<div><div>0</div><div>4'-0"</div><div>8'-0"</div><div>16'-0"</div></div>		
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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.		
CONSULTANT: AKF ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR NEW YORK, NY 10006 Tel: 212 354 6565 Fax: 212 354 5668 Project: 217 West 57th Street, New York		
PROJECT: 217 WEST 57TH STREET NEW YORK, NY		
DRAWING TITLE: MECHANICAL 21st Floor PLAN - DUCTWORK (TYPICAL 21st-25th FLOORS) (MFD-43rd-48th FLOOR)		
SEAL & SIGNATURE:	DATE:	06/11/15
	PROJECT NO.:	Y150747-000
	DRAWN: RGAZ	REV.:
	CHK: PHS	10
	SCALE: As indicated	
DWG NO:	M-128.02	
DOB PAGE NO.:	24 of 132	
DOB EMPLOYEE STAMP:	DOB B-SCAN:	



1 26th FLOOR PLAN
SCALE: 1/8" = 1'-0"

- NOTE:
1. ALL ARCHITECTURAL RETURN AIR OPENINGS IN WALL WORK ETC. SHALL BE BASED ON (D1) SLOTT LINEARS SIMILAR TO LRA'S BASED ON RETURN FREE AREA. NOTED: REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
 2. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ALL DEVICES AND AIR OUTLETS.
 3. REFER TO RISER DRAWINGS AND DETAILS FOR ALL DEVICES AND TYPES SHOWN ON MECHANICAL DRAWINGS.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
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111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
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INTERIOR DESIGNER:
Rotet Architecture and Design, PLLC
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New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
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One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10006 USA
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GEOTECHNICAL ENGINEERS:
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CODE CONSULTANTS:
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
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TEL: 212 759 6482 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	CD PROGRESS ISSUE 5	10 AUG 2015
10	DOB AMENDMENT 1	18 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE 8 - CMP SET	18 MAR 2016
14	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
WWW.AKF-USA.COM

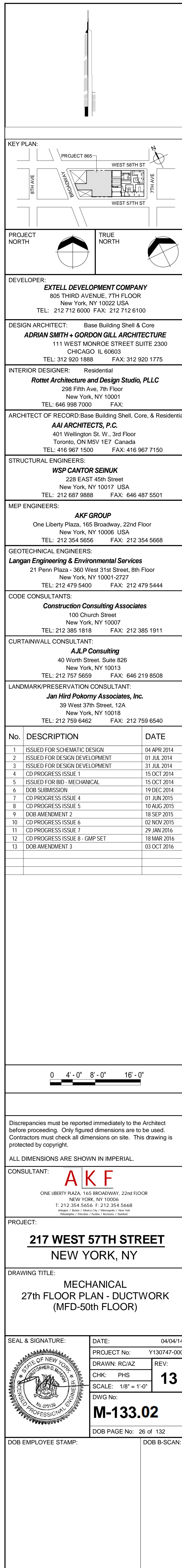
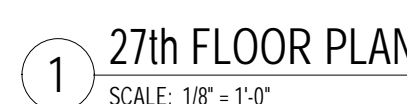
PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

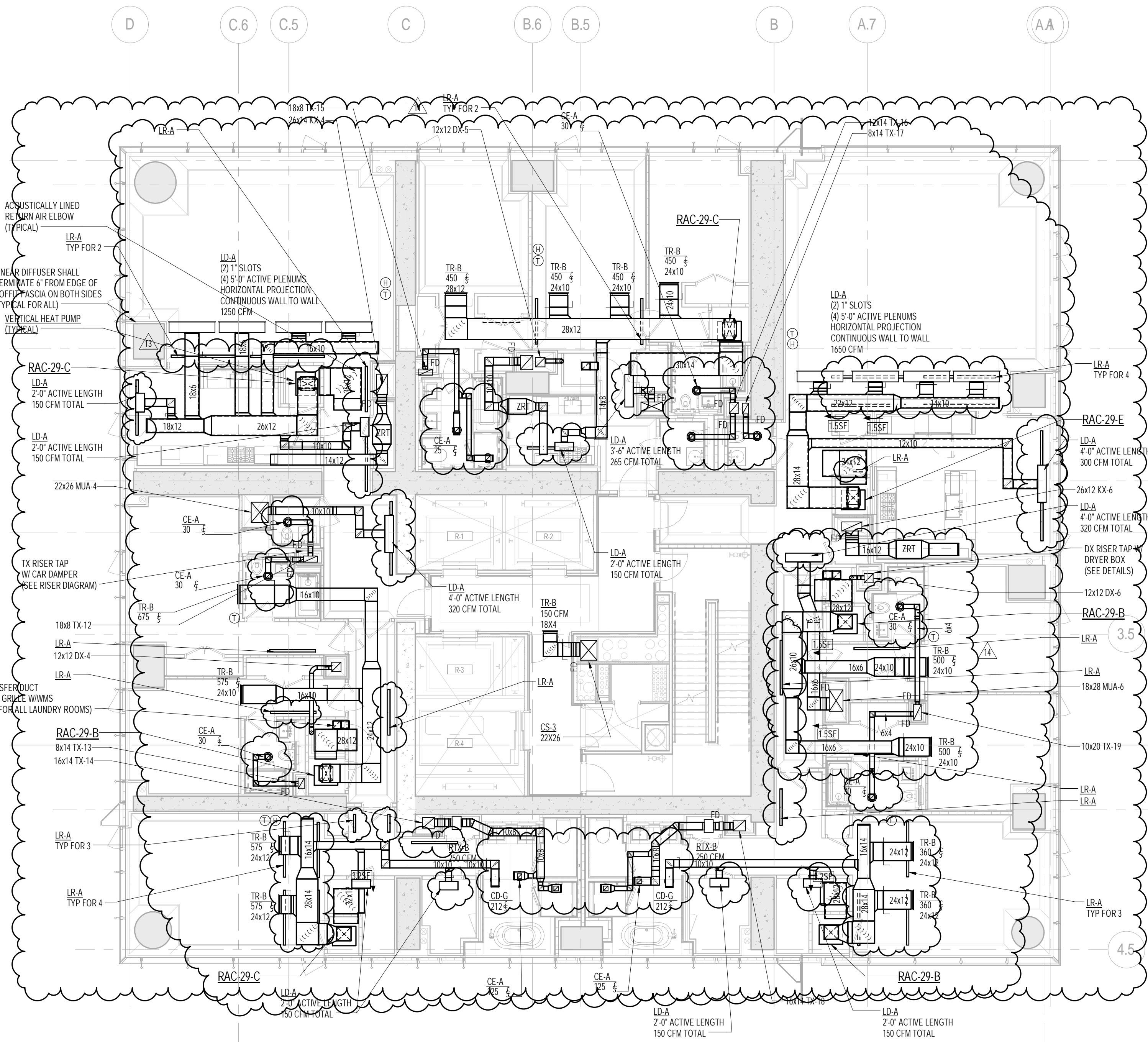
DRAWING TITLE:
**MECHANICAL
26th FLOOR PLAN - DUCTWORK
(MFD-49th FLOOR)**

SEAL & SIGNATURE:	DATE:	04/04/14
	PROJECT No:	Y130747-000
	DRAWN: RCIAZ	REV:
	CHK: PHS	14
	SCALE: As indicated	
DWG No:	M-132.02	

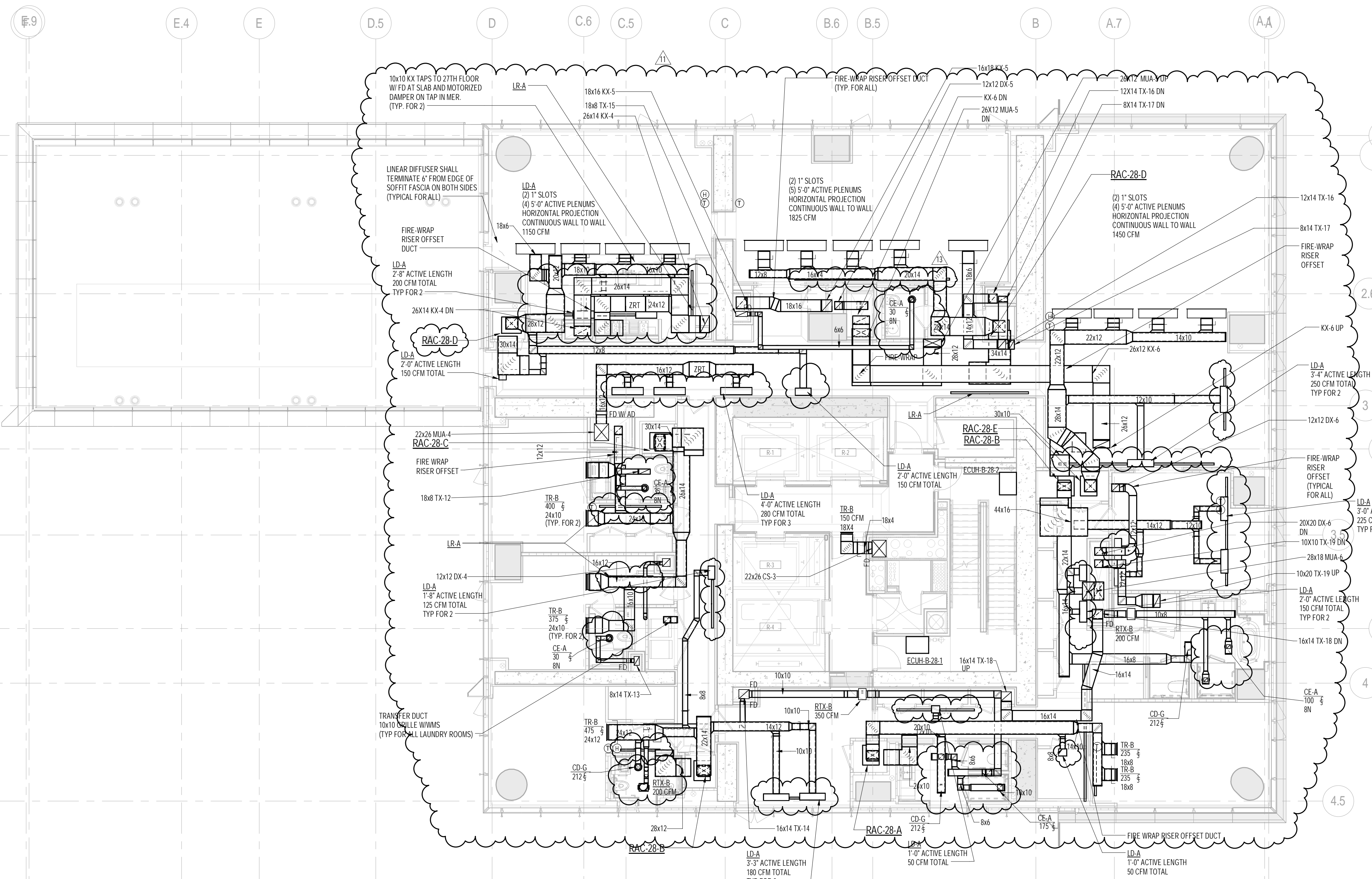
DOB PAGE No: 25 of 132

DOB EMPLOYEE STAMP: DOB B-SCAN:





29th FLOOR PLAN
SCALE: 1/8" = 1'-0"



28th FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTE:
1. ALL ARCHITECTURAL RETURN AIR OPENINGS IN MILLWORK ETC. SHALL BE BASED ON (21" SLOT LINEARS SIMILAR TO L.R.A.'S BASED ON RETURN FREE AREA. NOTED. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
2. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ALL DEVICES AND AIR OUTLETS.
3. REFER TO RISER DIAGRAMS AND DETAILS FOR ALL DEVICES AND TYPES SHOWN ON MECHANICAL DRAWINGS.

KEY PLAN

PROJECT 665

7TH AVE
WEST 58TH ST
WEST 57TH ST

PROJECT NORTH

TRUE NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AJA ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
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INTERIOR DESIGNER: Residential
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288 Fifth Ave, 7th Floor
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TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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GEOTECHNICAL ENGINEERS:
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CODE CONSULTANTS:
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LANDMARK/PRESERVATION CONSULTANT:
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TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
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5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	CD PROGRESS ISSUE 5	10 AUG 2015
10	DOB AMENDMENT 1	18 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE 8 - CAMP SET	18 MAR 2016
14	CD BULLETIN ISSUE 3	25 MAY 2016
15	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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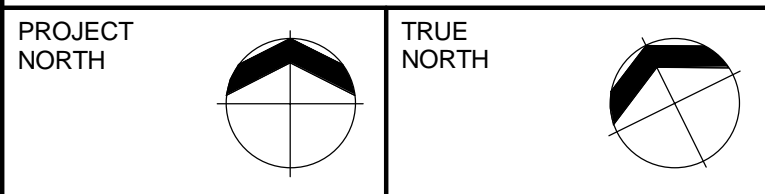
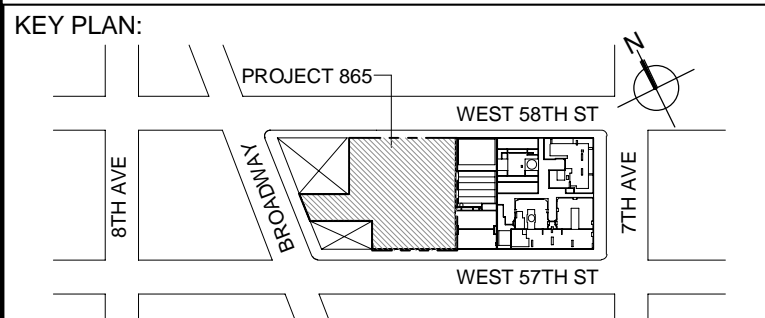
CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
WWW.AKF.COM

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**MECHANICAL
28th and 29th FLOOR PLANS -
DUCTWORK (MFD-53rd-54th FLOOR)**

SEAL & SIGNATURE:

DATE: 04/04/14
PROJECT No: Y130747-000
DRAWN: RCIAZ
CHK: PHS
SCALE: As indicated
DWG No:
M-134.02
DOB PAGE No: 27 of 132
DOB EMPLOYEE STAMP:
DOB B-SCAN:



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
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STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
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MEP ENGINEERS:
AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
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TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Lagan Engineering & Environmental Services
21 Penn Plaza - 360 Ninth St 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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CURTAINWALL CONSULTANT:
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40 Worth Street, Suite 626
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TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	CD PROGRESS ISSUE 5	10 AUG 2015
10	DOB AMENDMENT 1	18 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE 8 - CMP SET	18 MAR 2016
14	CD BULLETIN ISSUE 3	25 MAY 2016
15	DOB AMENDMENT 3	03 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

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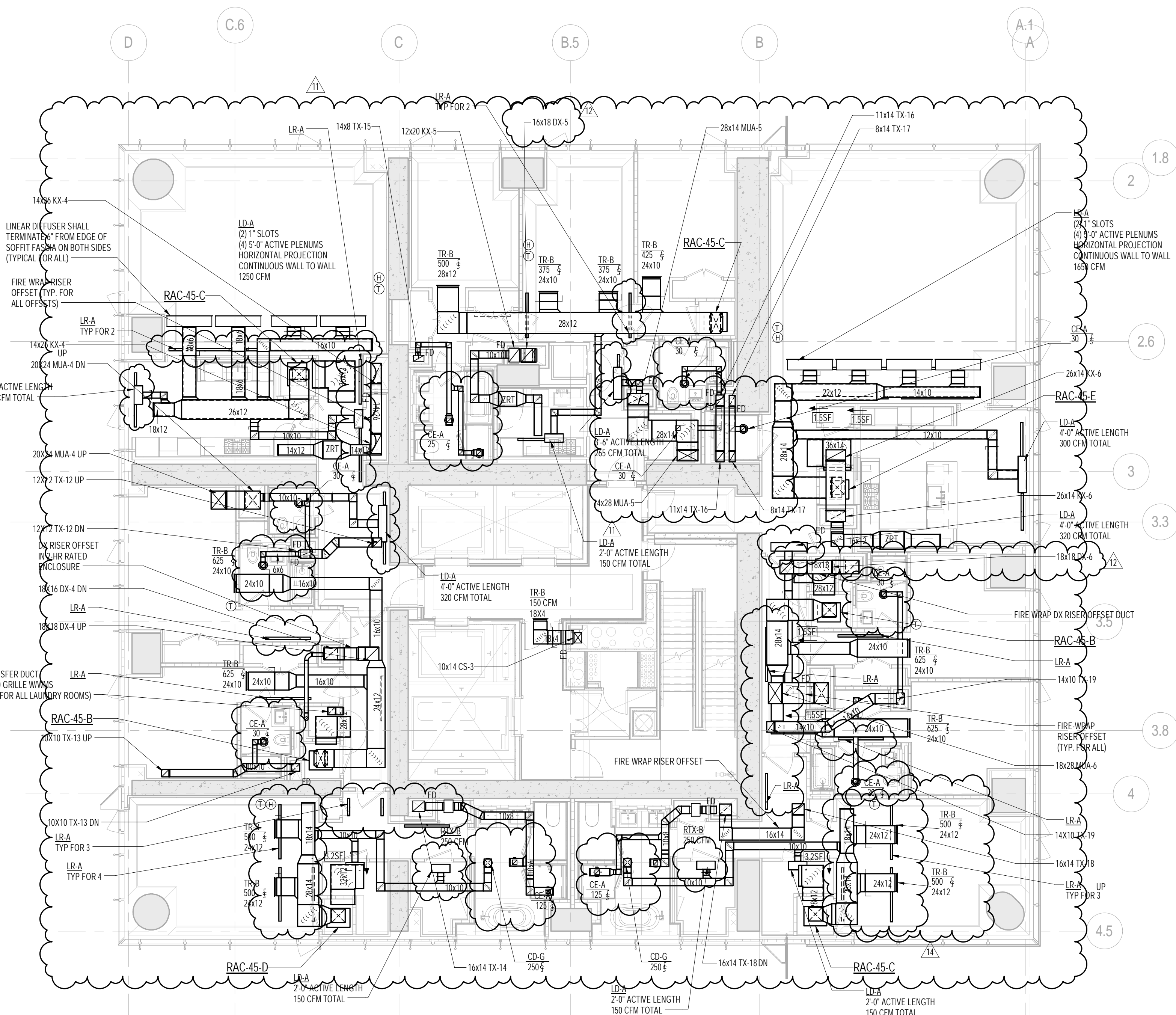
CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10005
T: 212 354 5656 F: 212 354 5668
WWW.AKF-ENGINEERS.COM

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
MECHANICAL
44th and 45th FLOOR PLANS -
DUCTWORK (TYPICAL 30th-44th
FLOORS) (MFD-55th-69th FLOOR and
MFD-70th FLOOR)

SEAL & SIGNATURE: DATE: 04/04/14
PROJECT No: Y130747-000
DRAWN: RCIAZ REV: 15
CHK: PHS
SCALE: As indicated
DWG No: **M-142.02**

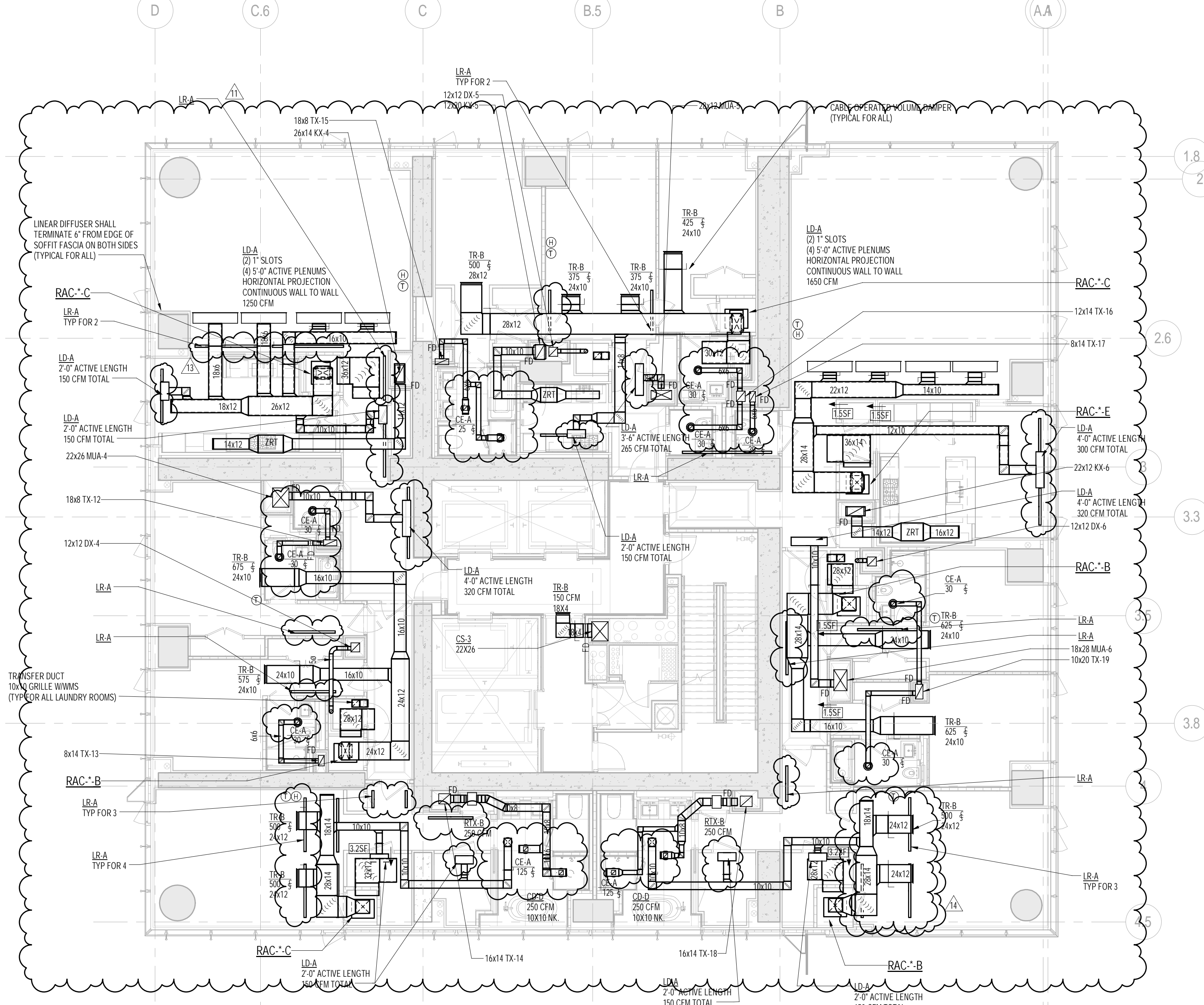
DOB EMPLOYEE STAMP: DOB PAGE No: 28 of 132 DOB B-SCAN:



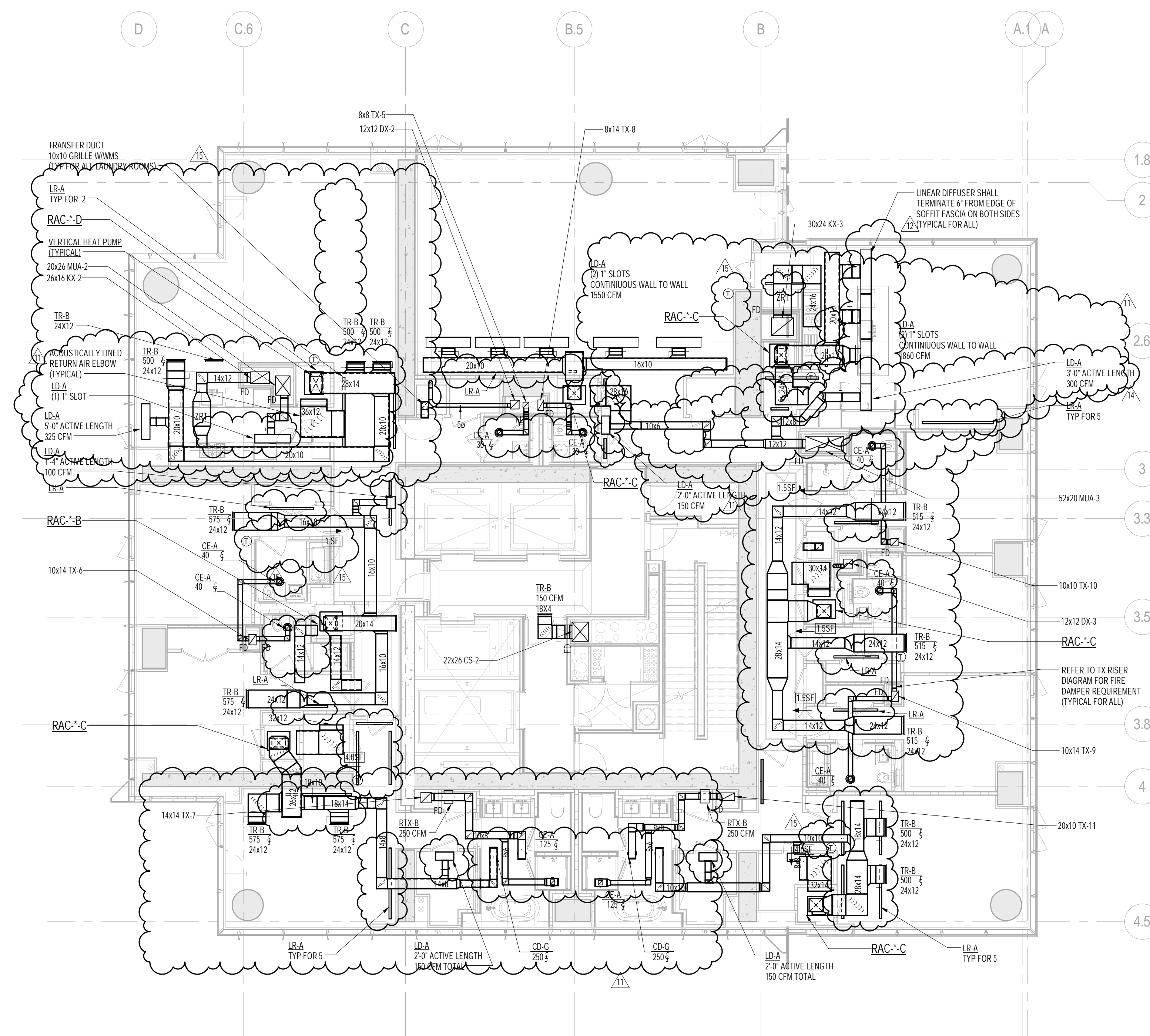
2 45th FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTE:

1. ALL ARCHITECTURAL RETURN AIR OPENINGS IN MILL WORK ETC. SHALL BE BASED ON (21" SLOTTED LINEARS SIMILAR TO L&AS BASED ON RETURN FREE AREA NOTED. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
2. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ALL DEVICES AND AIR OUTLETS.
3. REFER TO RISER DIAGRAMS AND DETAILS FOR ALL DEVICES AND TYPES SHOWN ON MECHANICAL DRAWINGS.



1 TYPICAL 30th-44th FLOOR PLANS
SCALE: 1/8" = 1'-0"



2 TYPICAL 48th-65th FLOOR PLANS
SCALE: 1/8" = 1'-0"

- | No. | DESCRIPTION | DATE |
|-----|-------------------------------|---------------|
| 1 | ISSUED FOR SCHEMATIC DESIGN | 04 APRIL 2014 |
| 2 | ISSUED FOR DESIGN DEVELOPMENT | 01 JULY 2014 |
| 3 | ISSUED FOR DESIGN DEVELOPMENT | 31 JULY 2014 |
| 4 | CD PROGRESS ISSUE 1 | 15 OCT 2014 |
| 5 | ISSUED FOR BID - MECHANICAL | 15 OCT 2014 |
| 6 | DOB SUBMISSION | 19 DEC 2014 |
| 7 | CD PROGRESS ISSUE 3 | 09 MAR 2015 |
| 8 | CD PROGRESS ISSUE 4 | 01 JUN 2015 |
| 9 | CD PROGRESS ISSUE 5 | 10 AUG 2015 |
| 10 | DOB AMENDMENT 2 | 18 SEP 2015 |
| 11 | CD PROGRESS ISSUE 6 | 02 NOV 2015 |
| 12 | CD PROGRESS ISSUE 7 | 29 JAN 2016 |
| 13 | CD PROGRESS ISSUE 8 - GMP SET | 18 MAR 2016 |
| 14 | CD BULLETIN ISSUE 2 | 06 MAY 2016 |
| 15 | CD BULLETIN ISSUE 3 | 14 SEPT 2016 |
| 16 | DOB AMENDMENT 3 | 03 OCT 2016 |

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T: 212.354.5656 F: 212.354.5668
Albany / Boston / Mexico City / Minneapolis / New York


DRAWING TITLE:

MECHANICAL

**47th and 48th FLOOR PLANS -
DUCTWORK (TYPICAL 48th-65th
FLOORS) (MFD-77th FLOOR and
MFD-78th-95th FLOOR)**

SEAL & SIGNATURE:	DATE:	04/04
-------------------	-------	-------

	PROJECT No:	Y130747-0
	PROJECT NAME: RECONSTRUCTION OF THE KARADAGH WASTEWATER TREATMENT PLANT	

	DRAWN: RC/AZ	REV:
	DATE: 11/11/11	

CHK: PHS 16

SCALE: As indicated

 DWG No:
M-144 02
MI-144.02

DOB PAGE No: 30 of 132

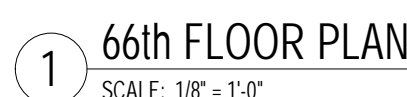
DOB EMPLOYEE STAMP:	DOB B-SCA
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[illegible][illegible][illegible][illegible][illegible][illegible][illegible]

<p> $\frac{1}{2} \times \frac{1}{2} = \frac{1}{4}$ $\frac{1}{4} \times \frac{1}{4} = \frac{1}{16}$ $\frac{1}{16} \times \frac{1}{16} = \frac{1}{256}$ $\frac{1}{256} \times \frac{1}{256} = \frac{1}{65,536}$ $\frac{1}{65,536} \times \frac{1}{65,536} = \frac{1}{4,294,967,296}$ </p>	<p> $\frac{1}{2} \times \frac{1}{2} = \frac{1}{4}$ $\frac{1}{4} \times \frac{1}{4} = \frac{1}{16}$ $\frac{1}{16} \times \frac{1}{16} = \frac{1}{256}$ $\frac{1}{256} \times \frac{1}{256} = \frac{1}{65,536}$ $\frac{1}{65,536} \times \frac{1}{65,536} = \frac{1}{4,294,967,296}$ </p>
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
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1. ALL ARCHITECTURAL RETURN AIR OPENINGS IN MILLWORK ETC. SHALL BE BASED ON (21)" SLOT LINEARS SIMILAR TO L.R.'S BASED ON RETURN FREE AREA. NOTED. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
2. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ALL DEVICES AND AIR OUTLETS.
3. REFER TO RISER DIAGRAMS AND DETAILS FOR ALL DEVICES AND TYPES SHOWN ON MECHANICAL DRAWINGS.

A map showing the location of Project 865. The map is bounded by 8th Ave on the left, Brooklyn Ave running diagonally from the top left to the bottom right, and 7th Ave on the right. West 58th St runs horizontally across the top, and West 57th St runs horizontally across the bottom. Project 865 is a shaded rectangular area located between Brooklyn Ave and 7th Ave, and between West 58th St and West 57th St. A north arrow is located in the top right corner of the map.

NORTH  NORTH 

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805 THIRD AVENUE, 7TH FLOOR
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 111 WEST MONROE STREET SUITE 2300
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Rottet Architecture and Design Studio, PLLC
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New York, NY 10017 USA
TEL: 212.693.8888 FAX: 212.403.5501

MEP ENGINEERS:

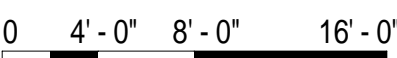
AKF GROUP
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GEOTECHNICAL ENGINEERS:
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[illegible]

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CONSULTANT

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Arlington / Boston / Mexico City / Minneapolis / New York

PROJECT:


217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

MECHANICAL
65th and 66th FLOOR PLANS -
DUCTWORK (MFD-95th-96th FLOOR)

SEAL & SIGNATURE:	DATE:	01/28/16
-------------------	-------	----------

PROJECT No: Y120747-000

	PROJECT NO. 1150147-000	
	TEMPLATE	TITLE

	DRAWN: AZ	REV:

CHK: PHS 4

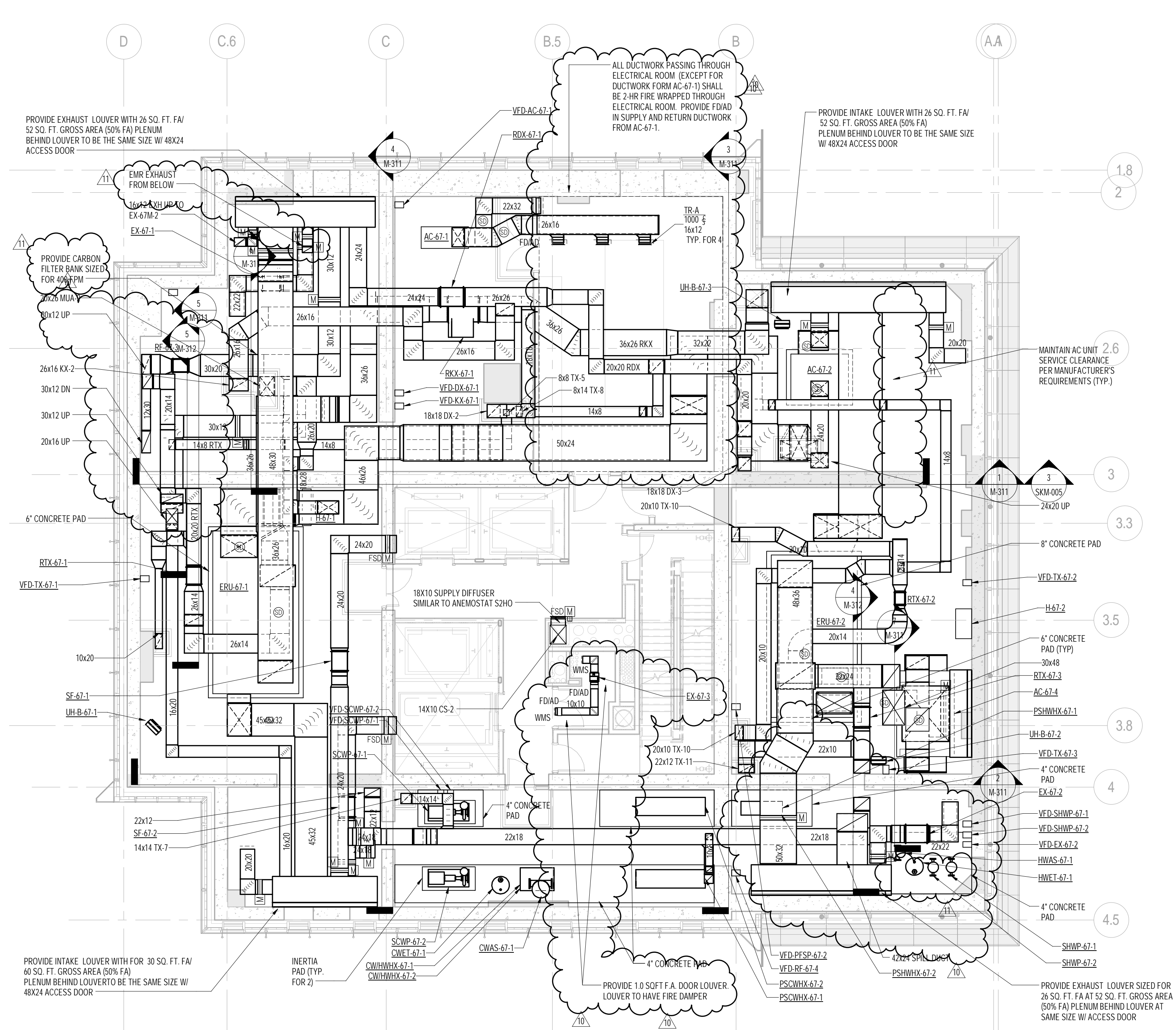
SCALE: As indicated

DWG No:

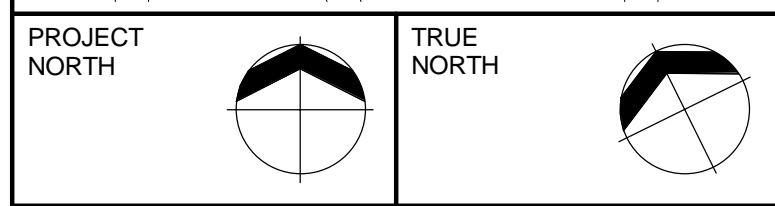
M 152.00

M-153.00

Page No. 31 of 132



1 67th FLOOR PLAN
SCALE: 1/8" = 1'-0"



DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

MEP ENGINEERS:

AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

TEL: 212 757 5659 FAX: 646 219 8508
LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 5	10 AUG 2015
9	DOB AMENDMENT 2	18 SEP 2015
10	CD PROGRESS ISSUE 6	02 NOV 2015
11	CD PROGRESS ISSUE 7	29 JAN 2016
12	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
13	DOB AMENDMENT 3	03 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT

A K F

ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
T: 212.354.5656 F: 212.354.5668

*Algeria / Berlin / Athens City / Minneapolis / New York
Philadelphia / Princeton / Portland / Rochester / Stamford*


PROJECT:


217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

MECHANICAL
67th and 67th FLOOR INTERMEDIATE
PLANS - DUCTWORK (MFD-97th-98th
FLOOR)

SEAL & SIGNATURE:	DATE:	04/04/14
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	PROJECT No: Y130747-000	
	DRAWN: RC/AZ	REV:



STATE OF NEW YORK


DEPARTMENT OF HEALTH

OFFICE OF THE STATE EPIDEMIOLOGIST

CHK:

PHS

13

	SCALE: 1/8" = 1'-0"	10
	DWG No:	



SWR No. **M-154.02**

M-154.02
SEE PAGE 14 OF 1455

DOB PAGE No: 32 of 132	
DOB EMPLOYEE STAMP:	DOB B-SCAN:

[illegible]

<p> $\frac{1}{2} \times \frac{1}{2} = \frac{1}{4}$ $\frac{1}{4} \times \frac{1}{4} = \frac{1}{16}$ $\frac{1}{16} \times \frac{1}{16} = \frac{1}{256}$ $\frac{1}{256} \times \frac{1}{256} = \frac{1}{65,536}$ $\frac{1}{65,536} \times \frac{1}{65,536} = \frac{1}{4,294,967,296}$ $\frac{1}{4,294,967,296} \times \frac{1}{4,294,967,296} = \frac{1}{18,446,744,073,709,551,616}$ </p>	<p> $\frac{1}{2} \times \frac{1}{2} = \frac{1}{4}$ $\frac{1}{4} \times \frac{1}{4} = \frac{1}{16}$ $\frac{1}{16} \times \frac{1}{16} = \frac{1}{256}$ $\frac{1}{256} \times \frac{1}{256} = \frac{1}{65,536}$ $\frac{1}{65,536} \times \frac{1}{65,536} = \frac{1}{4,294,967,296}$ $\frac{1}{4,294,967,296} \times \frac{1}{4,294,967,296} = \frac{1}{18,446,744,073,709,551,616}$ </p>
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\frac{1}{19535988753811968}$ $\frac{1}{6351997188452992} \times \frac{1}{6351997188452992} = \frac{1}{39071977507623936}$ $\frac{1}{6351997188452992} \times \frac{1}{12703995376905984} = \frac{1}{81431945015247872}$ $\frac{1}{12703995376905984} \times \frac{1}{12703995376905984} = \frac{1}{16087188753049574$</p>
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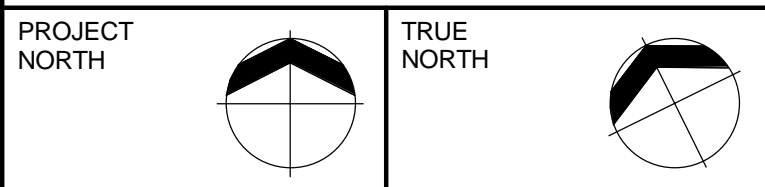
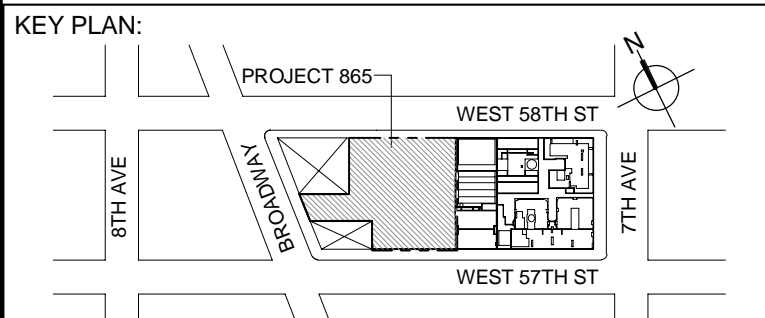
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SCALE: 1/8" = 1'-0"

NOT

- NOTE:
1. KITCHEN AREA ALONG WITH ALL MEPFP DESIGN ITEMS PENDING FINAL APPROVED DESIGN LAYOUT BY KITCHEN CONSULTANT.
 2. ARCHITECTURAL TURNOUTS, OPENING, MOUNTING, ETC. SHALL BE BASED ON "S" SHAPEDS SIMILAR TO U.R.S. BASED ON RETURN FREE AREA. NOTED: REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
 3. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ALL DEVICES AND AIR OUTLETS.
 4. REFER TO RISER DIAGRAMS AND DETAILS FOR ALL DEVICES AND TYPES SHOWN ON MECHANICAL DRAWINGS.



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
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TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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MEP ENGINEERS:

AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

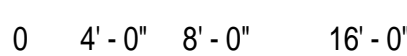
GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
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CURTAINWALL CONSULTANT:
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New York, NY 10013
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APRIL 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JULY 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JULY 2014
4	CD PROGRESS ISSUE 1	15 OCTOBER 2014
5	ISSUED FOR BID - MECHANICAL	15 OCTOBER 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 5	10 AUG 2015
9	DOB AMENDMENT 2	18 SEP 2015
10	CD PROGRESS ISSUE 6	02 NOV 2015
11	CD PROGRESS ISSUE 7	29 JAN 2016
12	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
13	CD BULLETIN ISSUE 4	15 JUL 2016
14	DOB AMENDMENT 3	03 OCT 2016



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CONSULTANT: AKF

ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
T: 212.354.5656 F: 212.354.5668
*Atlanta / Boston / Chicago / Dallas / Denver / Detroit / Houston / Los Angeles / Miami / Minneapolis / New York
Philadelphia / Phoenix / Portland / San Francisco / Seattle / Tampa / Washington, DC*

PROJECT:


217 WEST 57TH STREET
NEW YORK, NY


DRAWING TITLE:

MECHANICAL
68th FLOOR PLAN - DUCTWORK
(MFD-100th FLOOR)

SEAL & SIGNATURE:	DATE:	08/05/15
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	PROJECT No:	Y130747-000

	DRAWN: AZ	REV:
	DATE: 11/11/11	BY: 11/11/11

	CHS: FHS	14
	SCALE: As indicated	

DWG No:	
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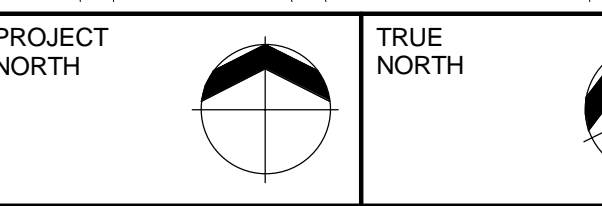
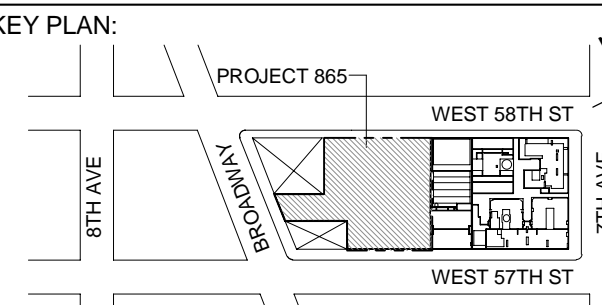

M-155.02

DOB PAGE No: 33 of 123

DOB EMPLOYEE STAMP:	DOB B-SCAN:
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DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 New York, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO, IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotter Architecture and Design Studio, PLLC
 288 Fifth Ave. 7th Floor
 New York, NY 10001
 TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
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STRUCTURAL ENGINEERS:
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 228 EAST 40th Street
 New York, NY 10017 USA
 TEL: 212 697 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
 One Liberty Plaza, 165 Broadway, 22nd Floor
 New York, NY 10006 USA
 TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
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 New York, NY 10018-2727
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
 100 Church Street
 New York, NY 10007
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CURTAINWALL CONSULTANT:
A.J.P. Consulting
 40 Worth Street, Suite 626
 New York, NY 10013
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
 39 West 37th Street, 12A
 New York, NY 10018
 TEL: 212 759 6482 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	CD PROGRESS ISSUE 5	10 AUG 2015
10	DOB AMENDMENT 1	18 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE 8 - CMP SET	18 MAR 2016
14	CD BULLETIN ISSUE 3	25 MAY 2016
15	CD BULLETIN ISSUE 4	15 JUL 2016
16	CD BULLETIN ISSUE 7	14 SEPT 2016
17	DOB AMENDMENT 3	03 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

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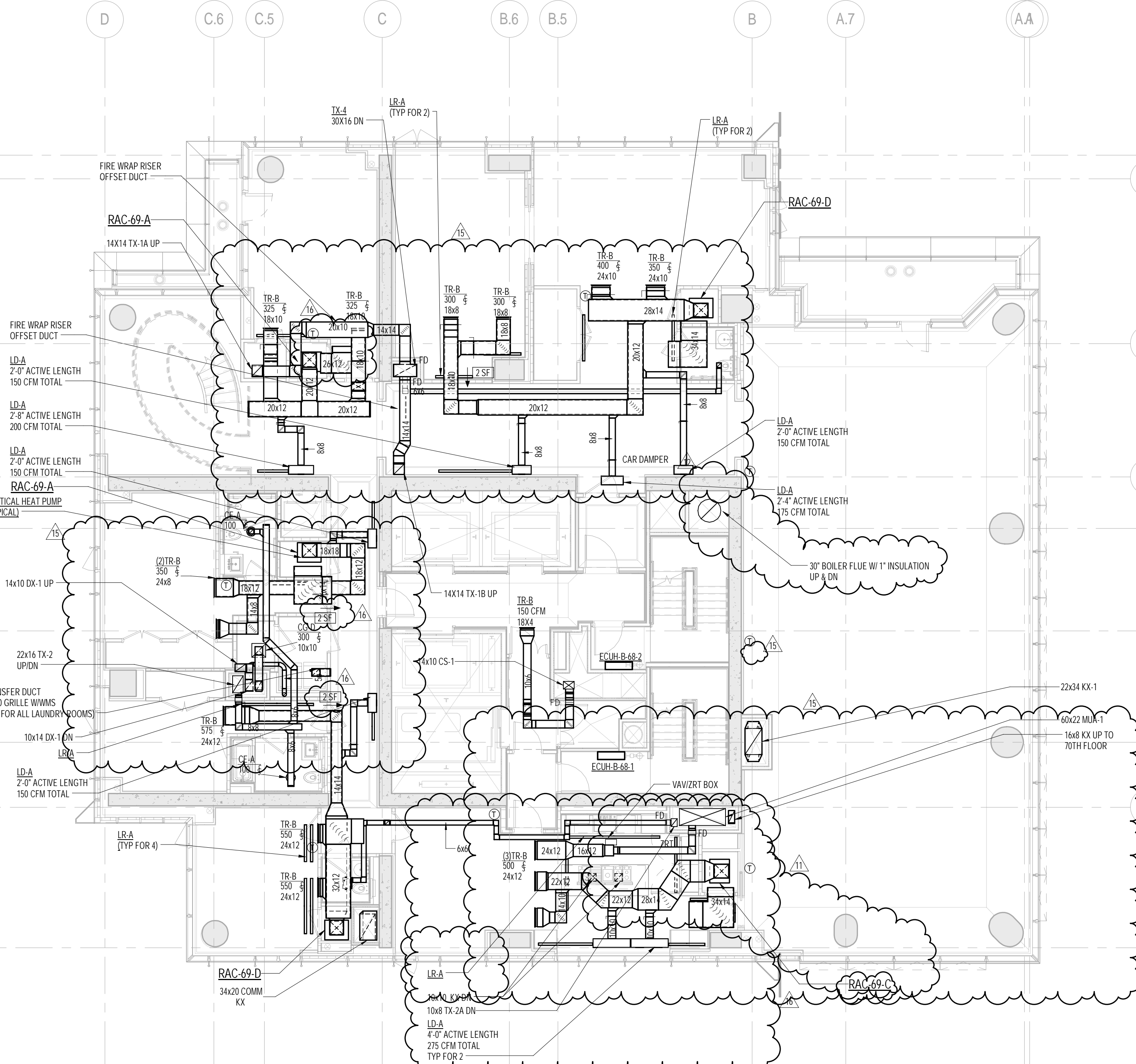
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AKF
 ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
 NEW YORK, NY 10006
 T: 212 354 5656 F: 212 354 5668
 WWW.AKF-ENGINEERS.COM

PROJECT:
217 WEST 57TH STREET
 NEW YORK, NY

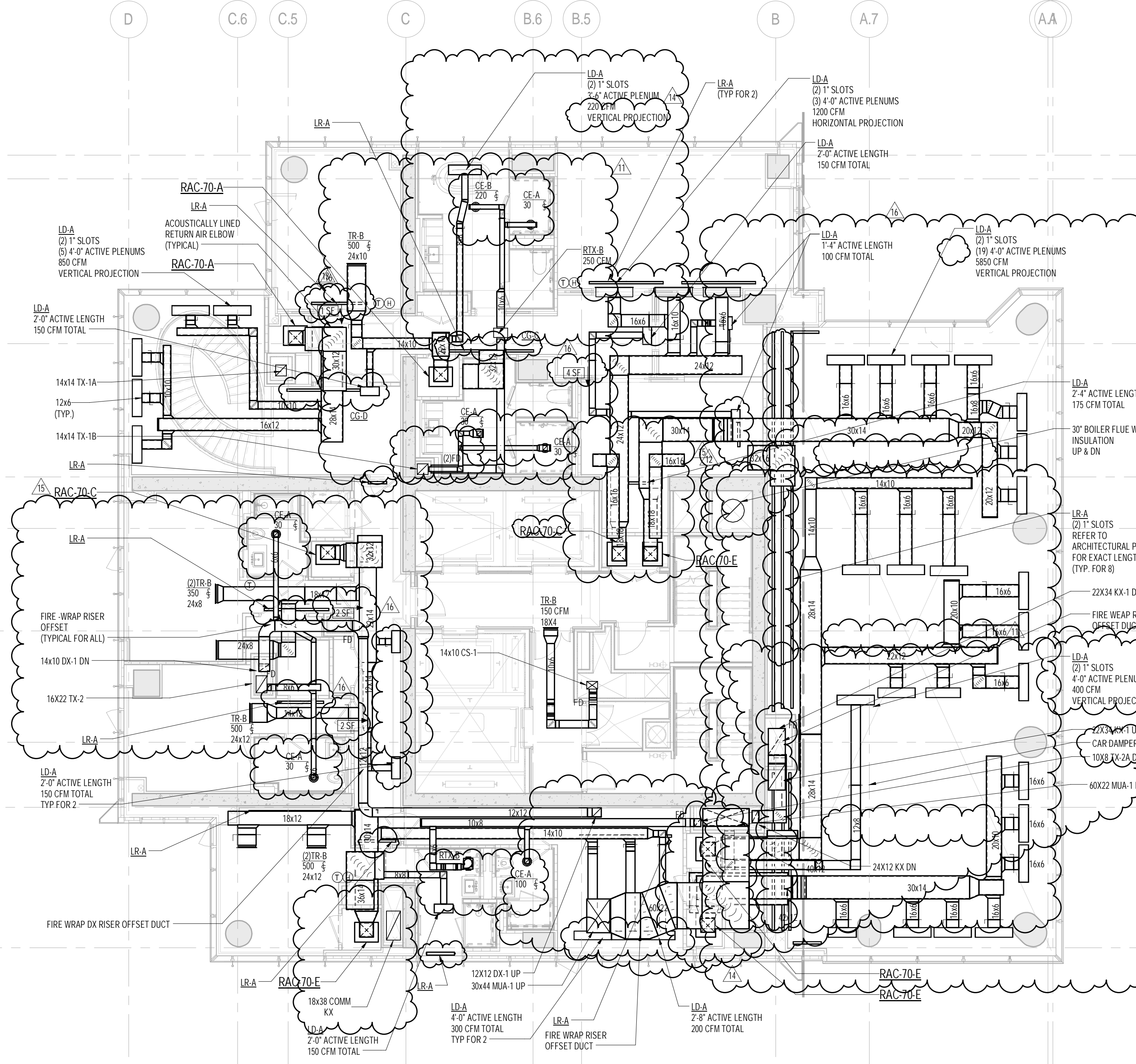
DRAWING TITLE:
MECHANICAL
 69th and 70th FLOOR PLANS -
 DUCTWORK (MFD-107th-108th
 FLOOR)

SEAL & SIGNATURE:	DATE:	04/04/14
	PROJECT No:	Y130747-000
	DRAWN: RCIAZ	REV:
	CHK: PHS	17
	SCALE: As indicated	
DWG No:	M-156.02	
DOB PAGE No:	34 of 132	
DOB EMPLOYEE STAMP:	DOB B-SCAN:	

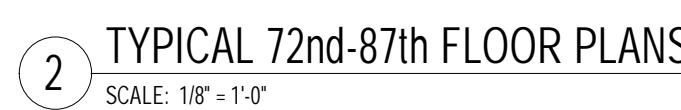


2 69th FLOOR PLAN
 SCALE: 1/8" = 1'-0"

- NOTE:
1. ALL ARCHITECTURAL RETURN AIR OPENINGS IN MILLWORK ETC. SHALL BE BASED ON 31" SLOT LINEARS SIMILAR TO L.B.A.'S BASED ON RETURN FREE AREA. NOTED. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
 2. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ALL DEVICES AND AIR OUTLETS.
 3. REFER TO RISER DIAGRAMS AND DETAILS FOR ALL DEVICES AND TYPES SHOWN ON MECHANICAL DRAWINGS.



1 70th FLOOR PLAN
 SCALE: 1/8" = 1'-0"



NOTE:

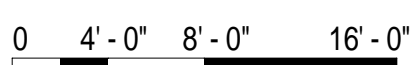
1. ALL ARCHITECTURAL RETURN AIR OPENINGS IN MILLWORK ETC. SHALL BE BASED ON (21" SLOT LINEARS SHALL BE TO L.R.'S BASED ON RETURN FREE AREA. NOTED. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
2. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ALL DEVICES AND AIR OUTLETS.
3. REFER TO RISER DIAGRAMS AND DETAILS FOR ALL DEVICES AND TYPES SHOWN ON MECHANICAL DRAWINGS.





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13	CD BULLETIN ISSUE 3	25 MAY 2016
14	CD BULLETIN ISSUE 7	14 SEPT 2016
15	DOB AMENDMENT 3	03 OCT 2016

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15	DOB AMENDMENT 3	03 OCT 2016



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CONSULTANT: AKF

CONSULTANT: **A K F**
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
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*Atletico / Boston / Atlanta City / Minneapolis / New York
Philadelphia / Princeton / Portland / Rochester / Stamford*

PROJECT:


217 WEST 57TH STREET
NEW YORK, NY


DRAWING TITLE:

MECHANICAL
89th and 90th FLOOR PLANS -
DUCTWORK (MFD-127th-128th
FLOOR)

SEAL & SIGNATURE:	DATE:	04/04/14
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	PROJECT No: Y130747-000

	DRAWN: AZ	REV:
	DATE: 11/11/11	BY: 11/11/11

	CHS: FHS	15
	SCALE: As indicated	

DWG No:	
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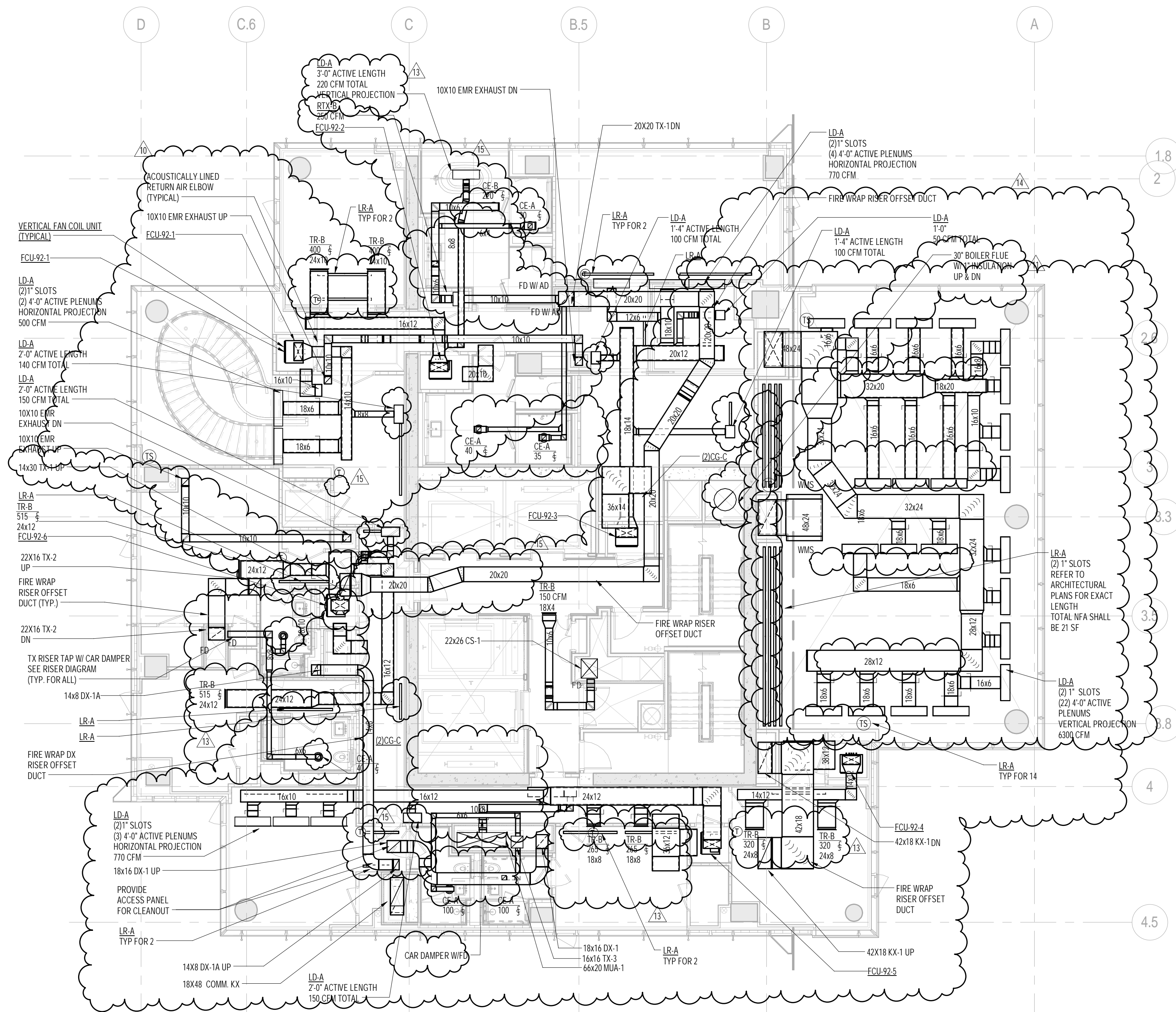

M-166.02

DOB PAGE No: 37 of 122

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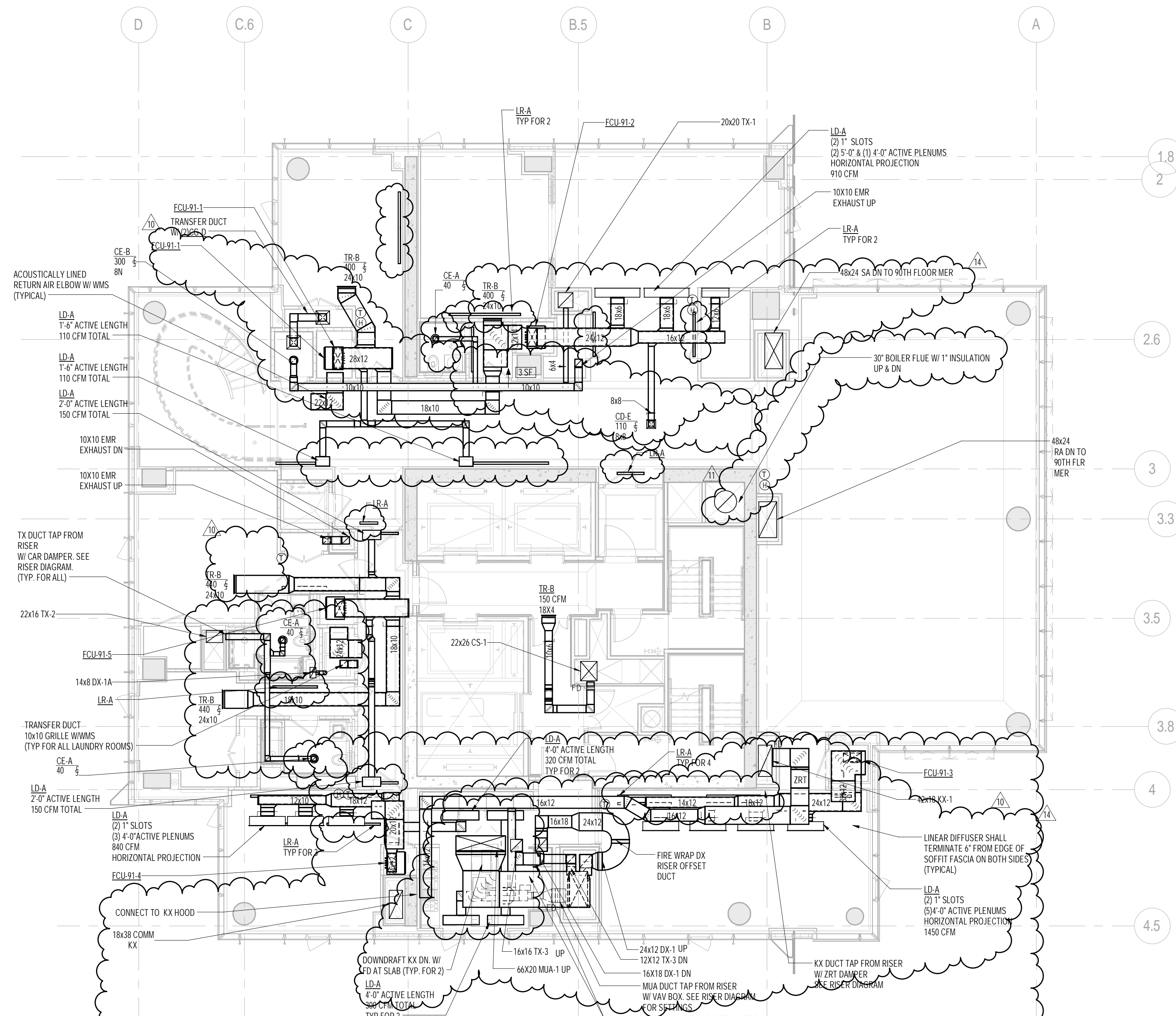
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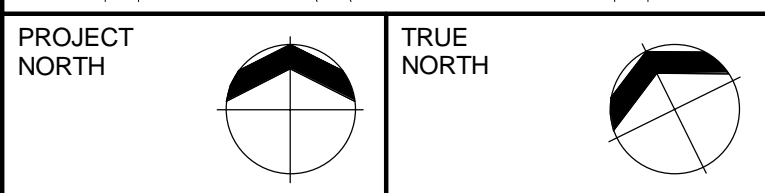
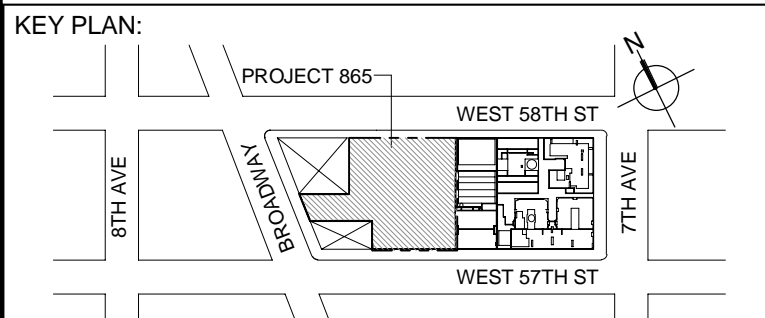
2 92nd FLOOR PLAN
SCALE: 1/8" = 1'-0"

NOTE:

1. ALL ARCHITECTURAL RETURN AIR OPENINGS IN MILLWORK ETC. SHALL BE BASED ON 20" T-SLOT LINEUPS SIMILAR TO LBA-45 BASED ON RETURN FIRE AREA. NOTED. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
2. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ALL DEVICES AND AIR OUTLETS.
3. REFER TO RISER DIAGRAMS AND DETAILS FOR ALL DEVICES AND TYPES SHOWN ON MECHANICAL DRAWINGS.



1 91st FLOOR PLAN
SCALE: 1/8" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
AJA ARCHITECTS, P.C.
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotet Architecture and Design Studio, PLLC
288 Fifth Ave. 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEWIK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 687 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Lagan Engineering & Environmental Services
21 Penn Plaza - 360 Ninth St 14th Floor
New York, NY 10011-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 626
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 5	10 AUG 2015
9	DOB AMENDMENT 2	18 SEP 2015
10	CD PROGRESS ISSUE 6	02 NOV 2015
11	CD PROGRESS ISSUE 7	29 JAN 2016
12	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
13	CD BULLETIN ISSUE 3	25 MAY 2016
14	CD BULLETIN ISSUE 7	14 SEP 2016
15	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
WWW.AKF-ENGINEERS.COM

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
MECHANICAL
91st and 92nd FLOOR PLANS -
DUCTWORK (MFD-129th-130th
FLOOR)

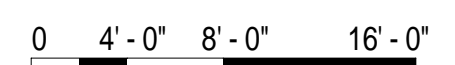
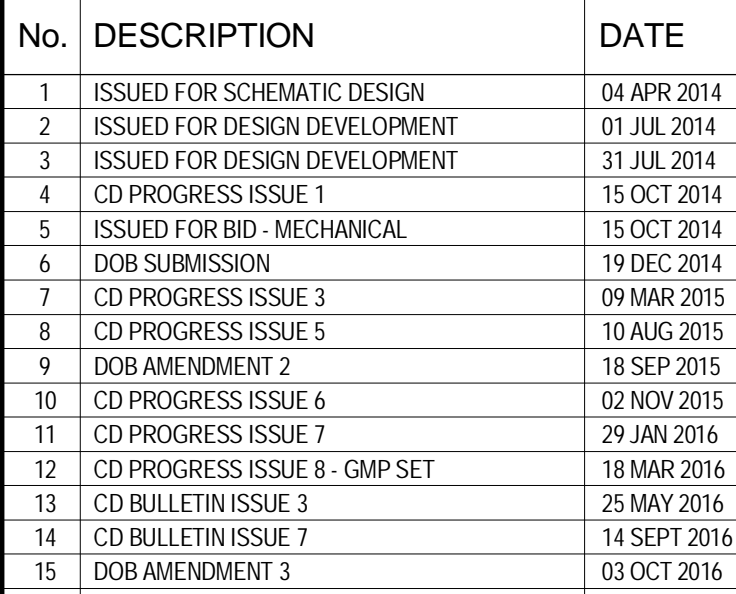
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	CHK: PHS	15
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DWG No:	M-167.02	

DOB PAGE No: 38 of 132

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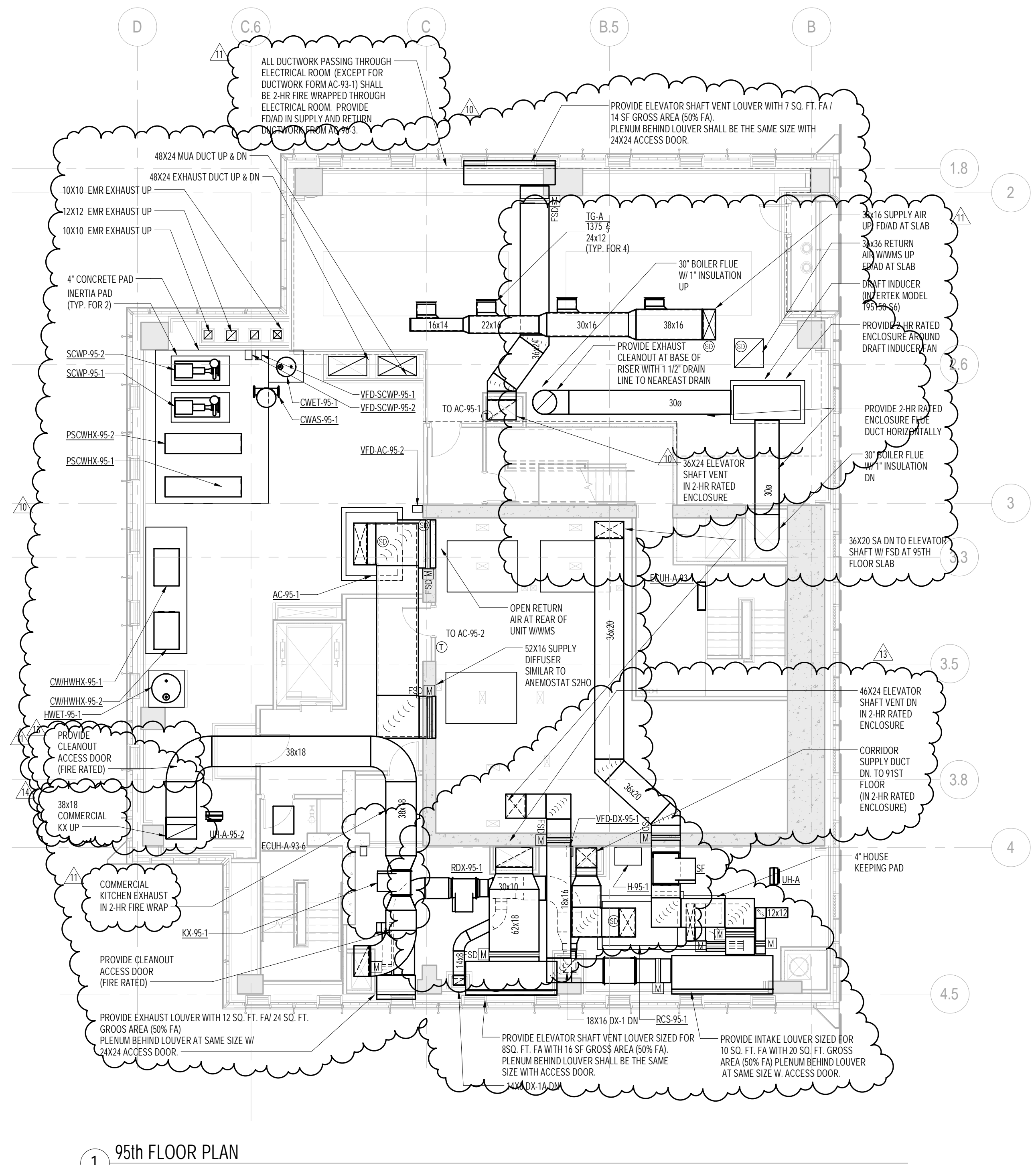
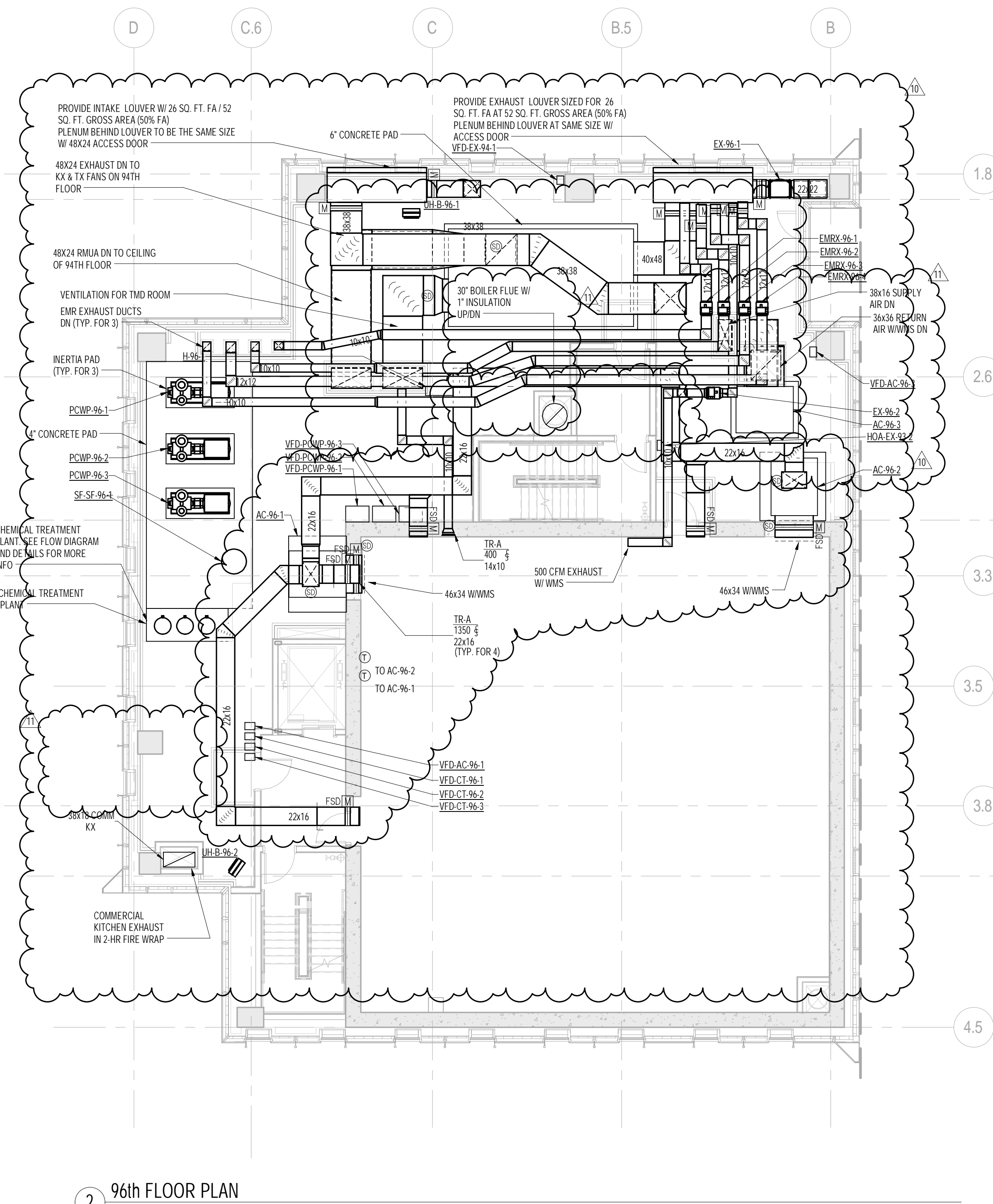


1. ALL ARCHITECTURAL RETURN AIR OPENINGS IN MILLWORK ETC. SHALL BE BASED ON (21") SLOT LINEARS SIMILAR TO LR-AS BASED ON RETURN FREE AREA. NOTED. REFER TO ARCHITECTURAL PLANS FOR LOCATIONS.
2. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ALL DEVICES AND AIR OUTLETS.
3. REFER TO RISER DIAGRAMS AND DETAILS FOR ALL DEVICES AND TYPES SHOWN ON MECHANICAL DRAWINGS.



DOB EMPLOYEE STAMP:	DOB B-SCAN
---------------------	------------





KEY PLAN:

PROJECT 665 -

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotet Architecture and Design Studio, PLLC
288 Fifth Ave. 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
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TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
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New York, NY 10017 USA
TEL: 212 687 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Lagan Engineering & Environmental Services
21 Penn Plaza - 360 Ninth St 9th Street, 9th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
J.L.P. Consulting
40 Worth Street, Suite 626
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
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5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
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12	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
13	CD BULLETIN ISSUE 3	25 MAY 2016
14	CD BULLETIN ISSUE 4	15 JUL 2016
15	CD BULLETIN ISSUE 7	14 SEPT 2016
16	DOB AMENDMENT 3	01 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

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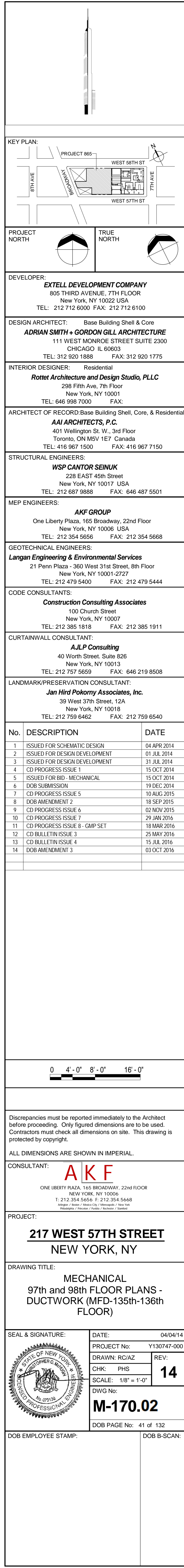
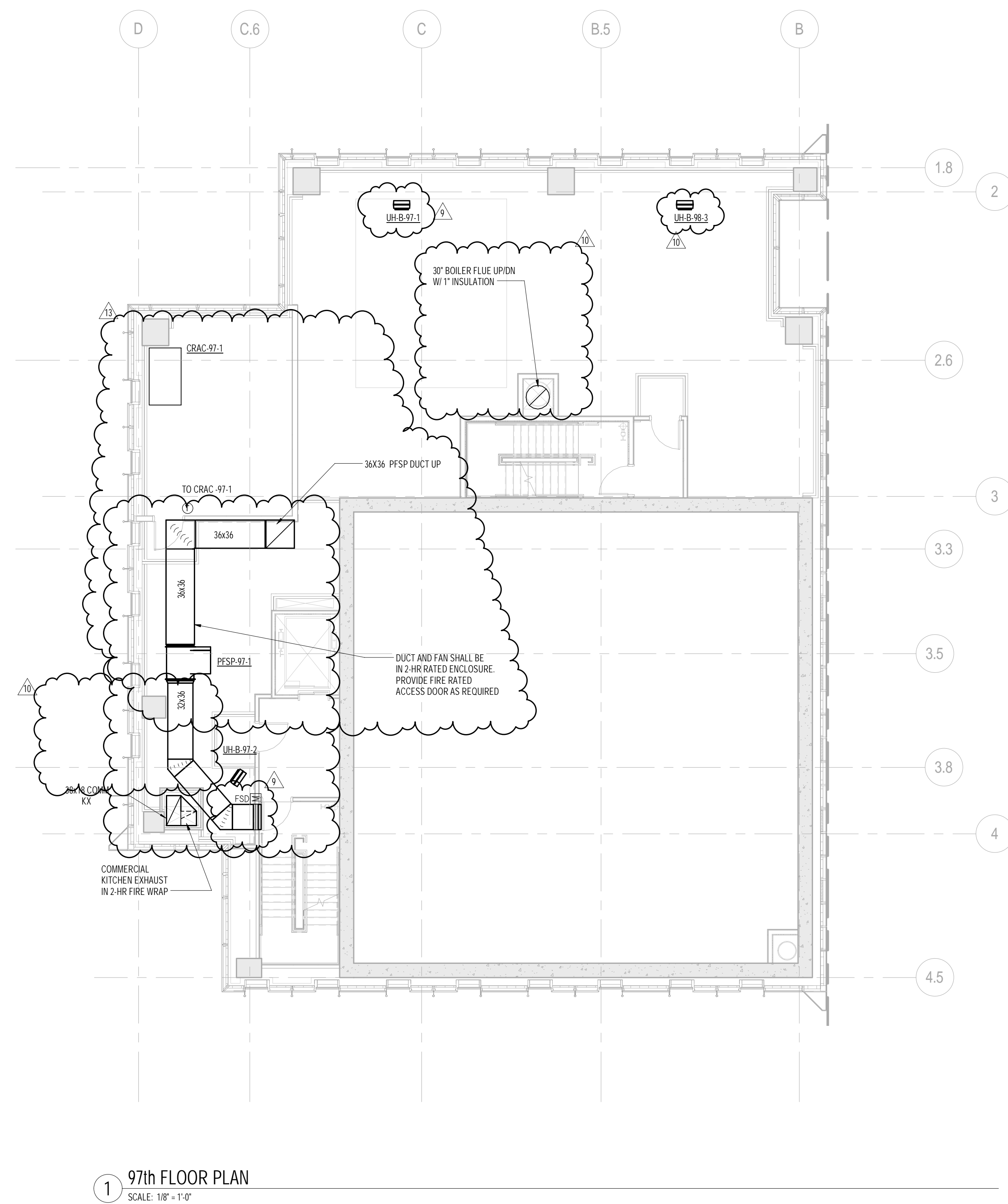
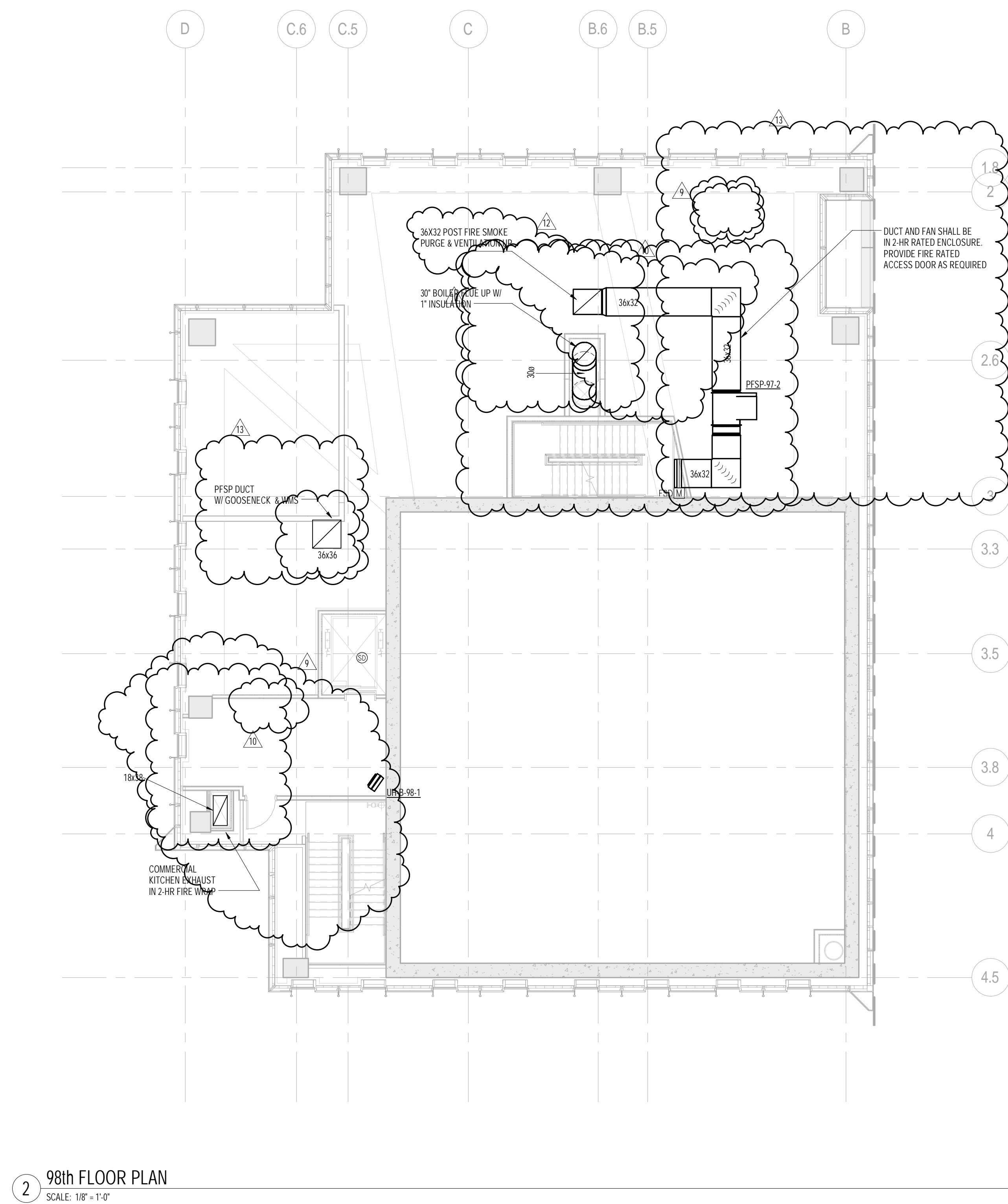
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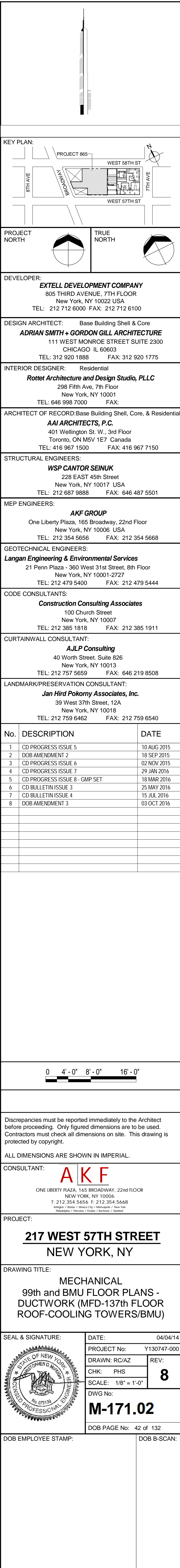
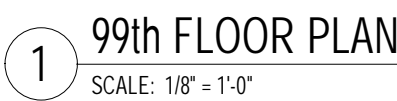
CONSULTANT: **AKF**
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
WWW.AKF-GRUP.COM

PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **MECHANICAL
95th and 96th FLOOR PLANS -
DUCTWORK (MFD-133rd-134th
FLOOR)**

SEAL & SIGNATURE:	DATE:	04/04/14
	PROJECT No:	Y130747-000
	DRAWN: RCIAZ	REV:
	CHK: PHS	16
	SCALE: 1/8" = 1'-0"	
DWG No:	M-169.02	
DOB PAGE No:	40 of 132	
DOB EMPLOYEE STAMP:	DOB B-SCAN:	

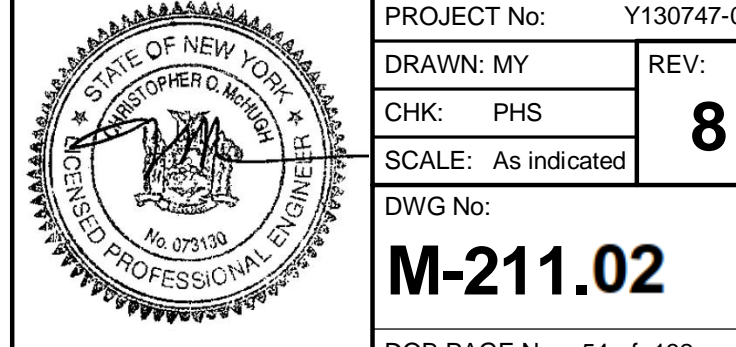
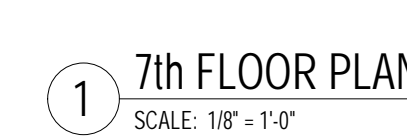


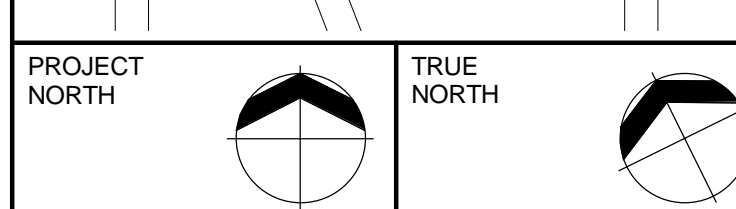




PIPING NOTES:

1. RUN CONDENSATE LINE FROM AC UNITS TO NEAREST FLOOR DRAIN. COORDINATE WITH PLUMBING PLAN.
2. ALL PIPING SHALL BE INSULATED PER MECHANICAL SPECIFICATIONS.





New York, NY 10018		
TEL: 212 759 6462		FAX: 212 759 6540
No.	DESCRIPTION	DATE

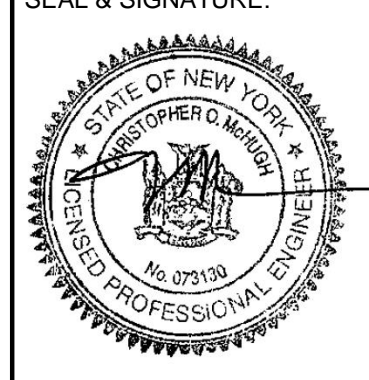
0 4'-0" 8'-0" 16'-0"

ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
T: 212.354.5656 F: 212.354.5668
Arlington / Boston / Mexico City / Minneapolis / New York
Philadelphia / Pittsburgh / Portland / Rochester / Stamford

DRAWING TITLE:

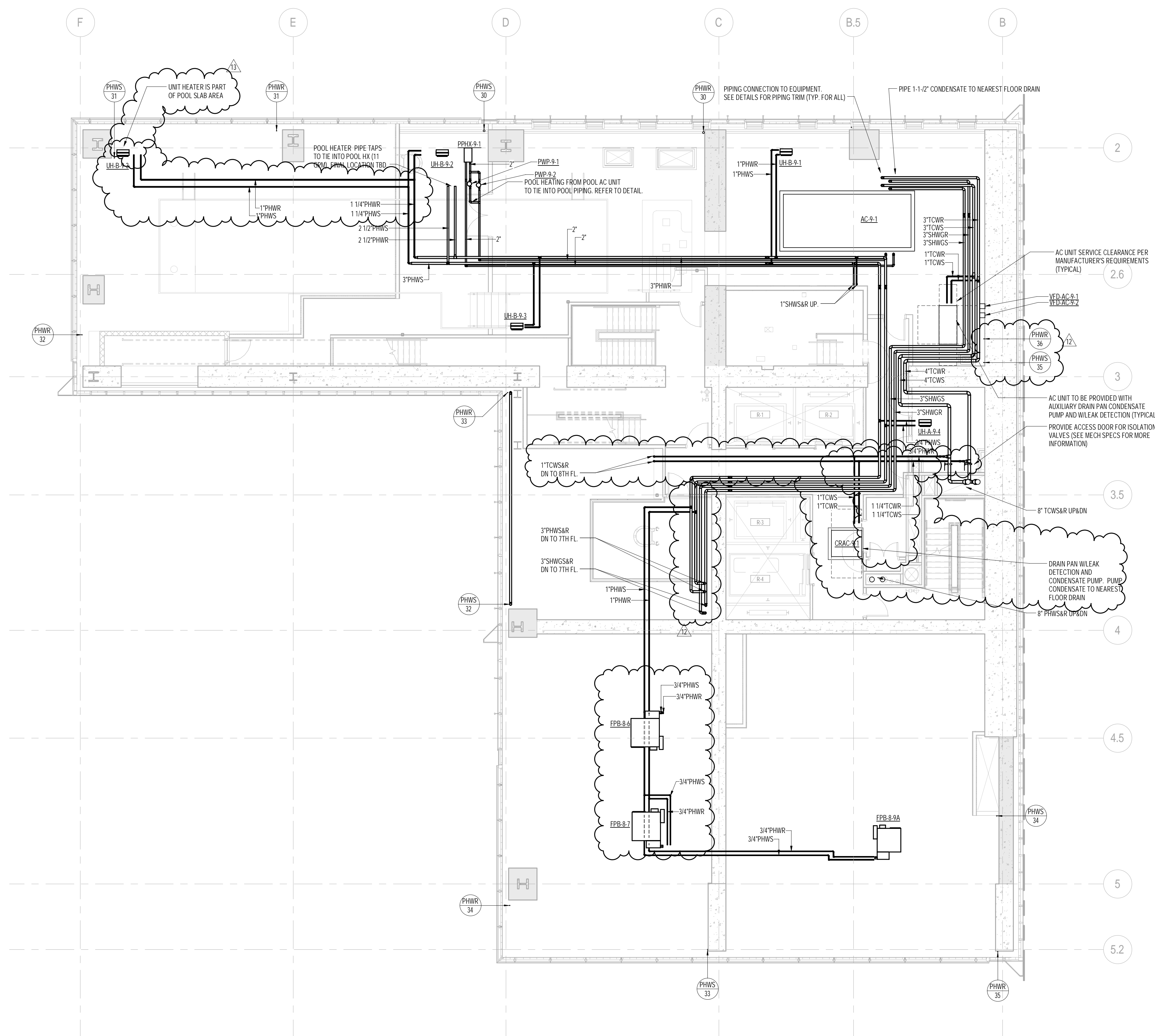
MECHANICAL
8th FLOOR PLAN - PIPING (MFD-14th
FLOOR)

DOB EMPLOYEE STAMP:		DOB B-SCA
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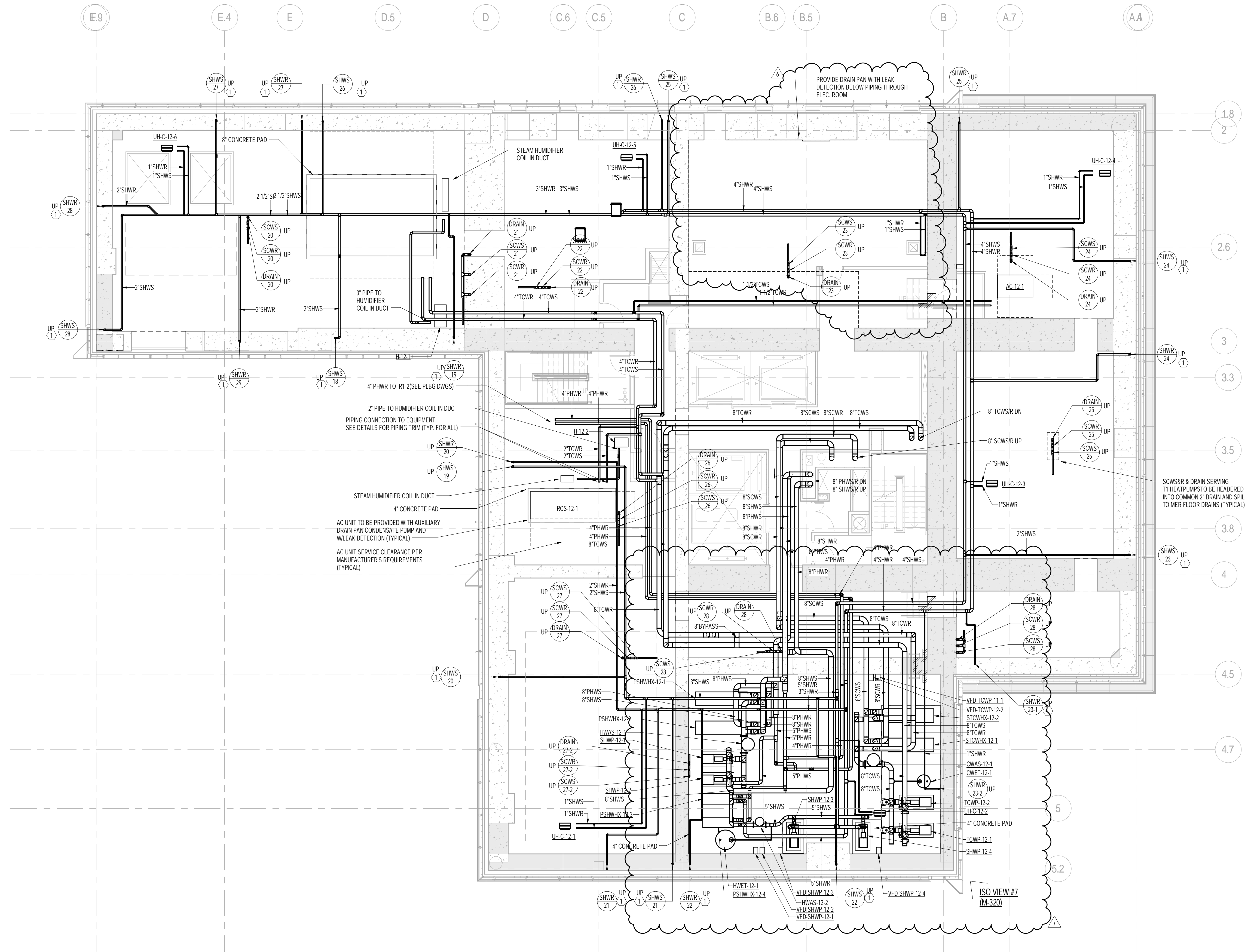
1. RUN CONDENSATE LINE FROM AC UNITS TO NEAREST FLOOR DRAIN. COORDINATE WITH PLUMBING PLANS.
2. ALL PIPING SHALL BE INSULATED PER MECHANICAL SPECIFICATIONS.



1 9th FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEY PLAN		
PROJECT 665 - WEST 68TH ST WEST 67TH ST WEST 66TH ST WEST 65TH ST WEST 64TH ST WEST 63TH ST WEST 62TH ST WEST 61TH ST WEST 60TH ST WEST 59TH ST WEST 58TH ST WEST 57TH ST WEST 56TH ST WEST 55TH ST WEST 54TH ST WEST 53TH ST WEST 52TH ST WEST 51TH ST WEST 50TH ST WEST 49TH ST WEST 48TH ST WEST 47TH ST WEST 46TH ST WEST 45TH ST WEST 44TH ST WEST 43TH ST WEST 42TH ST WEST 41TH ST WEST 40TH ST WEST 39TH ST WEST 38TH ST WEST 37TH ST WEST 36TH ST WEST 35TH ST WEST 34TH ST WEST 33TH ST WEST 32TH ST WEST 31TH ST WEST 30TH ST WEST 29TH ST WEST 28TH ST WEST 27TH ST WEST 26TH ST WEST 25TH ST WEST 24TH ST WEST 23TH ST WEST 22TH ST WEST 21TH ST WEST 20TH ST WEST 19TH ST WEST 18TH ST WEST 17TH ST WEST 16TH ST WEST 15TH ST WEST 14TH ST WEST 13TH ST WEST 12TH ST WEST 11TH ST WEST 10TH ST WEST 9TH ST WEST 8TH ST WEST 7TH ST WEST 6TH ST WEST 5TH ST WEST 4TH ST WEST 3TH ST WEST 2TH ST WEST 1TH ST WEST 0TH ST WEST -1TH ST WEST -2TH ST WEST -3TH ST WEST -4TH ST WEST -5TH ST WEST -6TH ST WEST -7TH ST WEST -8TH ST WEST -9TH ST WEST -10TH ST WEST -11TH ST WEST -12TH ST WEST -13TH ST WEST -14TH ST WEST -15TH ST WEST -16TH ST WEST -17TH ST WEST -18TH ST WEST -19TH ST WEST -20TH ST WEST -21TH ST WEST -22TH ST WEST -23TH ST WEST -24TH ST WEST -25TH ST WEST -26TH ST WEST -27TH ST WEST -28TH ST WEST -29TH ST WEST -30TH ST WEST -31TH ST WEST -32TH ST WEST -33TH ST WEST -34TH ST WEST -35TH ST WEST -36TH ST WEST -37TH ST WEST -38TH ST WEST -39TH ST WEST -40TH ST WEST -41TH ST WEST -42TH ST WEST -43TH ST WEST -44TH ST WEST -45TH ST WEST -46TH ST WEST -47TH ST WEST -48TH ST WEST -49TH ST WEST -50TH ST WEST -51TH ST WEST -52TH ST WEST -53TH ST WEST -54TH ST WEST -55TH ST WEST -56TH ST WEST -57TH ST WEST -58TH ST WEST -59TH ST WEST -60TH ST WEST -61TH ST WEST -62TH ST WEST -63TH ST WEST -64TH ST WEST -65TH ST WEST -66TH ST WEST -67TH ST WEST -68TH ST WEST -69TH ST WEST -70TH ST WEST -71TH ST WEST -72TH ST WEST -73TH ST WEST -74TH ST WEST -75TH ST WEST -76TH ST WEST -77TH ST WEST -78TH ST WEST -79TH ST WEST -80TH ST WEST -81TH ST WEST -82TH ST WEST -83TH ST WEST -84TH ST WEST -85TH ST WEST -86TH ST WEST -87TH ST WEST -88TH ST WEST -89TH ST WEST -90TH ST WEST -91TH ST WEST -92TH ST WEST -93TH ST WEST -94TH ST WEST -95TH ST WEST -96TH ST WEST -97TH ST WEST -98TH ST WEST -99TH ST WEST -100TH ST		
PROJECT NORTH TRUE NORTH		
DEVELOPER: EXTELL DEVELOPMENT COMPANY 805 THIRD AVENUE, 7TH FLOOR New York, NY 10022 USA TEL: 212 712 6000 FAX: 212 712 6100		
DESIGN ARCHITECT: Base Building Shell & Core ADRIAN SMITH + GORDON GILL ARCHITECTURE 111 WEST MONROE STREET SUITE 2300 CHICAGO, IL 60603 TEL: 312 920 1888 FAX: 312 920 1775		
INTERIOR DESIGNER: Residential Rotet Architecture and Design Studio, PLLC 288 Fifth Ave, 7th Floor New York, NY 10001 TEL: 646 998 7000 FAX:		
ARCHITECT OF RECORD: Base Building Shell, Core, & Residential AJA ARCHITECTS, P.C. 288 Fifth Ave, 7th Floor New York, NY 10001 TEL: 416 967 1500 FAX: 416 967 7150		
STRUCTURAL ENGINEERS: WSP CANTOR SEINUK 228 EAST 45th Street New York, NY 10017 USA TEL: 212 687 8888 FAX: 646 487 5501		
MEP ENGINEERS: AKF GROUP One Liberty Plaza, 165 Broadway, 22nd Floor New York, NY 10005 USA TEL: 212 354 5656 FAX: 212 354 5668		
GEOTECHNICAL ENGINEERS: Lagan Engineering & Environmental Services 21 Penn Plaza - 360 West 37th Street, 6th Floor New York, NY 10001-2727 TEL: 212 479 5400 FAX: 212 479 5444		
CODE CONSULTANTS: Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1818 FAX: 212 385 1911		
CURTAINWALL CONSULTANT: A.J.P. Consulting 40 Worth Street, Suite 626 New York, NY 10013 TEL: 212 757 5659 FAX: 646 219 8508		
LANDMARK/PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc. 39 West 37th Street, 12A New York, NY 10018 TEL: 212 759 6482 FAX: 212 759 6540		
No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
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11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE 8 - CWP SET	18 MAR 2016
14	CD BULLETIN ISSUE 4	15 JUL 2016
15	DOB AMENDMENT 3	03 OCT 2016
0 4' - 0" 8' - 0" 16' - 0"		
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CONSULTANT: AKF ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR NEW YORK, NY 10005 T: 212 354 5656 F: 212 354 5668 WWW.AKF.COM		
PROJECT: 217 WEST 57TH STREET NEW YORK, NY		
DRAWING TITLE: MECHANICAL 9th FLOOR PLAN - PIPING (MFD-15th FLOOR)		
SEAL & SIGNATURE:	DATE:	04/04/14
	PROJECT No:	Y130747-000
	DRAWN: MY	REV:
	CHK: PHS	15
	SCALE: As indicated	
DWG No:	M-214.02	
DOB PAGE No:	58 of 132	
DOB EMPLOYEE STAMP:	DOB B-SCAN:	





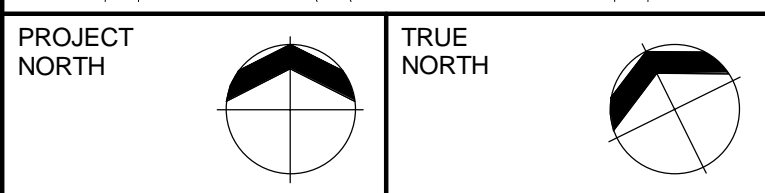
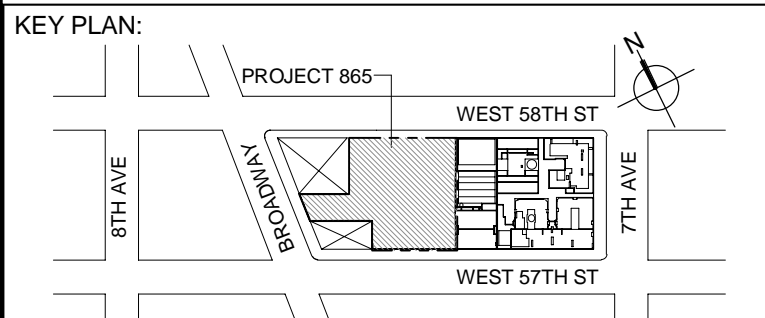
1 12th FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEY NOTES:

- (1) STRUCTURAL ENGINEER TO PROVIDE NOTCH AT TOP OF SHEAR WALL FOR PIPE RISER.

PIPING NOTES:

1. FTR CONTROL VALVES SHALL BE LOCATED AT RISER TAKE-OFFS. SERVICE ACCESS TO VALVES SHALL BE COORDINATED WITH ARCHITECT. REFER TO HOT WATER RISK DIAGRAM FOR ADDITIONAL INFORMATION.
2. ALL PIPING SHALL BE INSULATED PER MECHANICAL SPECIFICATIONS.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
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INTERIOR DESIGNER: Residential
Rotter Architecture and Design Studio, PLLC
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TEL: 646 998 7000 FAX: 312 920 1775

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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New York, NY 10018-2727
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0 4' - 0" 8' - 0" 16' - 0"

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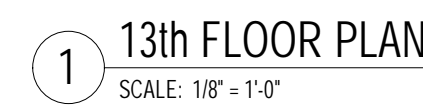
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd Floor
NEW YORK, NY 10005
T: 212 354 5656 F: 212 354 5668
www.akfgroup.com

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**MECHANICAL
12th FLOOR PLAN - PIPING (MFD-20th
FLOOR)**

SEAL & SIGNATURE: [Signature]
PROJECT No: Y130747-000
DRAWN: MY
CHK: PHS
SCALE: As indicated
DWG No:
M-219.02
DOB PAGE No: 89 of 132
DOB EMPLOYEE STAMP: [Stamp]
DOB B-SCAN: [Stamp]



PIPING NOTES:

1. FTR CONTROL VALVES SHALL BE LOCATED AT RISER TAKE-OFFS. SERVICE ACCESS TO VALVES SHALL BE COORDINATED WITH ARCHITECT. REFER TO HOT WATER RISER DIAGRAM FOR ADDITIONAL INFORMATION.
2. ALL PIPING SHALL BE INSULATED PER MECHANICAL SPECIFICATIONS.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT

AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
T: 212.354.5656 F: 212.354.5668
*Arlington / Boston / Chicago City / Minneapolis / New York
Philadelphia / Princeton / Portland / Rochester / Stamford*

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE

MECHANICAL
13th FLOOR PLAN - PIPING
(MFD-32nd FLOOR)

SEAL & SIGNATURE

DATE: 04/04/14

PROJECT No: Y130747-000

DRAWN: MY	REV:
-----------	------

CHK: PHS	6
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SCALE: As indicated

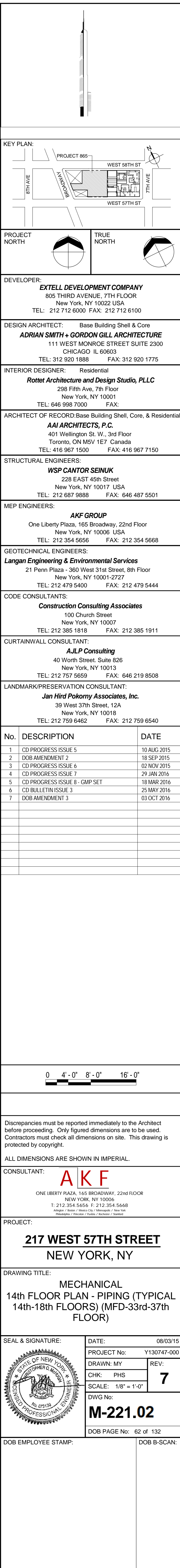
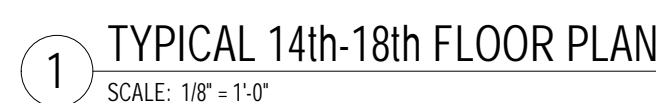
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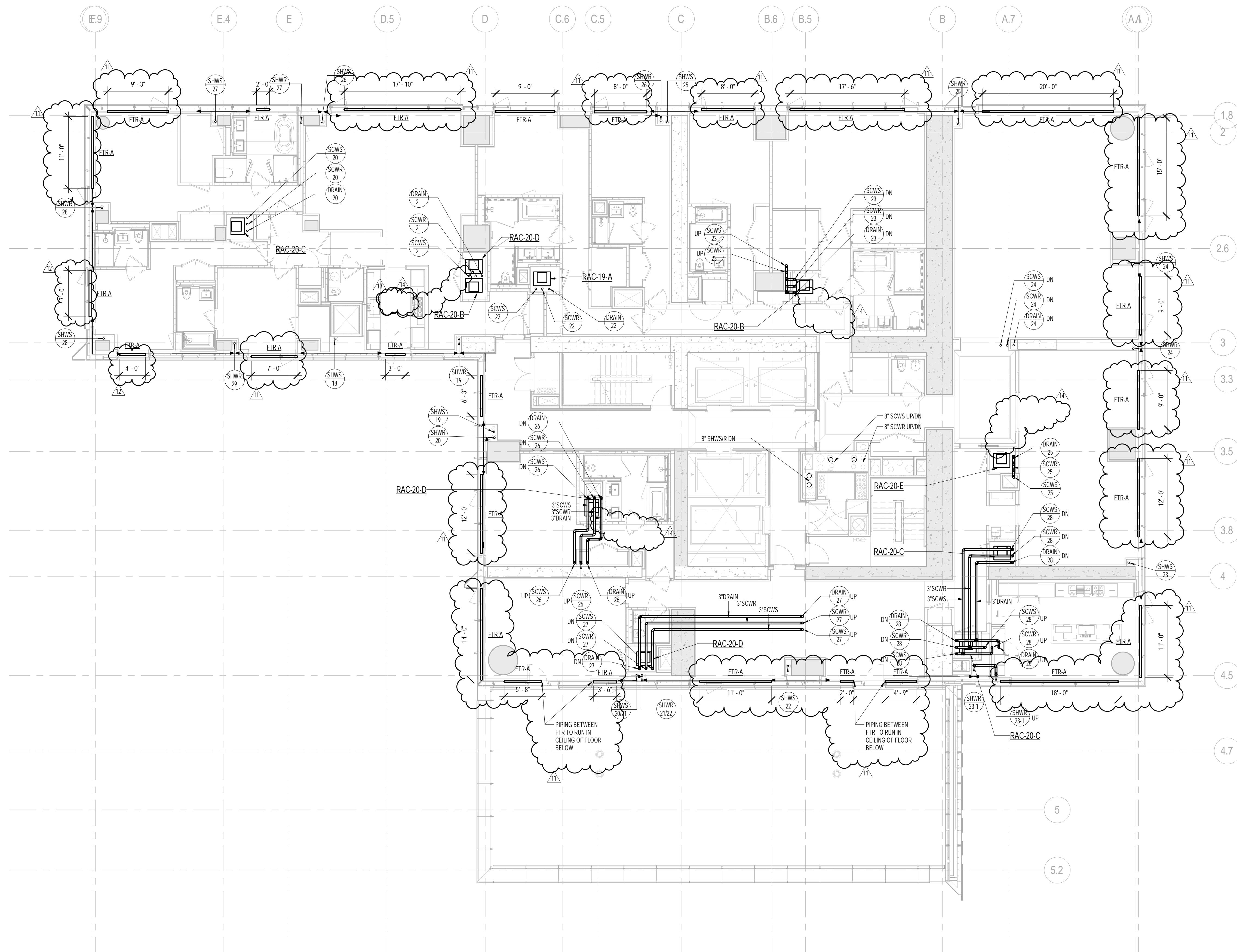
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MI-220.02

DOB PAGE No: 61 of 132

DOB B-SCAN:

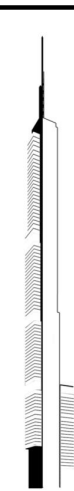




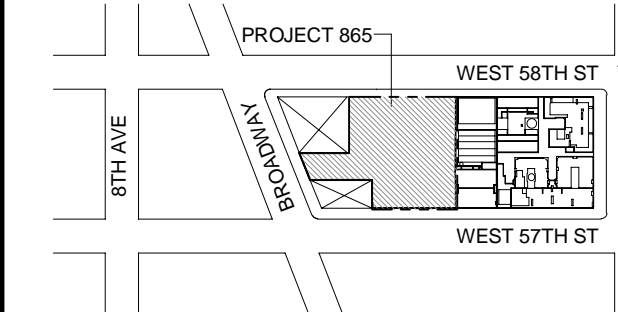
1 20th FLOOR PLAN
SCALE: 1/8" = 1'-0"

PIPING NOTES:

1. FTR CONTROL VALVES SHALL BE LOCATED AT RISER TAKE-OFFS. SERVICE ACCESS TO VALVES SHALL BE COORDINATED WITH ARCHITECT. REFER TO HOT WATER RISER DIAGRAM FOR ADDITIONAL INFORMATION.
2. ALL PIPING SHALL BE INSULATED PER MECHANICAL SPECIFICATIONS.



KEY PLAN:



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rotter Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD:

Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:

WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 687 8888 FAX: 646 487 5501

MEP ENGINEERS:

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One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10005 USA
TEL: 212 354 5656 FAX: 212 354 5668

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Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 37th Street, 6th Floor
New York, NY 10018-2727
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CODE CONSULTANTS:

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CURTAINWALL CONSULTANT:

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40 Worth Street, Suite 626
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TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6482 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	11 OCT 2014
5	ISSUED FOR BID - RESIDENTIAL FIT OUT PIPING	17 NOV 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	CD PROGRESS ISSUE 5	10 AUG 2015
10	DOB AMENDMENT 1	18 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE 8 - CMP SET	18 MAR 2016
14	CD BULLETIN ISSUE 3	25 MAY 2016
15	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

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T: 212 354 5656 F: 212 354 5668
WWW.AKF.COM

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

MECHANICAL
20th FLOOR PLAN - PIPING (MFD-39th FLOOR)

SEAL & SIGNATURE:



DATE:

04/04/14

PROJECT No:

Y130747-000

DRAWN: MY

REV:

CHK: PHS

15

SCALE:

As indicated

DWG No:

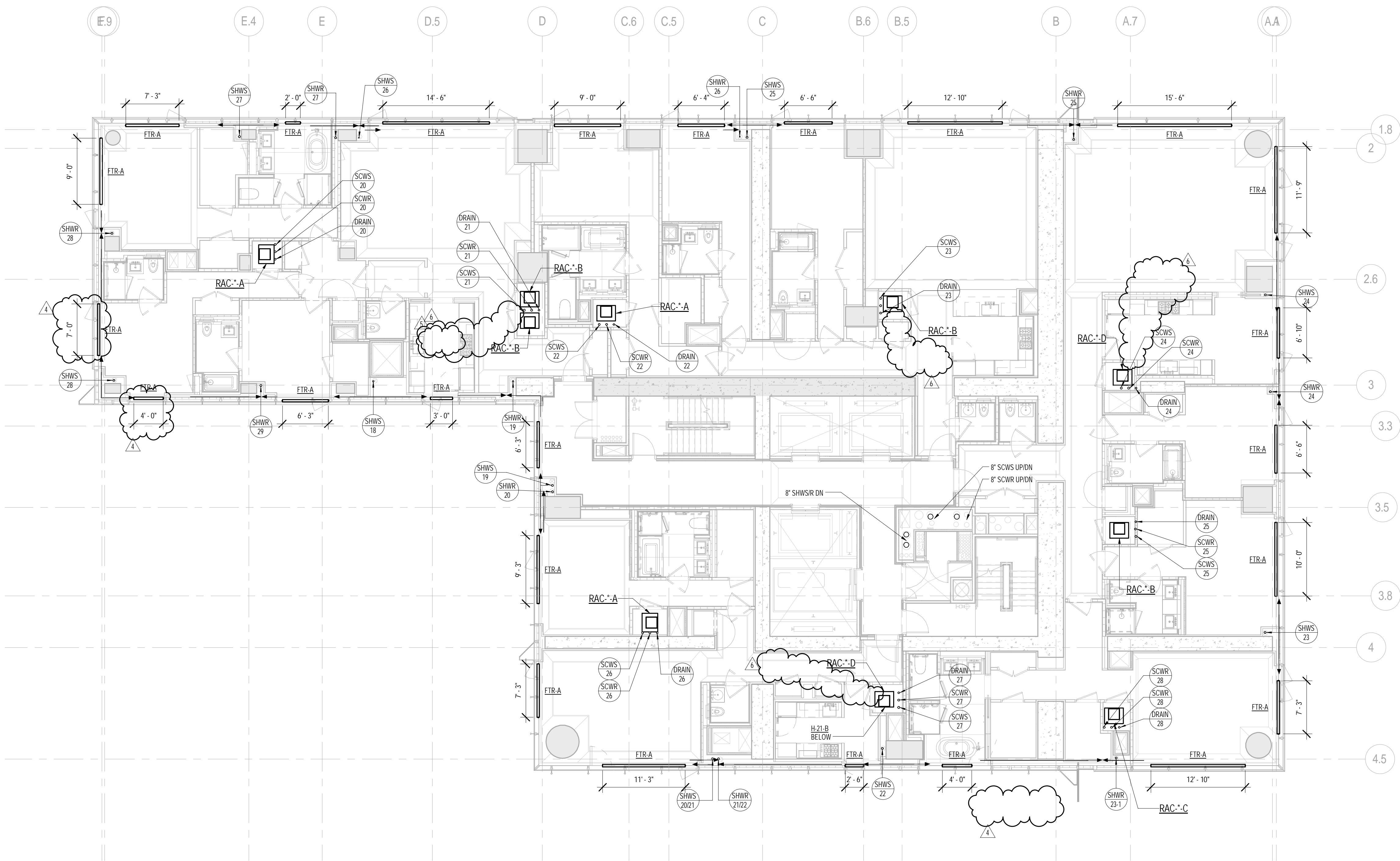
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DOB PAGE No:

64 of 132

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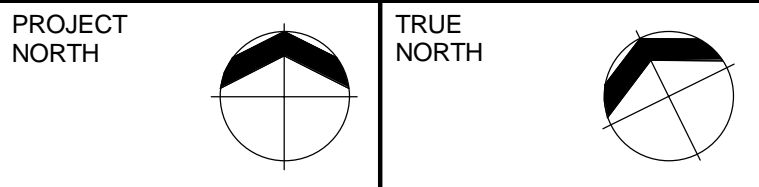
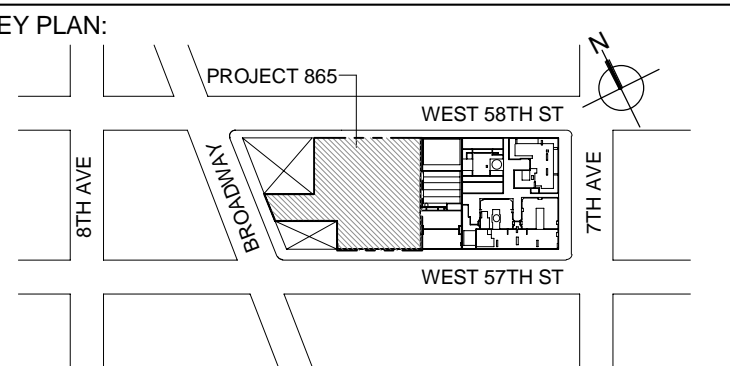
DOB B-SCAN:



1 TYPICAL 21st-25th FLOOR PLANS
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

1. FTR CONTROL VALVES SHALL BE LOCATED AT RISER TAKE-OFFS. SERVICE ACCESS TO VALVES SHALL BE COORDINATED WITH ARCHITECT. REFER TO HOT WATER RISER DIAGRAM FOR ADDITIONAL INFORMATION.
2. ALL PIPING SHALL BE INSULATED PER MECHANICAL SPECIFICATIONS.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
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INTERIOR DESIGNER: Residential
Rotet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
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TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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GEOTECHNICAL ENGINEERS:
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21 Penn Plaza - 360 West 37th Street, 6th Floor
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
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No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 3	09 MAR 2015
2	CD PROGRESS ISSUE 4	01 JUN 2015
3	CD PROGRESS ISSUE 5	10 AUG 2015
4	CD PROGRESS ISSUE 7	29 JAN 2016
5	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
6	CD BULLETIN ISSUE 3	25 MAY 2016
7	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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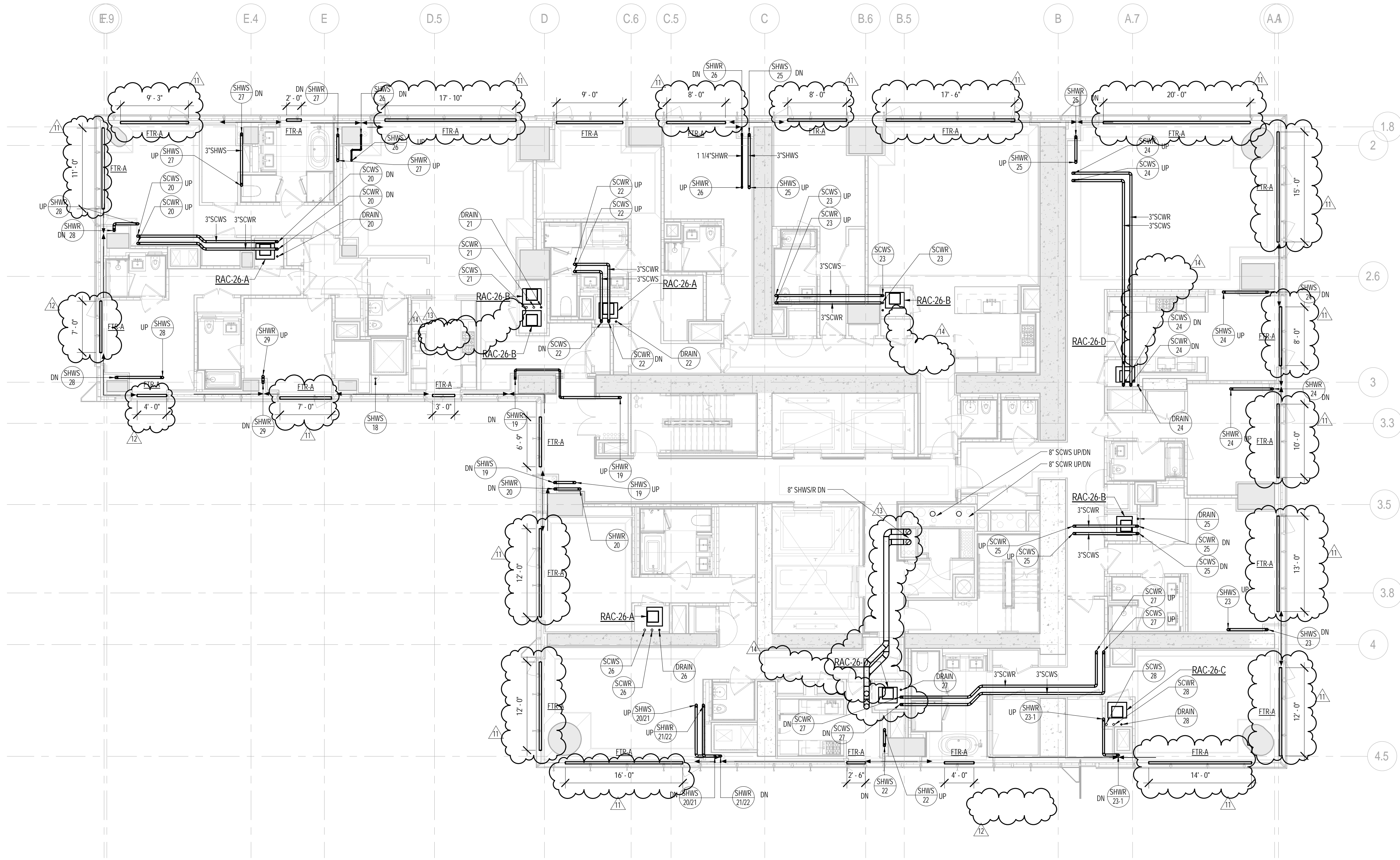
CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
PROJECT NUMBER: 10309204.427.dwg

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
MECHANICAL
21st FLOOR PLAN - PIPING (TYPICAL
21st-25th FLOORS) (MFD-43rd-48th
FLOOR)

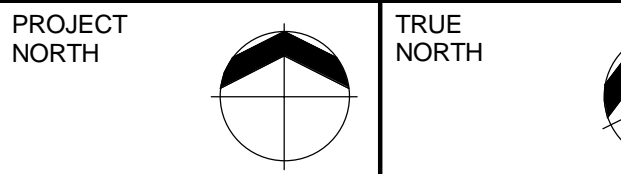
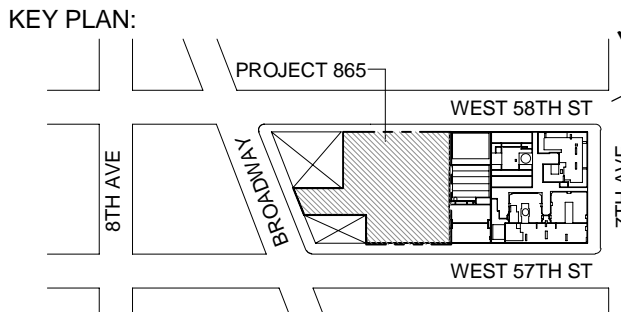
SEAL & SIGNATURE: PROJECT No: Y130747-000 DATE: 04/04/14
DRAWN: MY REV: 7
CHK: PHS
SCALE: As indicated
DWG No: **M-228.02**

DOB PAGE No: 65 of 132
DOB EMPLOYEE STAMP: DOB B-SCAN:



1 26th FLOOR PLAN
SCALE: 1/8" = 1'-0"

- PIPING NOTES:
1. FTR CONTROL VALVES SHALL BE LOCATED AT RISER TAKE-OFFS. SERVICE ACCESS TO VALVES SHALL BE COORDINATED WITH ARCHITECT. REFER TO HOT WATER RISER DIAGRAM FOR ADDITIONAL INFORMATION.
 2. ALL PIPING SHALL BE INSULATED PER MECHANICAL SPECIFICATIONS.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotet Architecture and Design Studio, PLLC
288 Fifth Ave. 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
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MEP ENGINEERS:
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One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10005 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 37th Street, 6th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
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TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
A.J.P. Consulting
40 Worth Street, Suite 626
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6482 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - RESIDENTIAL FIT-OUT PIPING	17 NOV 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	CD PROGRESS ISSUE 5	10 AUG 2015
10	DOB AMENDMENT 1	18 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE 8 - CMP SET	18 MAR 2016
14	CD BULLETIN ISSUE 3	25 MAY 2016
15	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

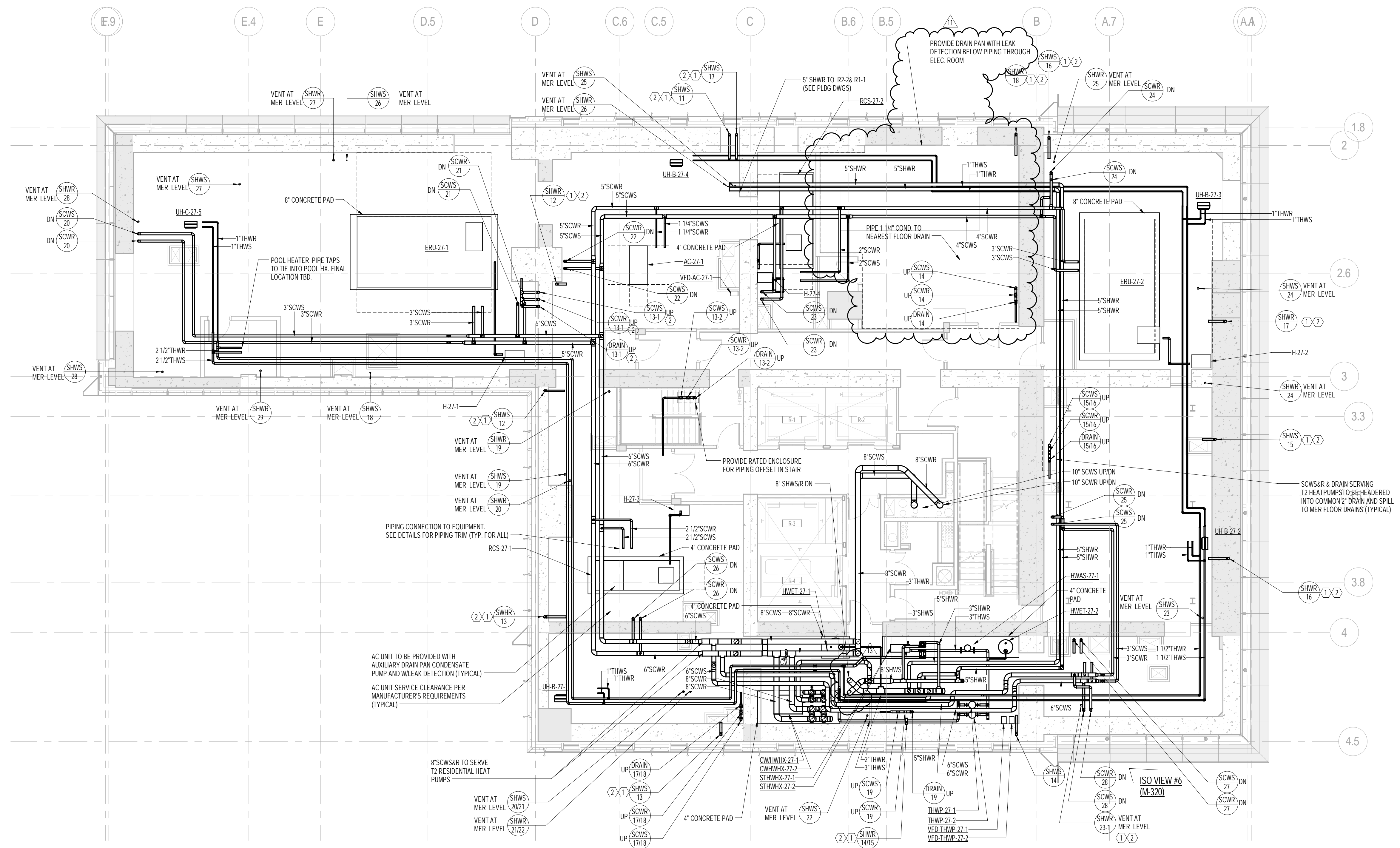
CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10005
T: 212 354 5656 F: 212 354 5668
WWW.AKF-ENGINEERS.COM

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
MECHANICAL
26th FLOOR PLAN - PIPING (MFD-49th FLOOR)

SEAL & SIGNATURE: [Signature]
DATE: 04/04/14
PROJECT No: Y130747-000
DRAWN: MY
CHK: PHS
SCALE: As indicated
DWG No: **M-232.02**

DOB PAGE No: 66 of 132
DOB EMPLOYEE STAMP: [Stamp]
DOB B-SCAN: [Stamp]



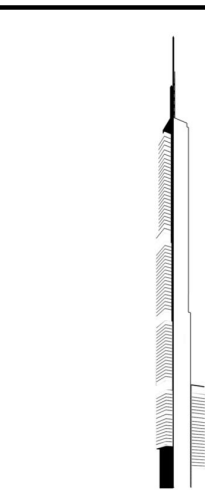
1 27th FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEY NOTES:

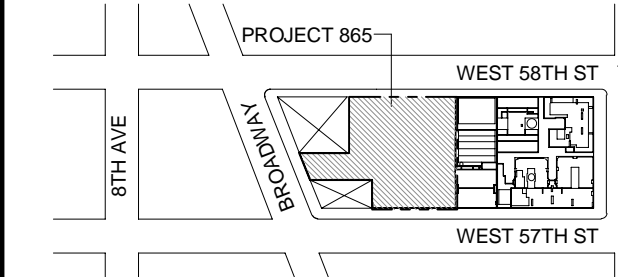
1. DRAIN FROM FTR HOT WATER RISER TO BE TIED INTO COMMON HEADER AND RUN TO NEAREST FLOOR DRAIN. SEE RISER DIAGRAM FOR ADDITIONAL INFORMATION.
2. STRUCTURAL ENGINEER TO PROVIDE NOTCH AT TOP OF SHEAR WALL FOR PIPE RISER.

PIPING NOTES:

1. RUN CONDENSATE LINE FROM AC UNITS TO NEAREST FLOOR DRAIN. COORDINATE WITH PLUMBING PLANS.
2. ALL PIPING SHALL BE INSULATED PER MECHANICAL SPECIFICATIONS.



KEY PLAN:



PROJECT:

NORTH

TRUE:

NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 820 1888 FAX: 312 820 1775

INTERIOR DESIGNER: Residential
Rotet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 687 8888 FAX: 646 487 5501

MEP ENGINEERS:
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GEOTECHNICAL ENGINEERS:
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21 Penn Plaza - 360 West 37th Street, 6th Floor
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TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
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CURTAINWALL CONSULTANT:
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40 Worth Street, Suite 626
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TEL: 212 759 6482 FAX: 212 759 6540

NO. DESCRIPTION DATE

1 ISSUED FOR SCHEMATIC DESIGN 04 APR 2014

2 ISSUED FOR DESIGN DEVELOPMENT 01 JUL 2014

3 ISSUED FOR DESIGN DEVELOPMENT 31 JUL 2014

4 CD PROGRESS ISSUE 1 15 OCT 2014

5 ISSUED FOR BID - MECHANICAL 15 OCT 2014

6 DOB SUBMISSION 19 DEC 2014

7 CD PROGRESS ISSUE 3 09 MAR 2015

8 CD PROGRESS ISSUE 4 01 JUN 2015

9 CD PROGRESS ISSUE 5 10 AUG 2015

10 DOB AMENDMENT 2 18 SEP 2015

11 CD PROGRESS ISSUE 6 02 NOV 2015

12 CD PROGRESS ISSUE 7 29 JAN 2016

13 CD PROGRESS ISSUE 8 - CMP SET 18 MAR 2016

14 DOB AMENDMENT 3 03 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AKF

ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10005
T: 212 354 5656 F: 212 354 5668
WWW.AKF.COM

PROJECT:

**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:

**MECHANICAL
27th FLOOR PLAN - PIPING (MFD-50th
FLOOR)**

SEAL & SIGNATURE:

DATE: 04/04/14

PROJECT No: Y130747-000

DRAWN: MY REV:

CHK: PHS

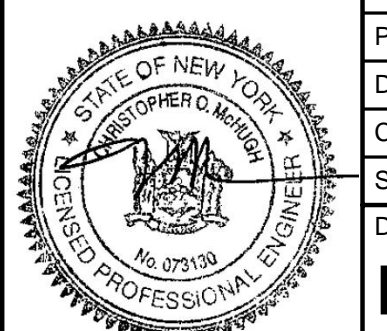
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DWG No:

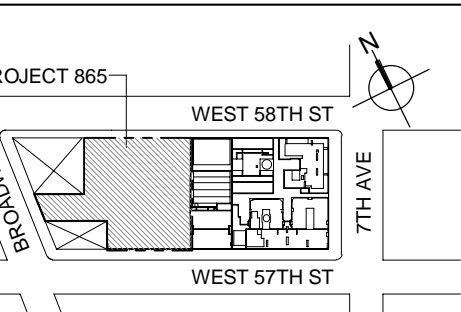
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DOB PAGE No: 67 of 132

DOB EMPLOYEE STAMP: DOB B-SCAN:



1. FTR CONTROL VALVES SHALL BE LOCATED AT RISER TAKE-OFFS. SERVICE ACCESS TO VALVES SHALL BE COORDINATED WITH ARCHITECT. REFER TO HOT WATER RISER DIAGRAM FOR ADDITIONAL INFORMATION.
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DEVELOPMENT COMPANY
THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 692 9600 FAX: 212 692 9601

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

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TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

100 Church Street
New York, NY 10007
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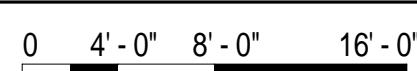
CURTAINWALL CONSULTANT:

40 Worth Street, Suite 825
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TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.

New York, NY 10018
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No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 MAY 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - RESIDENTIAL FIT-OUT PIPING	11 NOV 2014
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7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	CD PROGRESS ISSUE 5	10 AUG 2015
10	DOB AMENDMENT 2	18 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
14	CD BULLETIN ISSUE 3	25 MAY 2016
15	DOB AMENDMENT 3	03 OCT 2016



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ALL DIMENSIONS ARE SHOWN IN IMPERIAL

CONSULTANT

A K F

ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
T: 212.354.5656 F: 212.354.5668

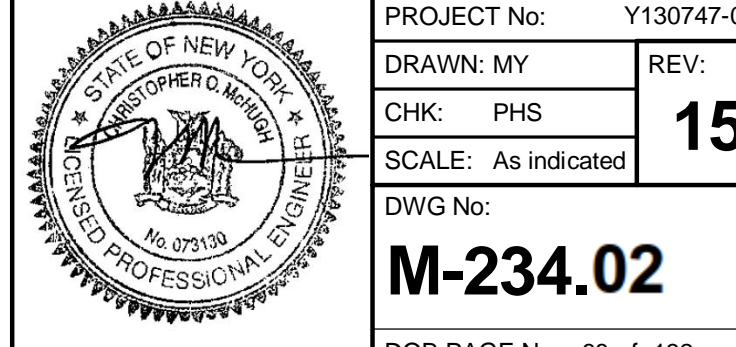
*Albany / Austin / Boston / Chicago / Minneapolis / New York
Philadelphia / Princeton / Portland / Rochester / Stamford*

PROJECT:

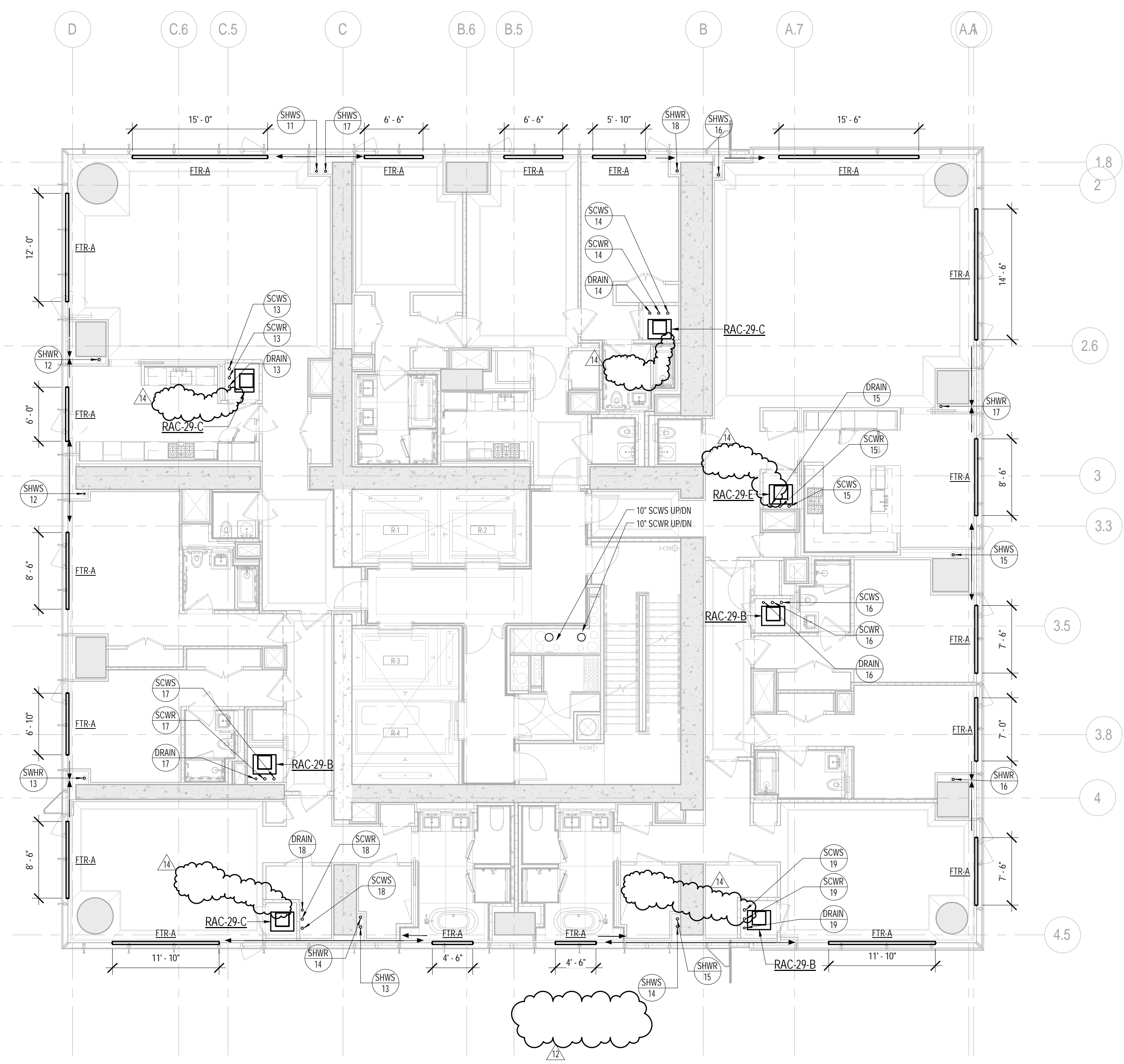
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
MECHANICAL
28th and 29th FLOOR PLANS - PIPING
(MFD-53rd-54th FLOOR)

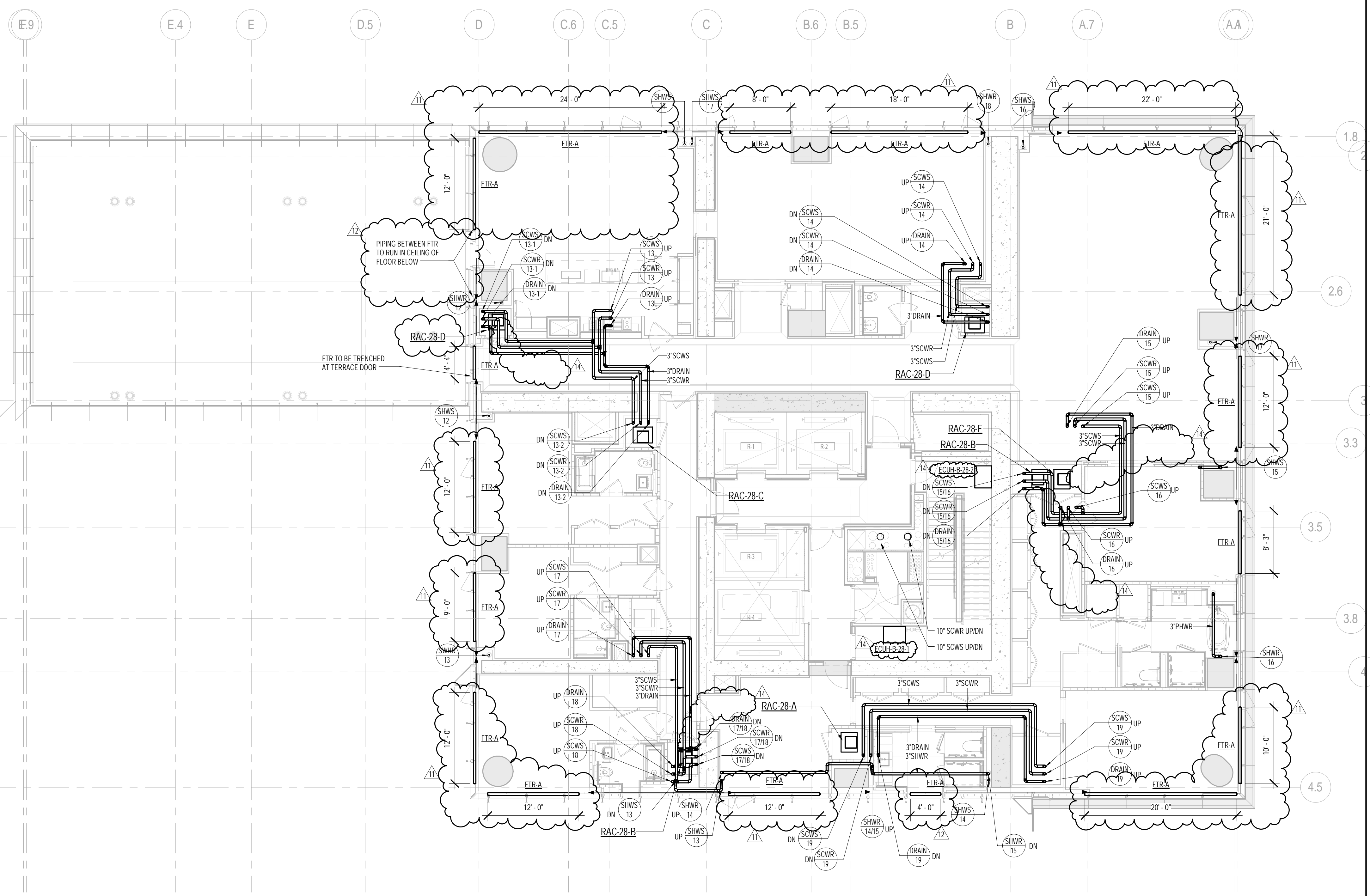
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DOB EMPLOYEE STAMP:		DOB B-SCA
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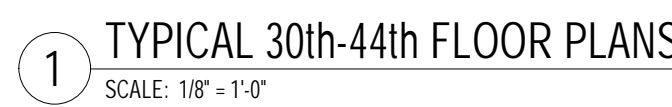
2 29th FLOOR PLA
SCALE: 1/8" = 1'-0"



1 28th FLOOR PLAN
SCALE: 1/8" = 1'-0"

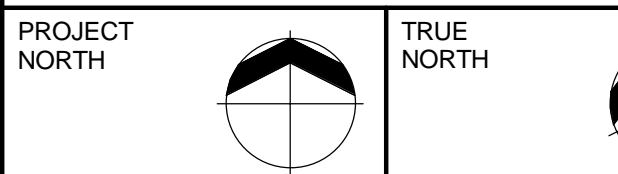




2 45th FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 TYPICAL 30th-44th FLOOR PLANS
SCALE: 1/8" = 1'-0"

- PIPING NOTES:
1. FTR CONTROL VALVES SHALL BE LOCATED AT RISER TAKE-OFFS. SERVICE ACCESS TO VALVES SHALL BE COORDINATED WITH ARCHITECT. REFER TO HOT WATER RISER DIAGRAM FOR ADDITIONAL INFORMATION.
 2. ALL PIPING SHALL BE INSULATED PER MECHANICAL SPECIFICATIONS.



PROJECT NORTH		TRUE NORTH	
---------------	---	------------	---

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Co
ADRIAN SMITH + GORDON GILL ARCHITECT
111 WEST MONROE STREET SUITE
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core,
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487

MEP ENGINEERS:

AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354

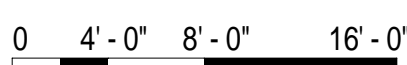
GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385

CURTAINWALL CONSULTANT:
AJP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04/01/2010
2	ISSUED FOR DESIGN DEVELOPMENT	07/01/2010
3	ISSUED FOR DESIGN DEVELOPMENT	31/01/2010
4	CD PROGRESS ISSUE 1	10/02/2010
5	ISSUED FOR BID - RESIDENTIAL FIT-OUT PIPING	11/02/2010
6	DOR SUBMISSION	15/02/2010
7	CD PROGRESS ISSUE 3	09/03/2010
8	CD PROGRESS ISSUE 4	07/04/2010
9	CD PROGRESS ISSUE 5	07/04/2010
10	DOR AMENDMENT 2	08/04/2010
11	CD PROGRESS ISSUE 6	08/04/2010
12	CD PROGRESS ISSUE 7	29/04/2010
13	CD PROGRESS ISSUE 8 - GMP SET	01/05/2010
14	CD BULLETIN ISSUE 3	29/05/2010
15	DOR AMENDMENT 3	03/06/2010



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CONSULTANT: **AKF**
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
T: 212.354.5656 F: 212.354.5668
Atlanta / Boston / Mexico City / Minneapolis / New York

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
MECHANICAL
44th and 45th FLOOR PLANS - I
(TYPICAL 30th-44th FLOOR
(MFD-55th-69th FLOOR and MF
FLOOR)

SEAL & SIGNATURE:	DATE:
-------------------	-------

PROJECT No: _____


	DRAWN: MY

	CHK: PHS
	DATE: 10/1/81

SCALE: As indicated



REPUBLIC OF SERBIA
 MINISTRY OF EDUCATION, SCIENCE AND TECHNOLOGY
 No. 073/100
 14.11.2019.


M-242.0

DOB PAGE No: 69 c



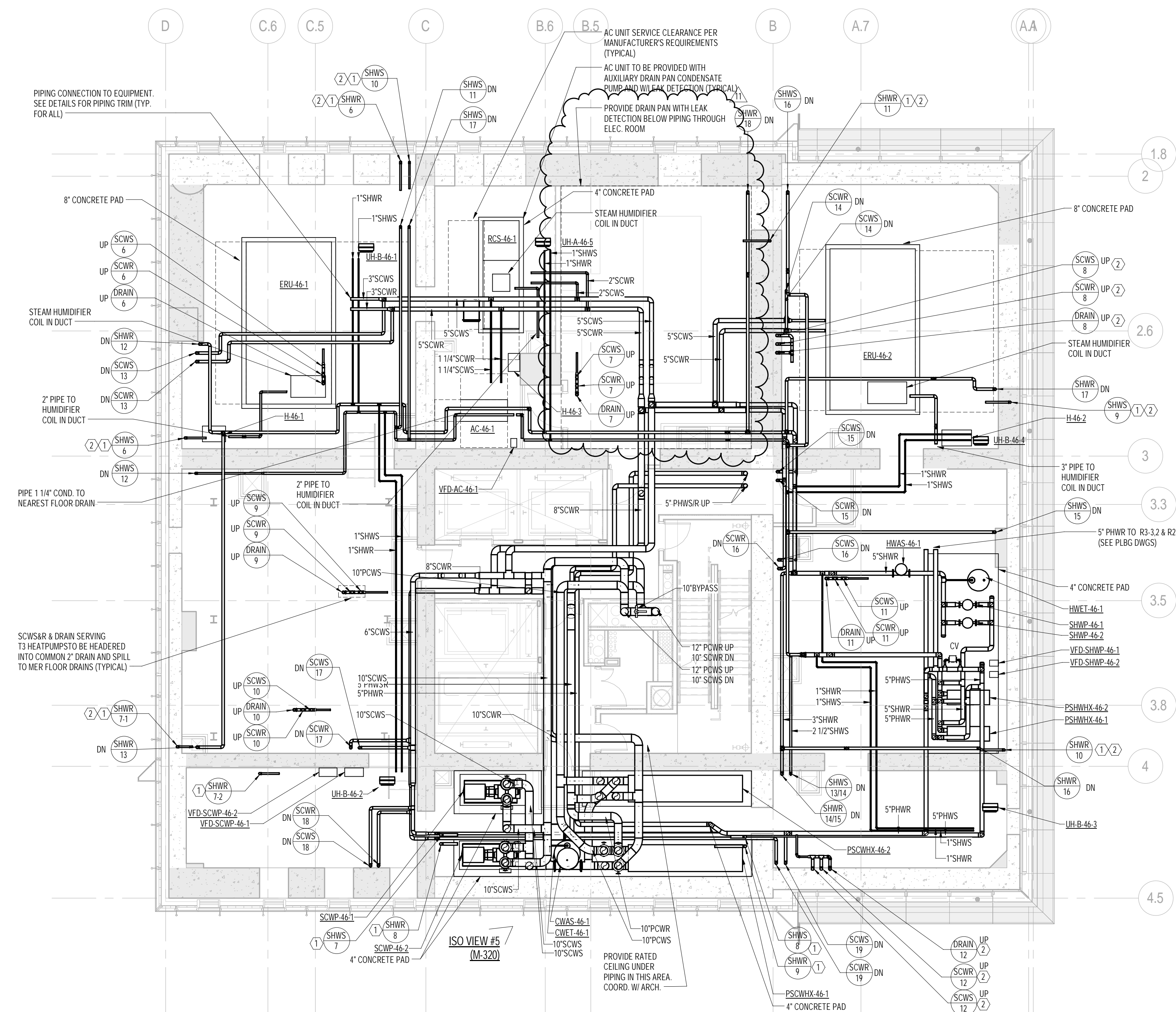
CHK:	PHS
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SCALE: As indicated

M 242 0

MI-242.0

DOB PAGE No: 69 c



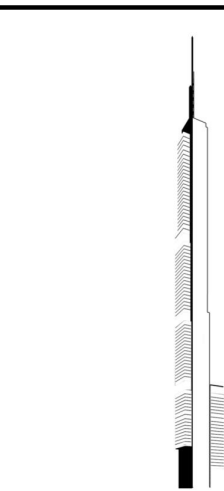
1 46th FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEY NOTES:

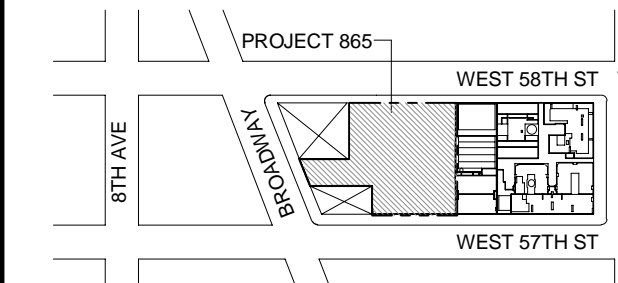
- ① DRAIN FROM FTH HOT WATER RISER TO BE TIED INTO COMMON HEADER AND RUN TO NEAREST FLOOR DRAIN. SEE RISER DIAGRAM FOR ADDITIONAL INFORMATION.
- ② STRUCTURAL ENGINEER TO PROVIDE NOTCH AT TOP OF SHEAR WALL FOR PIPE RISER.

PENDING NOTES:

1. RUN CONDENSATE LINE FROM AC UNITS TO NEAREST FLOOR DRAIN. COORDINATE WITH PLUMBING PLANS.
2. ALL PIPING SHALL BE INSULATED PER MECHANICAL SPECIFICATIONS.



KEY PLAN:



PROJECT NORTH



DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rotet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD:

Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:

WSP CANTOR SEINUK
228 EAST 49th Street
New York, NY 10017 USA
TEL: 212 687 8888 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10005 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:

Lagan Engineering & Environmental Services
21 Penn Plaza - 360 West 37th Street, 6th Floor
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TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:

Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:

A.J.P. Consulting
40 Worth Street, Suite 626
New York, NY 10013
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LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6482 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	ISSUED FOR BID - RESIDENTIAL FIT-OUT PIPING	17 NOV 2014
7	DOB SUBMISSION	17 DEC 2014
8	CD PROGRESS ISSUE 3	09 MAR 2015
9	CD PROGRESS ISSUE 4	01 JUN 2015
10	DOB AMENDMENT 1	18 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE 8 - CAMP SET	18 MAR 2016
14	DOB AMENDMENT 3	03 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:

AKF

ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10005
T: 212 354 5656 F: 212 354 5668
WWW.AKF.COM

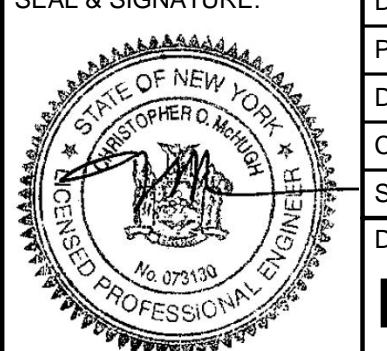
PROJECT:

**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:

**MECHANICAL
46th FLOOR PLAN - PIPING (MFD-71st
FLOOR)**

SEAL & SIGNATURE:



DATE: 04/04/14

PROJECT No: Y130747-000

DRAWN: MY REV:

CHK: PHS

SCALE: As indicated

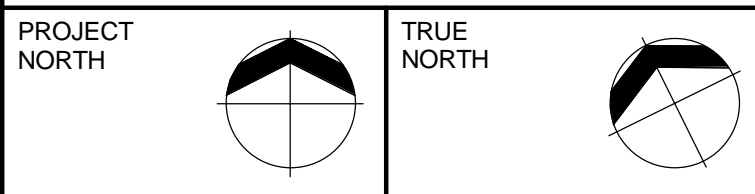
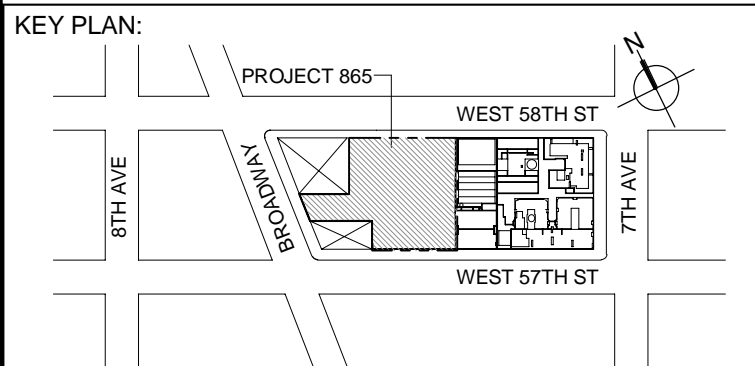
DWG No:

M-243.02

DOB PAGE No: 70 of 132

DOB EMPLOYEE STAMP:

DOB B-SCAN:



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
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228 EAST 45th Street
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MEP ENGINEERS:

AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

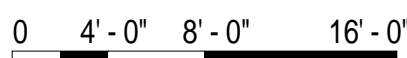
GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 6	02 NOV 2015
2	CD PROGRESS ISSUE 7	29 JAN 2016
3	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
4	CD BULLETIN ISSUE 3	25 MAY 2016
5	DOB AMENDMENT 3	03 OCT 2016



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CONSULTANT: **A K F**
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
T: 212.354.5656 F: 212.354.5668
*Atleten / Boston / Atlanta City / Minneapolis / New York
Philadelphia / Princeton / Portland / Rochester / Stamford*

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

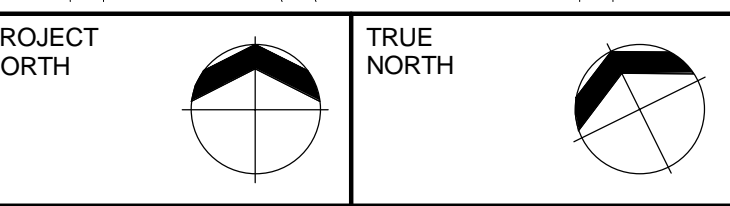
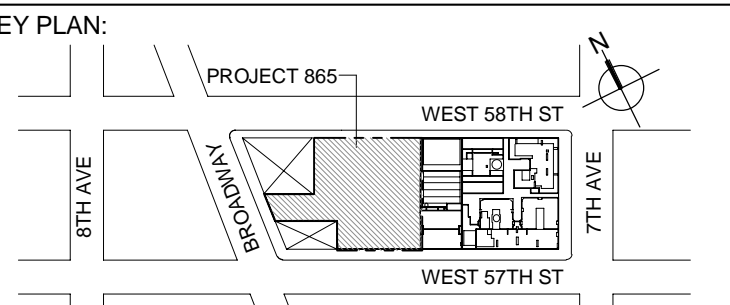
DRAWING TITLE:

MECHANICAL
66th FLOOR PLAN - PIPING (MFD-96th
FLOOR)

SEAL & SIGNATURE:	DATE:	11/02/15
	PROJECT NO:	Y130747-000
	DRAWN: AZ	REV:
	CHK: PHS	5
	SCALE: 1/8" = 1'-0"	
	DWG No:	M-253.02
DOB EMPLOYEE STAMP:	DOB PAGE NO:	72 of 132
	DOB B-SCAN:	

DOB EMPLOYEE STAMP:		DOB B-SCAN:
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PIPING NOTES:
 1. RUN CONDENSATE LINE FROM AC UNITS TO NEAREST FLOOR DRAIN. COORDINATE WITH PLUMBING PLANS.
 2. ALL PIPING SHALL BE INSULATED PER MECHANICAL SPECIFICATIONS.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
 805 THIRD AVENUE, 7TH FLOOR
 New York, NY 10022 USA
 TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
 CHICAGO IL 60603
 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotet Architecture and Design Studio, PLLC
 288 Fifth Ave. 7th Floor
 New York, NY 10001
 TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
 228 EAST 46th Street
 New York, NY 10017 USA
 TEL: 212 687 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
 One Liberty Plaza, 165 Broadway, 22nd Floor
 New York, NY 10005 USA
 TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Lagan Engineering & Environmental Services
 21 Penn Plaza - 360 West 37th Street, 8th Floor
 New York, NY 10018-2727
 TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
 100 Church Street
 New York, NY 10007
 TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
A.J.P. Consulting
 40 Worth Street, Suite 626
 New York, NY 10013
 TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
 39 West 37th Street, 12A
 New York, NY 10018
 TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	CD PROGRESS ISSUE 5	10 AUG 2015
10	DOB AMENDMENT 1	18 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE 8 - CAMP SET	10 MAR 2016
14	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AKF
 ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
 NEW YORK, NY 10005
 T: 212 354 5656 F: 212 354 5668
 WWW.AKF-ENGINEERS.COM

PROJECT:
217 WEST 57TH STREET
 NEW YORK, NY

DRAWING TITLE:
 MECHANICAL
 67th and 67th FLOOR INTERMEDIATE
 PLANS - PIPING (MFD-97th-98th FLOOR)

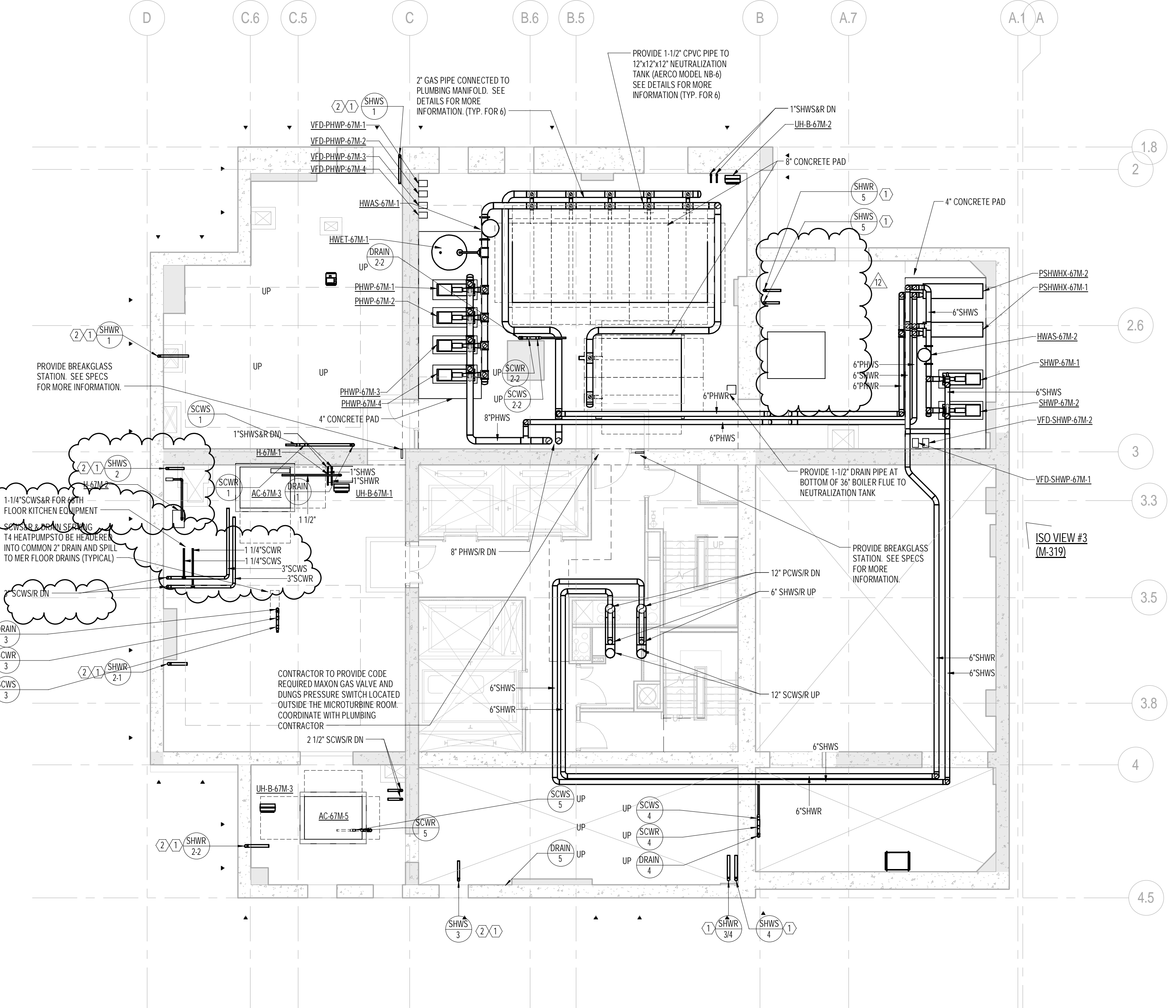
SEAL & SIGNATURE:
 PROJECT No: Y130747-000
 DRAWN: MY
 CHK: PHS
 SCALE: As indicated
 DWG No: **M-254.02**
 DOB PAGE No: 73 of 132
 DOB EMPLOYEE STAMP: DOB B-SCAN:

DATE: 04/04/14

REV: 14

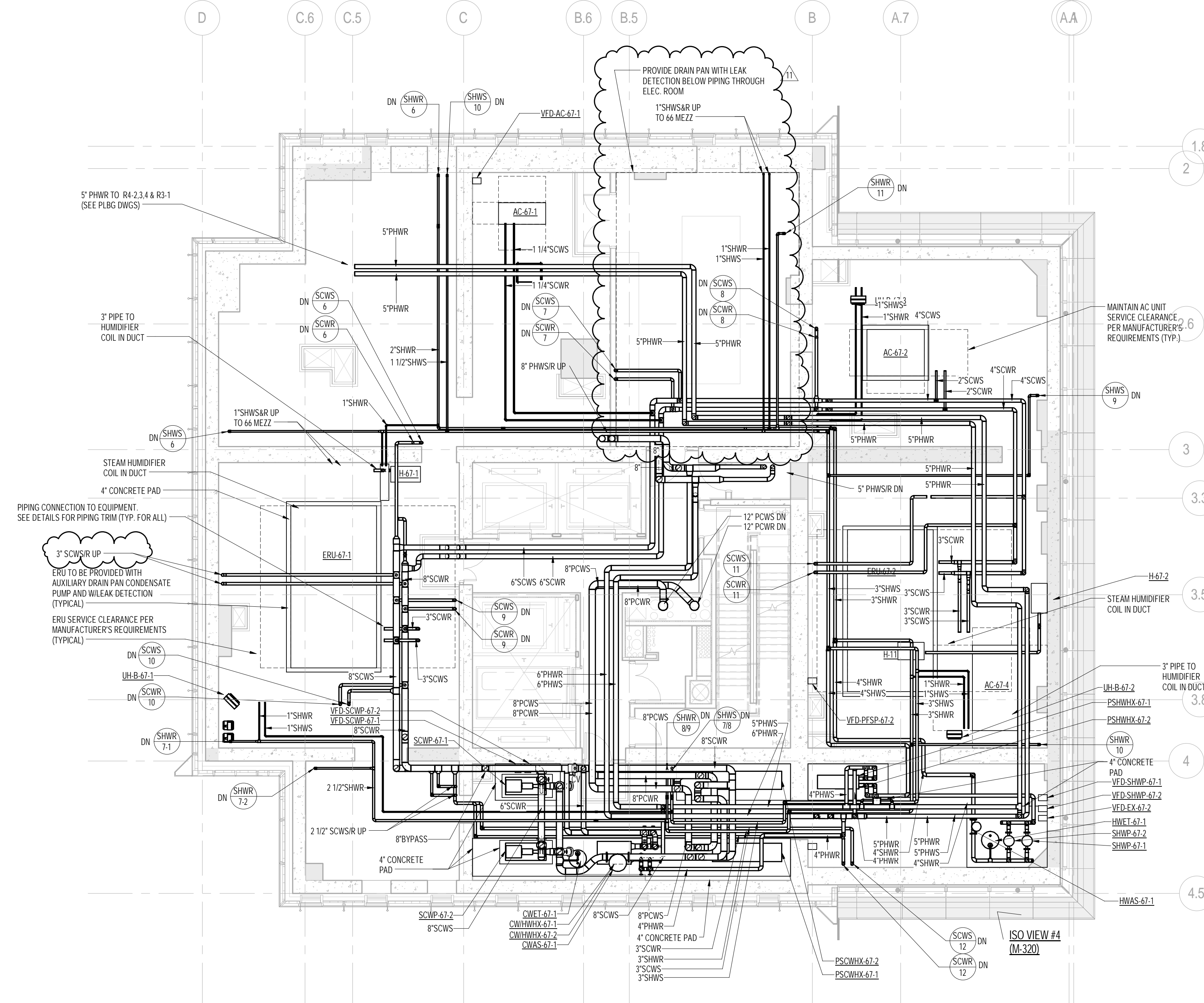
DOB PAGE No: 73 of 132

DOB B-SCAN:



2 67th FLOOR INTERMEDIATE PLAN
 SCALE: 1/8" = 1'-0"

KEY NOTES:
 ① DRAIN FROM 7TH FLOOR HOT WATER RISER TO BE TIED INTO COMMON HEADER AND RUN TO NEAREST FLOOR DRAIN. SEE RISER DIAGRAM FOR ADDITIONAL INFORMATION.
 ② STRUCTURAL ENGINEER TO PROVIDE NOTCH AT TOP OF SHEAR WALL FOR PIPE RISER.





1 67th FLOOR PLAN
 SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

1. KITCHEN AREA ALONG WITH ALL MEPFP DESIGN ITEMS PENDING FINAL APPROVED DESIGN LAYOUT BY KITCHEN CONSULTANT.
2. ALL ARCHITECTURAL RETURN AIR OPENINGS IN ML WORK ETC SHALL BE BASED ON (21") SQ. LINEARS SIMILAR TO L.S. BASED ON RETURN REGISTER. (NOTE: REFER TO ARCHITECTURAL PLANS FOR LOCATIONS).
3. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ALL DEVICES AND AIR OUTLETS.
4. REFER TO RISER DIAGRAMS AND DETAILS FOR ALL DEVICES AND TYPES SHOWN ON MECHANICAL DRAWINGS.

PROJECT NORTH		TRUE NORTH	
---------------	---	------------	---

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 230
CHICAGO IL 60603

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212.697.0288 FAX: 212.697.5501

AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10006 USA

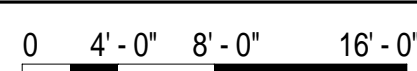
MECHANICAL ENGINEERS:
Lang Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212.470.5400 FAX: 212.470.5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	ISSUED FOR BID - RESIDENTIAL FIT-OUT PIPING	15 OCT 2014
7	DOB SUBMISSION	19 DEC 2014
8	CD PROGRESS ISSUE 3	09 MAR 2015
9	CD PROGRESS ISSUE 5	10 AUG 2015
10	DOB AMENDMENT 2	18 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
14	DOB AMENDMENT 3	03 OCT 2016



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CONSULTANT

A K F

ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
T: 212.354.5656 F: 212.354.5668

*Albany / Austin / Boston / Chicago / Minneapolis / New York
Philadelphia / Phoenix / Portland / Rochester / Stamford*


PROJECT:


217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

MECHANICAL
68th FLOOR PLAN - PIPING
(MFD-100th FLOOR)

SEAL & SIGNATURE:	DATE:	08/03
-------------------	-------	-------

	PROJECT No: Y130747-0	
	DRAWN: MY	REV:

	DATE: _____	TIME: _____
	CHK: PHS	14

	SCALE: As indicated	
	DWG No:	



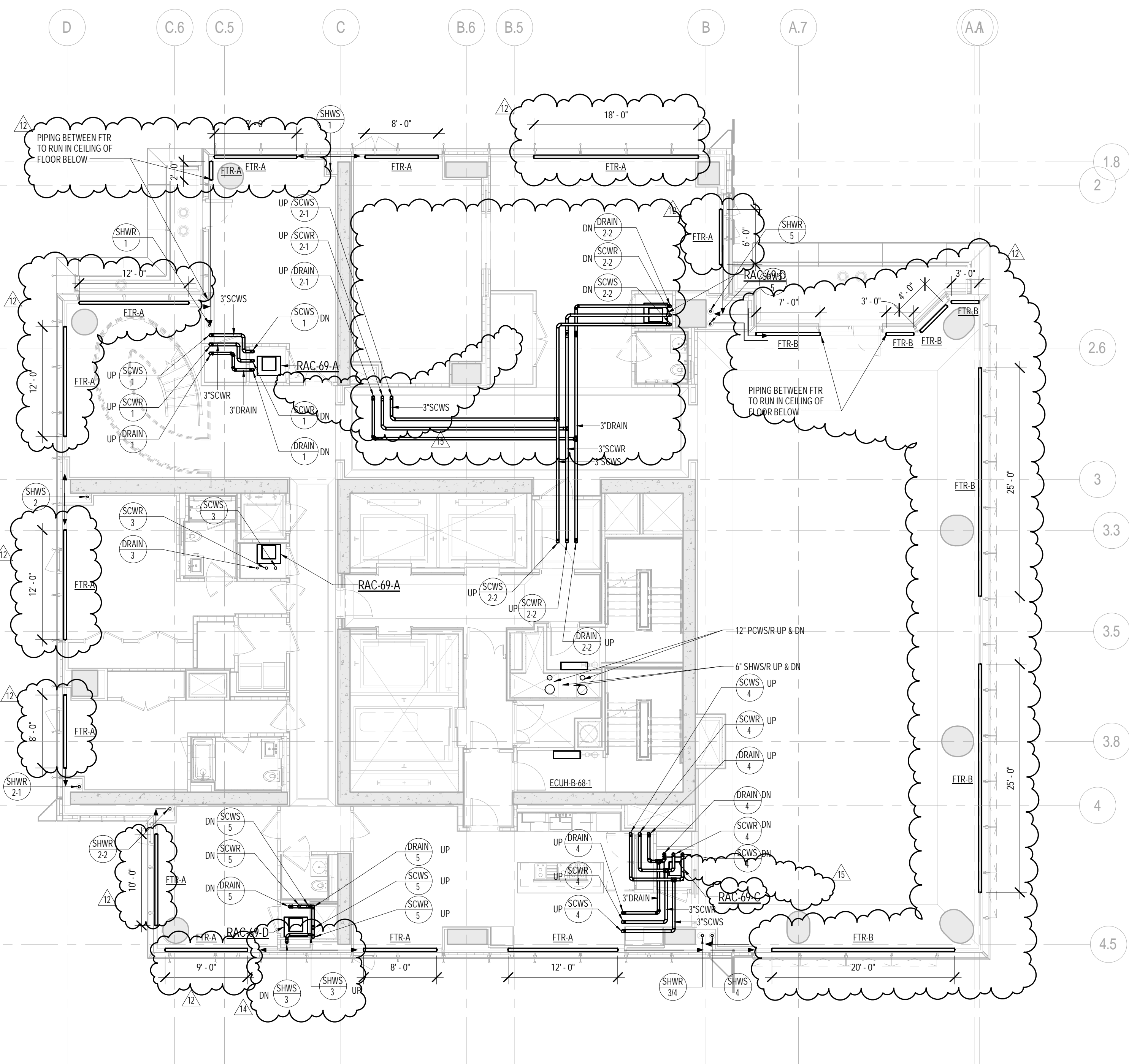
SWG No. **M-255 02**

MI-255.02

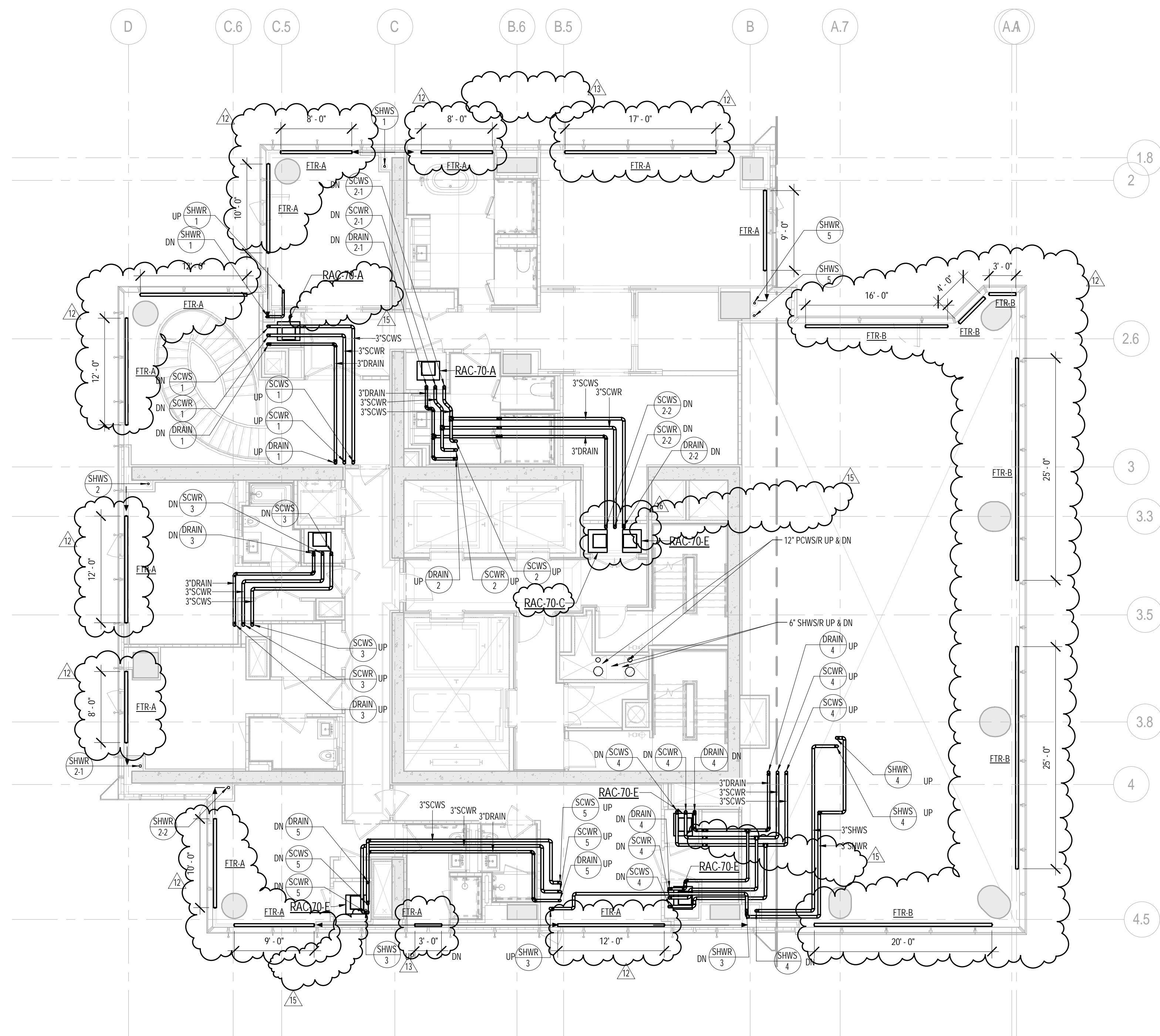
DOB EMPLOYEE STAMP:		DOB B-SCA
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PIPING NOTES:

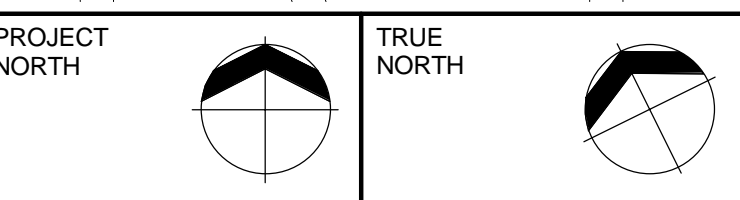
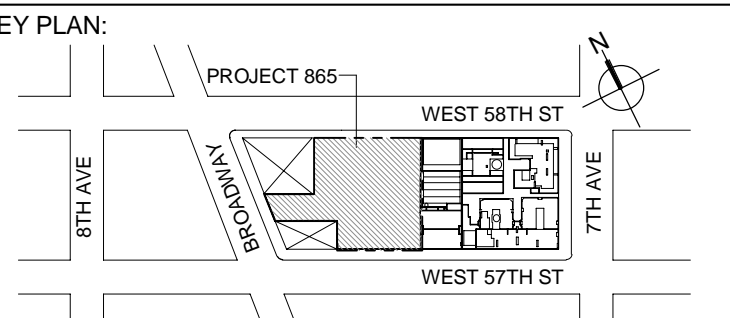
1. FTR CONTROL VALVES SHALL BE LOCATED AT RISER TAKE-OFFS. SERVICE ACCESS TO VALVES SHALL BE COORDINATED WITH ARCHITECT. REFER TO HOT WATER RISER DIAGRAM FOR ADDITIONAL INFORMATION.
2. ALL PIPING SHALL BE INSULATED PER MECHANICAL SPECIFICATIONS.



2 69th FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 70th FLOOR PLAN
SCALE: 1/8" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
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TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX: 646 998 7000

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
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STRUCTURAL ENGINEERS:
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MEP ENGINEERS:
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New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 37th Street, 6th Floor
New York, NY 10018-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
A.J.P. Consulting
40 Worth Street, Suite 626
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6482 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	ISSUED FOR BID - RESIDENTIAL FIT-OUT PIPING	17 NOV 2014
7	DOB SUBMISSION	10 DEC 2014
8	CD PROGRESS ISSUE 3	09 MAR 2015
9	CD PROGRESS ISSUE 4	01 JUN 2015
10	CD PROGRESS ISSUE 5	10 AUG 2015
11	DOB AMENDMENT 1	18 SEP 2015
12	CD PROGRESS ISSUE 6	02 NOV 2015
13	CD PROGRESS ISSUE 7	29 JAN 2016
14	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
15	CD PROGRESS ISSUE 3	25 MAY 2016
16	CD BULLETIN ISSUE 4	15 JUL 2016
17	DOB AMENDMENT 3	03 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

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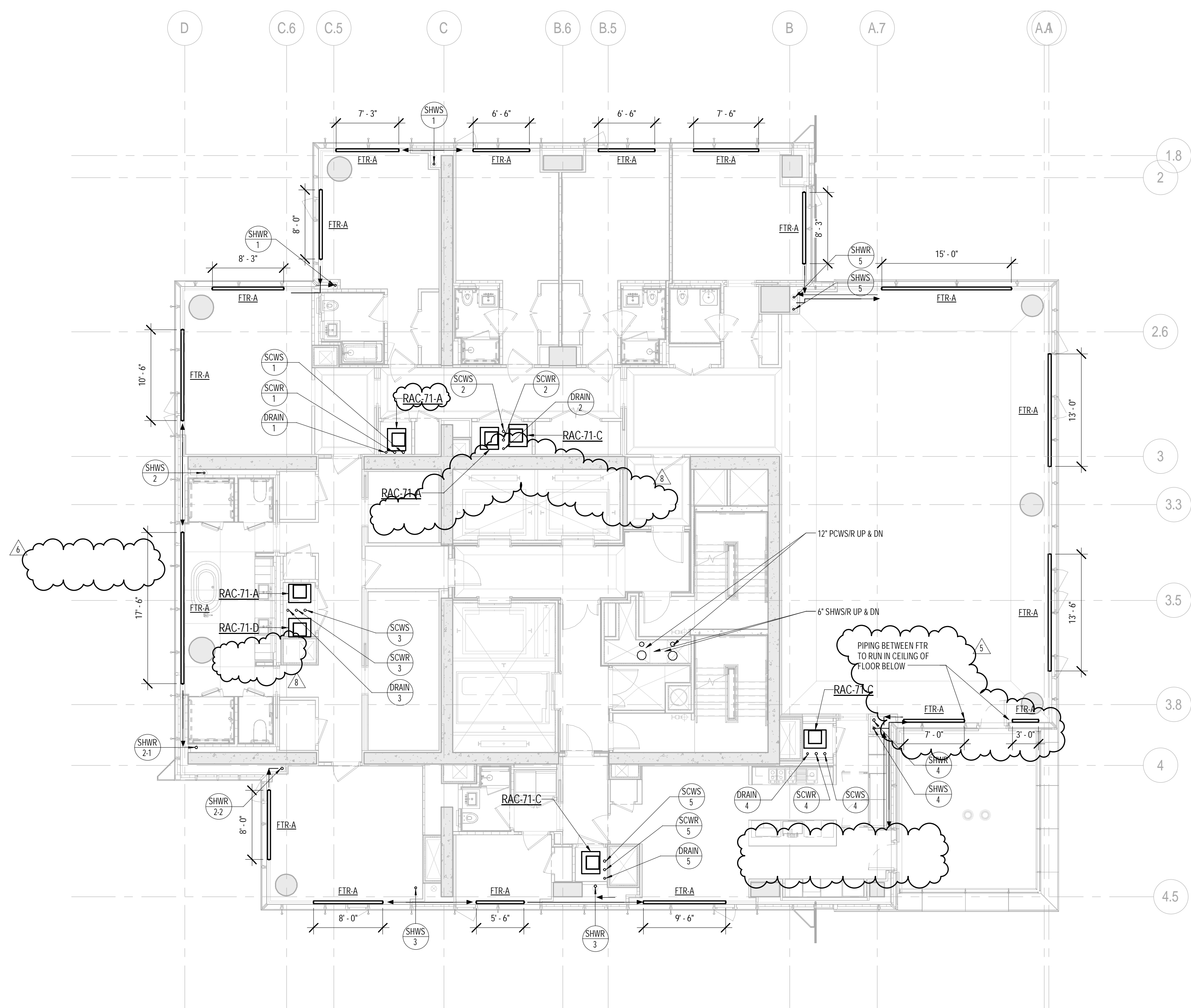
CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
WWW.AKF-ENGINEERS.COM

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
MECHANICAL
69th and 70th FLOOR PLANS - PIPING
(MFD-107th-108th FLOOR)



SEAL & SIGNATURE:	DATE:	04/04/14
	PROJECT No:	Y130747-000
	DRAWN: MY	REV:
	CHK: PHS	17
	SCALE: As indicated	
DWG No:	M-256.02	
DOB PAGE No:	75 of 132	
DOB EMPLOYEE STAMP:	DOB B-SCAN:	

2. ALL PIPING SHALL BE INSULATED PER MECHANICAL SPECIFICATIONS



1 71st FLOOR PLAN
SCALE: 1/8" = 1'-0"

① ARCHITECT TO PROVIDE ACCESS PANEL FOR EXPANSION COMPENSATOR AT HW RISER AT 80TH FLOOR (PROVIDE ON T9 FOR SHWR 4 & 5).

NORTH  NORTH 

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

ADRIAN SMITH + GORDON GILL ARCHITECTURE
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CHICAGO IL 60603
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WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

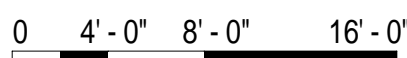
AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
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Ang Engineering & Environmental Services
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Atlanta / Boston / Mexico City / Minneapolis / New York

217 WEST 57TH STREET
NEW YORK, NY

MECHANICAL
71st and 72nd FLOOR PLANS - PIPING
(TYPICAL 72nd-86th FLOORS)
(MFD-109th FLOOR and
MFD-110th-124th FLOOR)

PROJECT No: Y130747-000

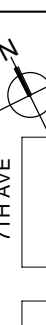
	DRAWN: RIT	REV.

SCALE: As indicated

DEPARTMENT OF THE ENVIRONMENT, PLANNING AND HERITAGE
NEW SOUTH WALES

DOB EMPLOYEE STAMP:	DOB B-SCAN:
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[illegible]



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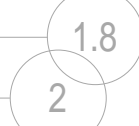
130

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1

1



2



DOB PAGE No: 77 of 132	
DOB EMPLOYEE STAMP:	DOB B-SCAN:

1. FTR CONTROL VALVES SHALL BE LOCATED AT RISER TAKE-OFFS. SERVICE ACCESS TO VALVES SHALL BE COORDINATED WITH ARCHITECT. REFER TO HOT WATER RISER DIAGRAM FOR ADDITIONAL INFORMATION.
2. ALL PIPING SHALL BE INSULATED PER MECHANICAL SPECIFICATIONS.



PROJECT NORTH		PROJECT NORTH	
---------------	---	---------------	---

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DESIGN ARCHITECT: Base Building Shell & Core
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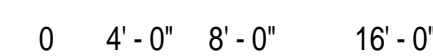
GEOTECHNICAL ENGINEERS:
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21 Penn Plaza - 360 West 31st Street, 8th Floor
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TEL: 212 479 5400 FAX: 212 479 5444

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TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 3	09 MAR 2015
2	CD PROGRESS ISSUE 4	01 JUN 2015
3	CD PROGRESS ISSUE 5	10 AUG 2015
4	CD PROGRESS ISSUE 7	29 JAN 2016
5	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
6	CD BULLETIN ISSUE 3	25 MAY 2016
7	CD BULLETIN ISSUE 7	14 SEPT 2016
8	DOB AMENDMENT 3	03 OCT 2016



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T: 212.354.5656 F: 212.354.5668
Arlington / Boston / Mexico City / Minneapolis / New York


PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE:


MECHANICAL
89th and 90th FLOOR PLANS - PIPING
(MFD-127th-128th FLOOR)

SEAL & SIGNATURE:	DATE:	04/04/14
-------------------	-------	----------


DATE:	08/09/14
PROJECT No:	X130747_000

	PROJECT NO. 1150747-000	
	DRAWING NO.	REV.

STATE OF NEW YORK
JULIUS ROSENBERG & SONS, INC.



CHRG.	PHS
SCALE:	As indicated



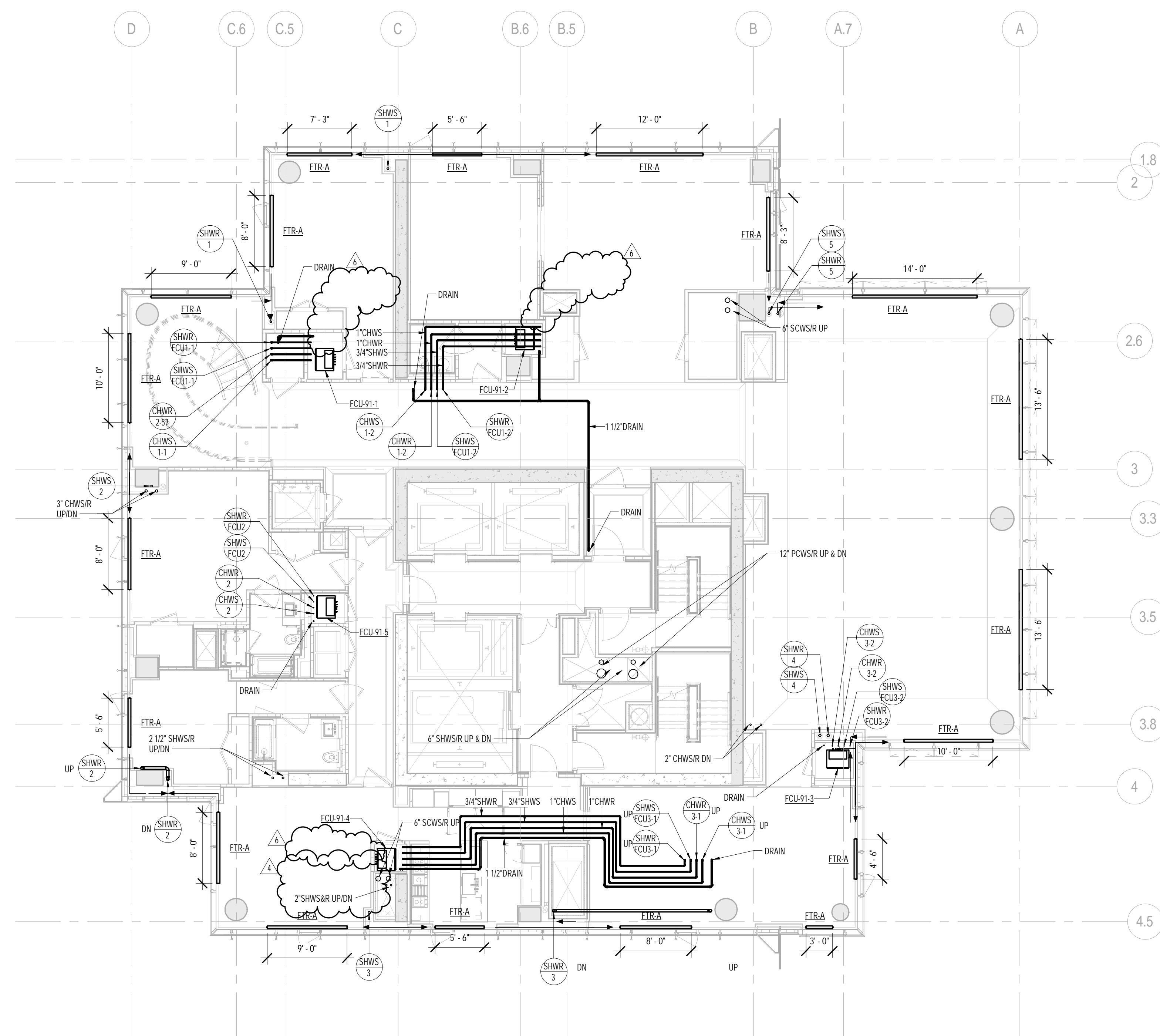
SCALE: As indicated

DWG No:

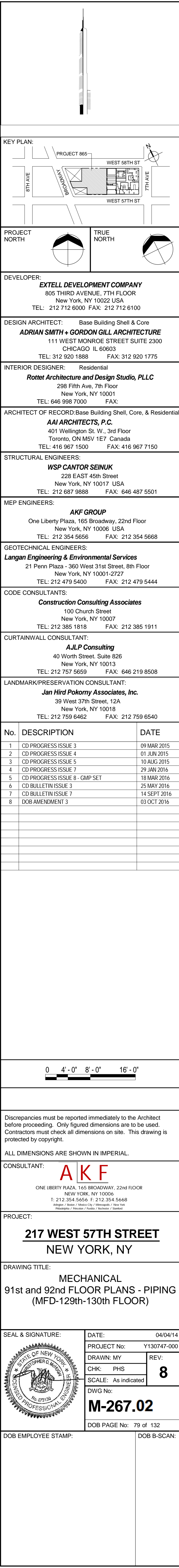
M-266.02

DOI PAGE No: 78 of 122

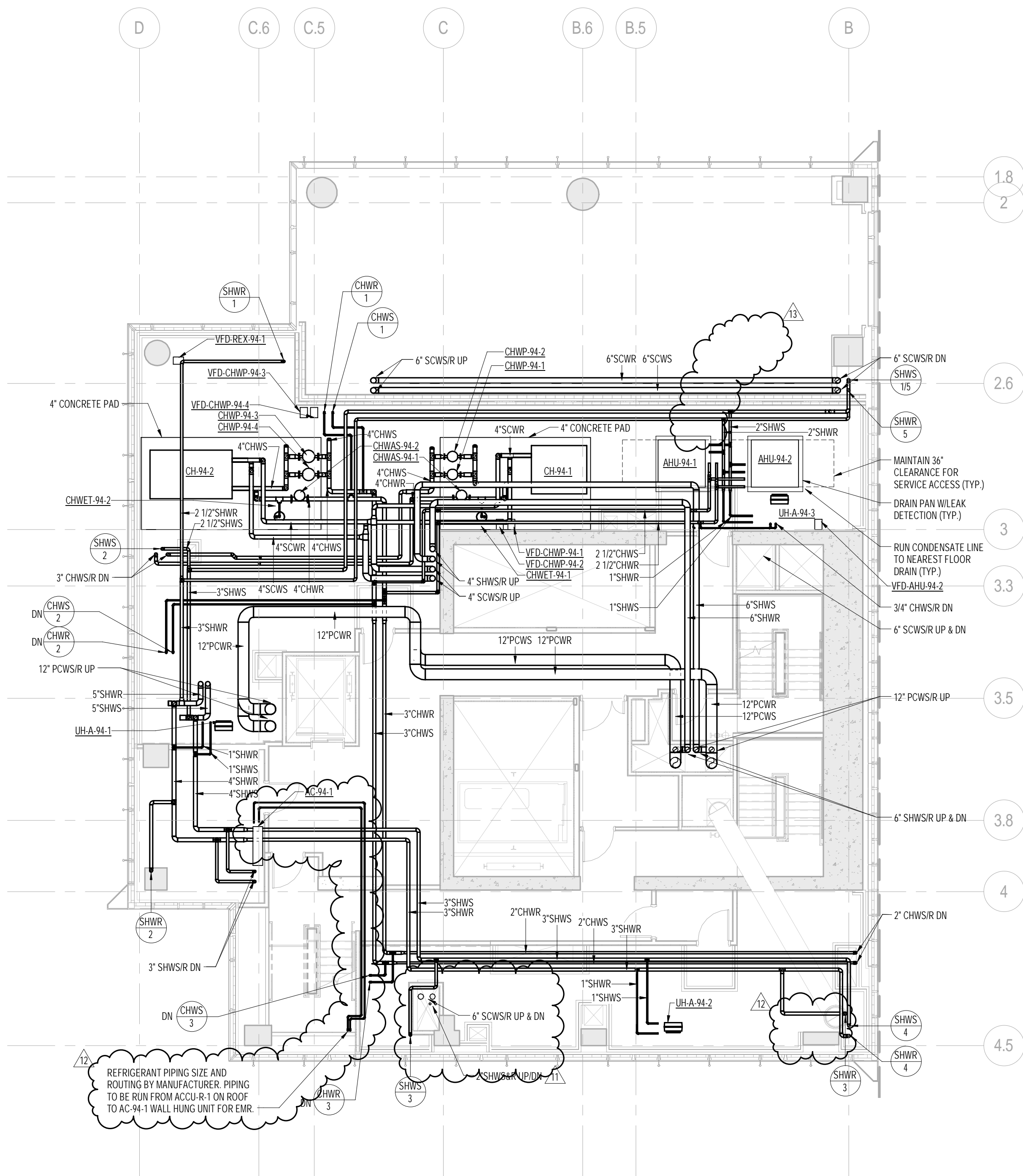
DOB EMPLOYEE STAMP:		DOB B-SCAN:
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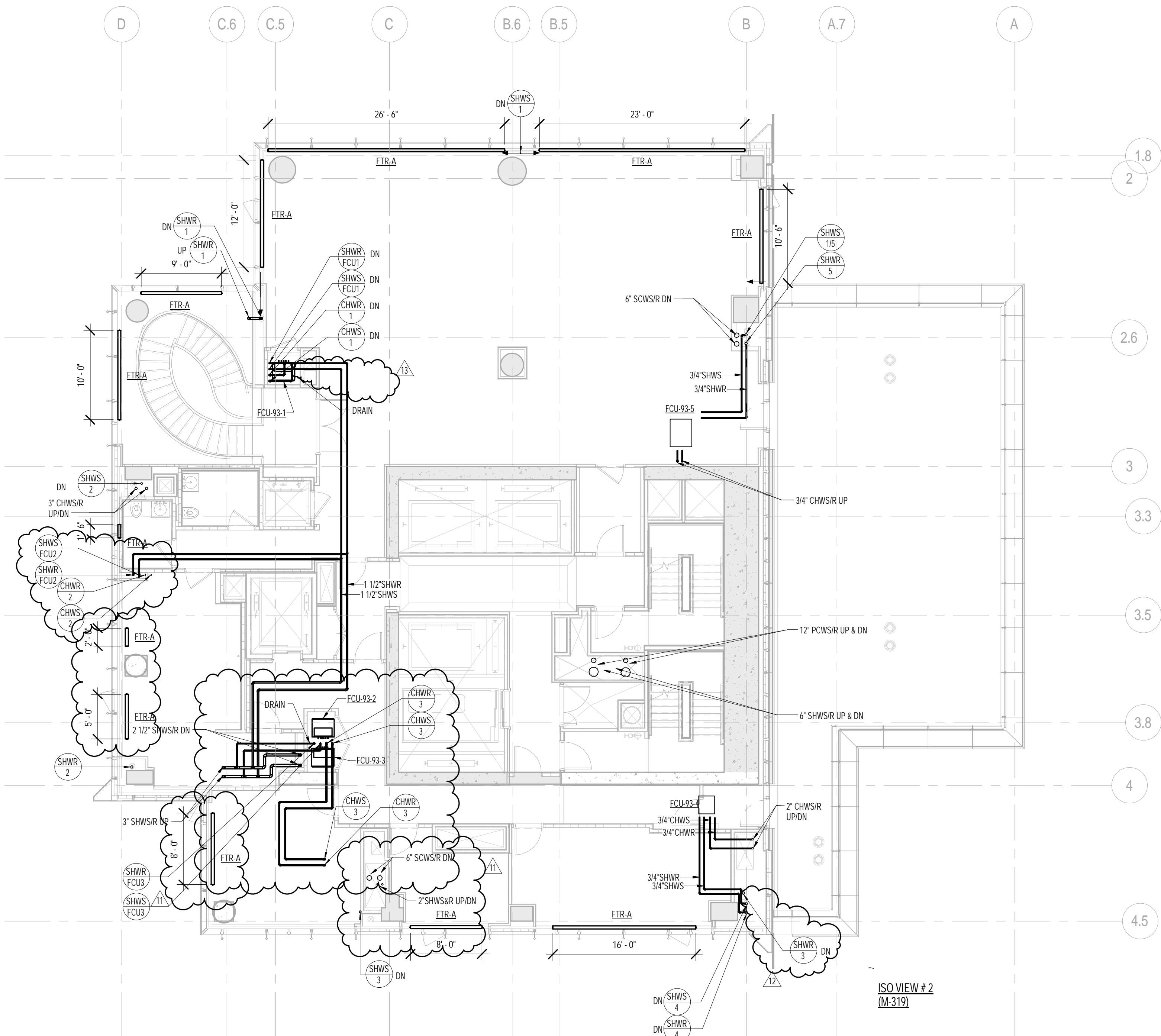
1 91st FLOOR PLAN
SCALE: 1/8" = 1'-0"



- PIPING NOTES:
1. FIRE CONTROL VALVES SHALL BE LOCATED AT RISER TIME OFFS. SERVICE ACCESS TO VALVES SHALL BE COORDINATED WITH ARCHITECT. REFER TO HOT WATER RISER DIAGRAM FOR ADDITIONAL INFORMATION.
 2. ALL PIPING SHALL BE INSULATED PER MECHANICAL SPECIFICATIONS.

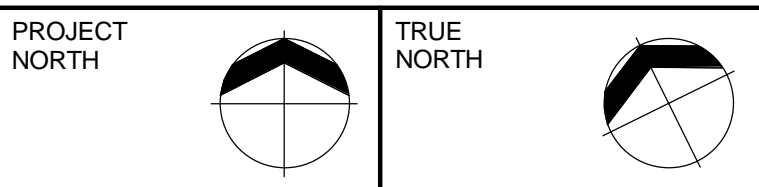
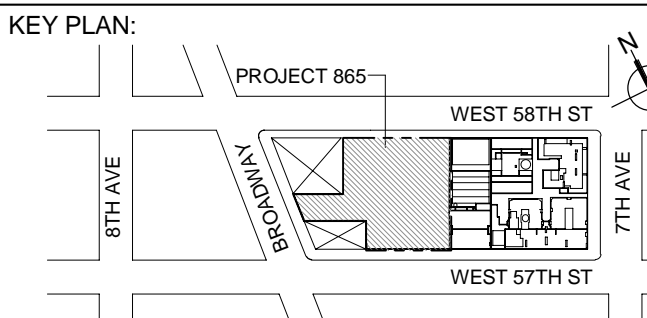
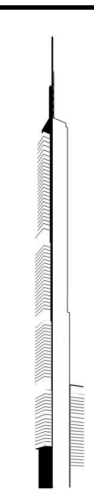


2 94th FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 93rd FLOOR PLAN
SCALE: 1/8" = 1'-0"

- PIPING NOTES:
1. PIPING ON 93rd FLOOR TO BE PROVIDED WITH SPRING VIBRATION ISOLATION HANGERS. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
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ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
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TEL: 312 920 1888 FAX: 312 920 1775

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No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	ISSUED FOR BID - RESIDENTIAL FIT-OUT PIPING	17 NOV 2014
7	DOB SUBMISSION	10 DEC 2014
8	CD PROGRESS ISSUE 3	09 MAR 2015
9	CD PROGRESS ISSUE 5	10 AUG 2015
10	DOB AMENDMENT 1	18 SEP 2015
11	CD PROGRESS ISSUE 7	29 JAN 2016
12	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
13	CD BULLETIN ISSUE 3	25 MAY 2016
14	CD BULLETIN ISSUE 7	14 SEPT 2016
15	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
WWW.AKF-ENGINEERS.COM

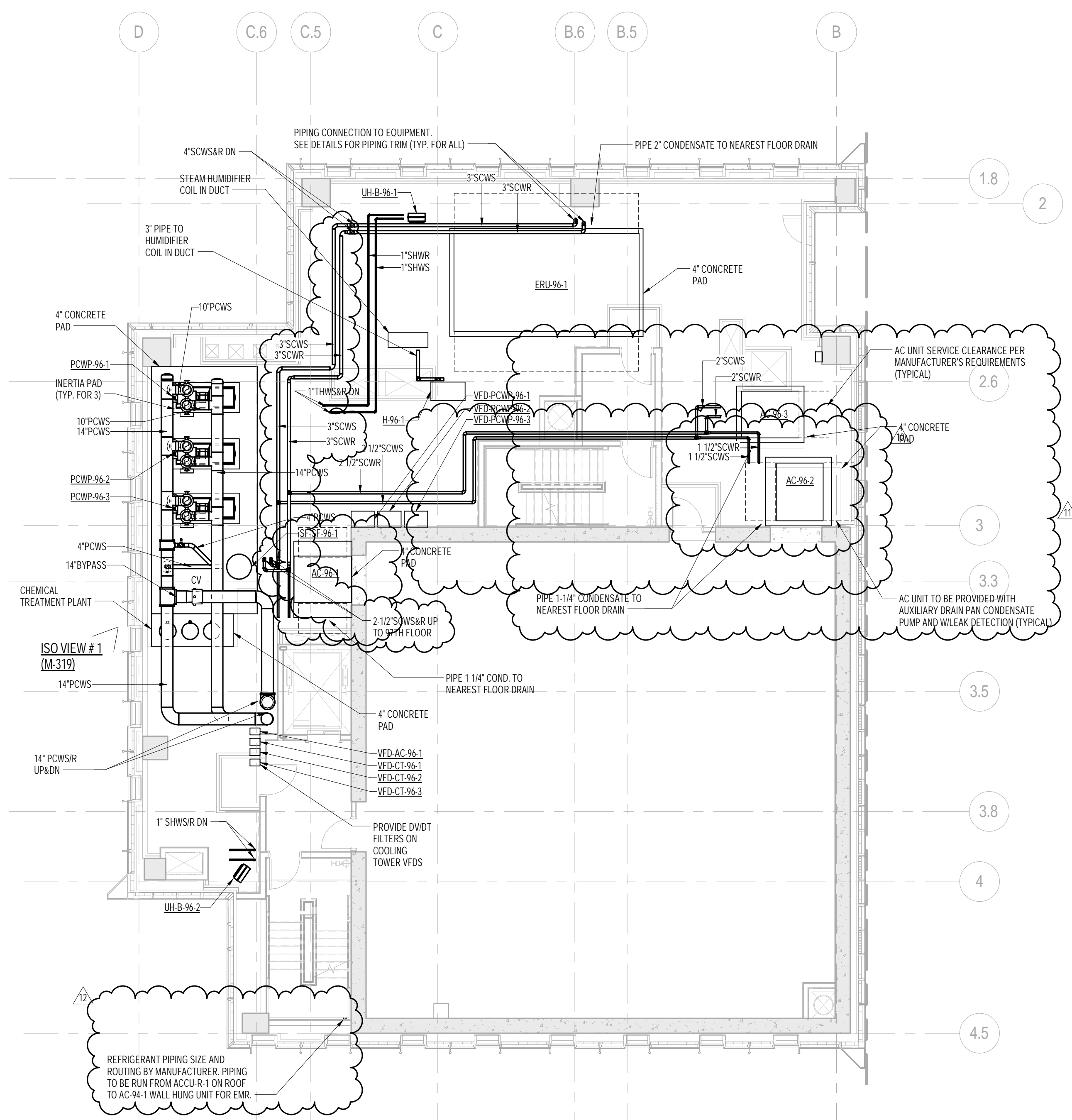
PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**MECHANICAL
93rd and 94th FLOOR PLANS - PIPING
(MFD-131st-132nd FLOOR)**

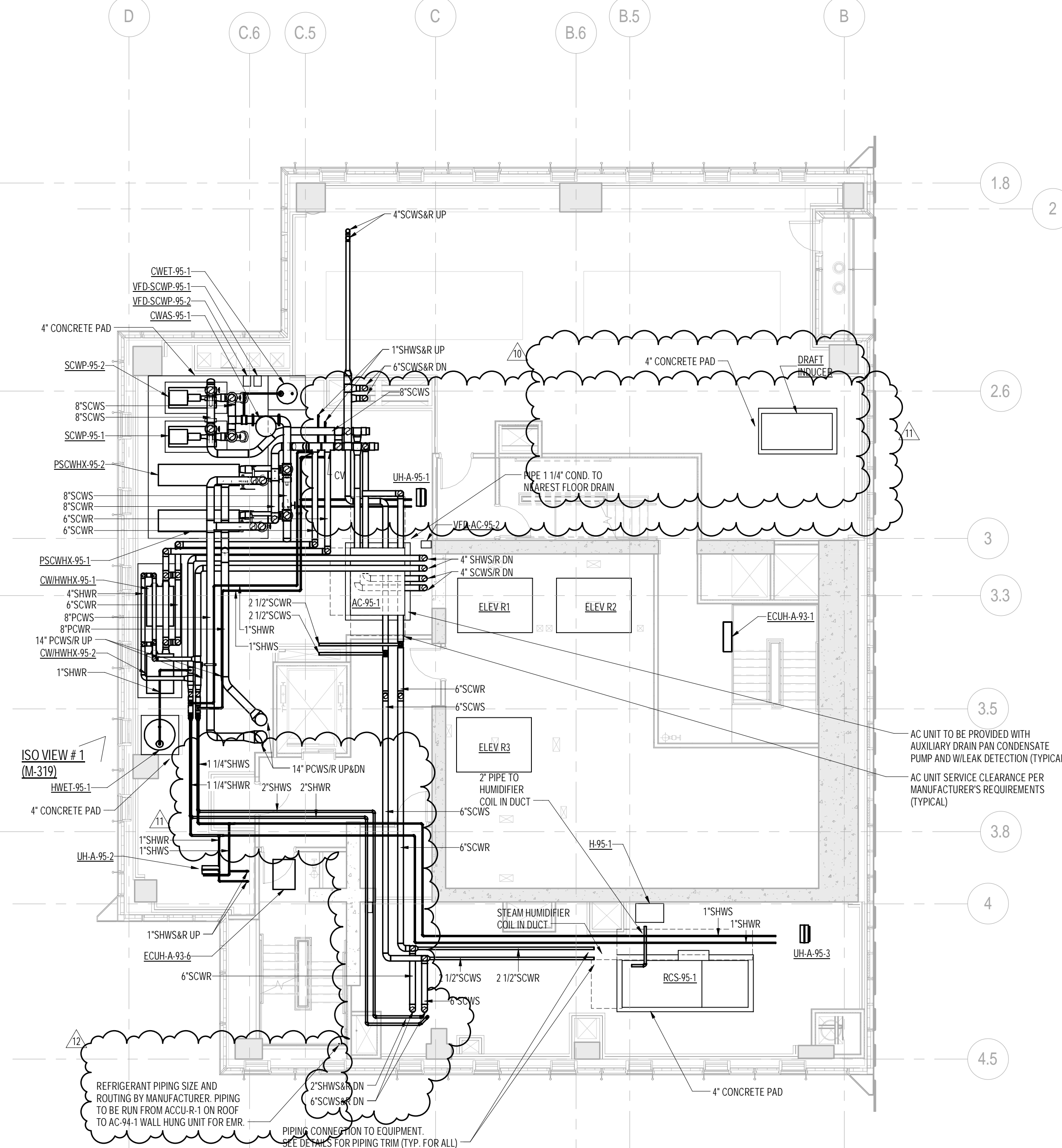
SEAL & SIGNATURE:	DATE:	04/04/14
	PROJECT No:	Y130747-000
	DRAWN: MY	REV:
	CHK: PHS	SCALE: As indicated
	DWG No:	M-268.02

DOB PAGE No: 89 of 132

DOB EMPLOYEE STAMP: DOB B-SCAN:

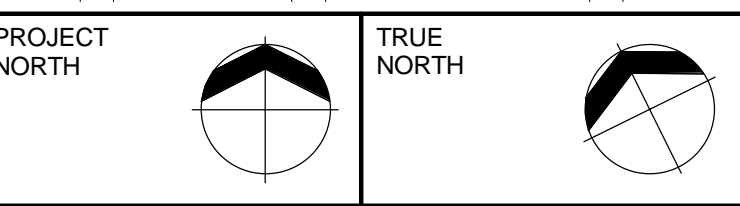
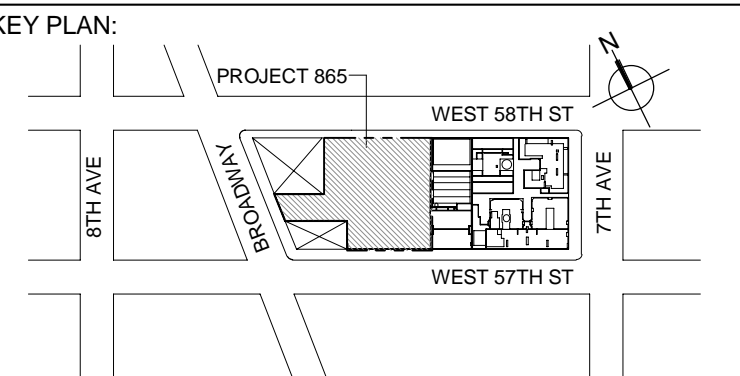


96th FLOOR PLAN
SCALE: 1/8" = 1'-0"



95th FLOOR PLAN
SCALE: 1/8" = 1'-0"

- PIPING NOTES:
1. RUN CONDENSATE LINE FROM AC UNITS TO NEAREST FLOOR DRAIN. COORDINATE WITH PLUMBING PLANS.
 2. ALL PIPING SHALL BE INSULATED PER MECHANICAL SPECIFICATIONS.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

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ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
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INTERIOR DESIGNER: Residential
Rotter Architecture and Design Studio, PLLC
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TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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No.	DESCRIPTION	DATE
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2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	ISSUED FOR BID - RESIDENTIAL FIT-OUT PIPING	17 NOV 2014
7	DOB SUBMISSION	19 DEC 2014
8	CD PROGRESS ISSUE 5	10 AUG 2015
9	DOB AMENDMENT 2	18 SEP 2015
10	CD PROGRESS ISSUE 6	02 NOV 2015
11	CD PROGRESS ISSUE 7	29 JAN 2016
12	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
13	CD BULLETIN ISSUE 4	15 JUL 2016
14	CD BULLETIN ISSUE 7	14 SEPT 2016
15	DOB AMENDMENT 3	03 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

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ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
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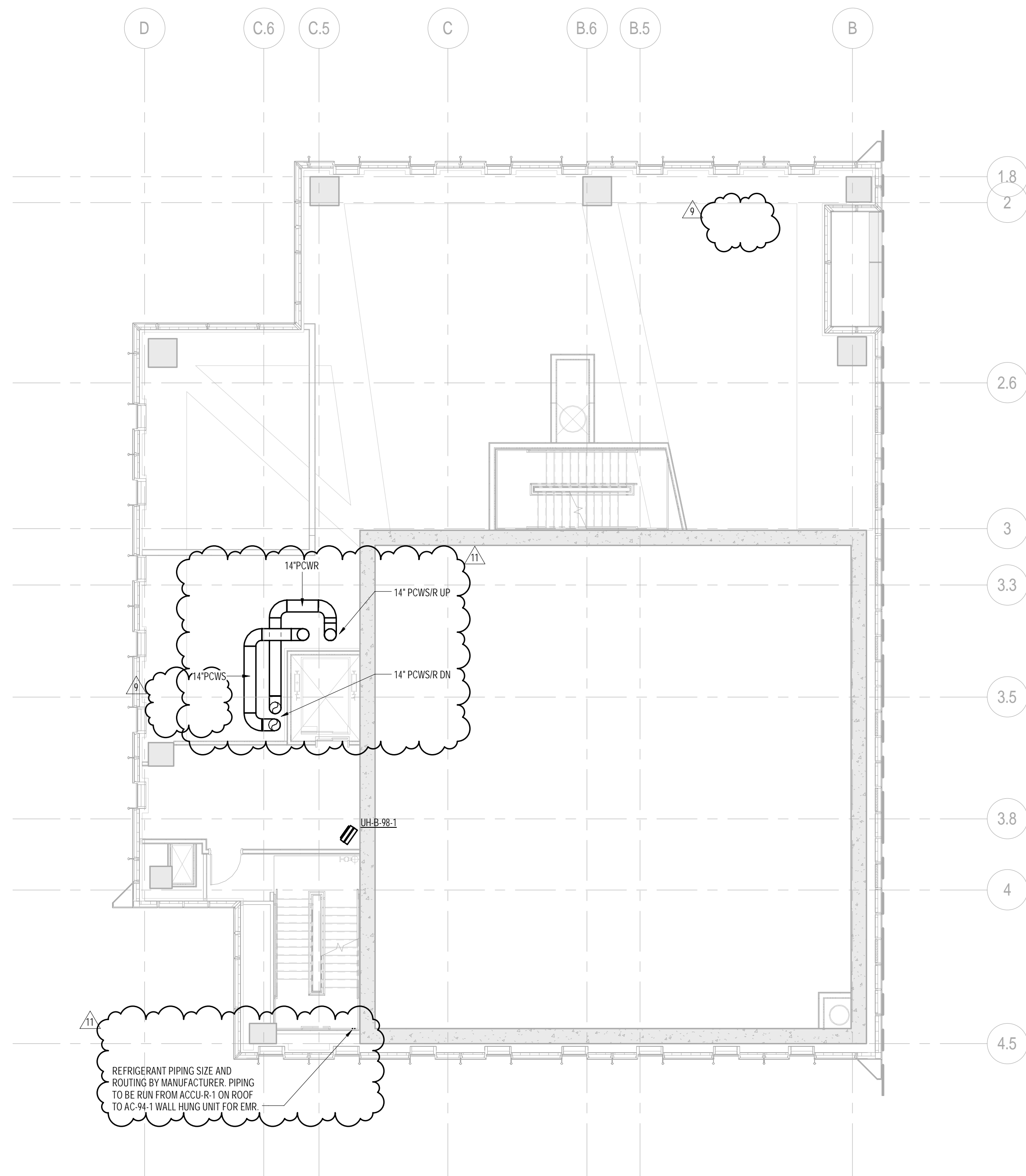
PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**MECHANICAL
95th and 96th FLOOR PLANS - PIPING
(MFD-133rd-134th FLOOR)**

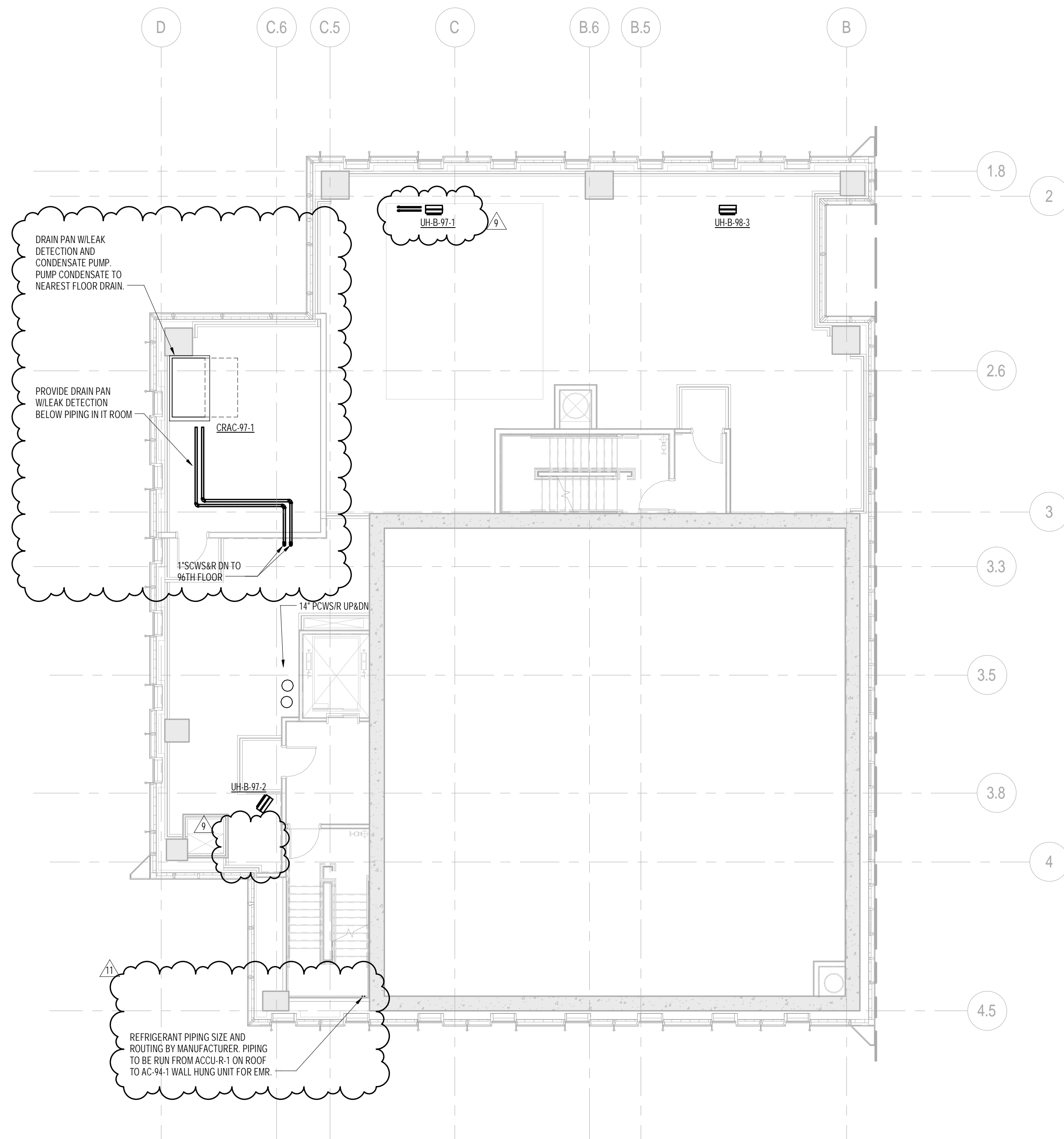
SEAL & SIGNATURE:	DATE:	04/04/14
	PROJECT No:	Y130747-000
	DRAWN: MY	REV:
	CHK: PHS	15
	SCALE: As indicated	
DWG No:	M-269.02	

DOB PAGE No: 81 of 132

DOB EMPLOYEE STAMP: DOB B-SCAN:



2 98th FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 97th FLOOR PLAN
SCALE: 1/8" = 1'-0"

DEPT OF BLDGS 21533201
JOB NUMBER
JOB CODE

TRUE NORTH

KEY PLAN

PROJECT NORTH

DEVELOPER:
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INTERIOR DESIGNER:
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TEL: 212 479 5400 FAX: 212 479 5444

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8	DOB AMENDMENT 2	18 SEP 2015
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10	CD PROGRESS ISSUE 7	29 JAN 2016
11	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
12	CD BULLETIN ISSUE 4	15 JUL 2016
13	DOB AMENDMENT 3	01 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

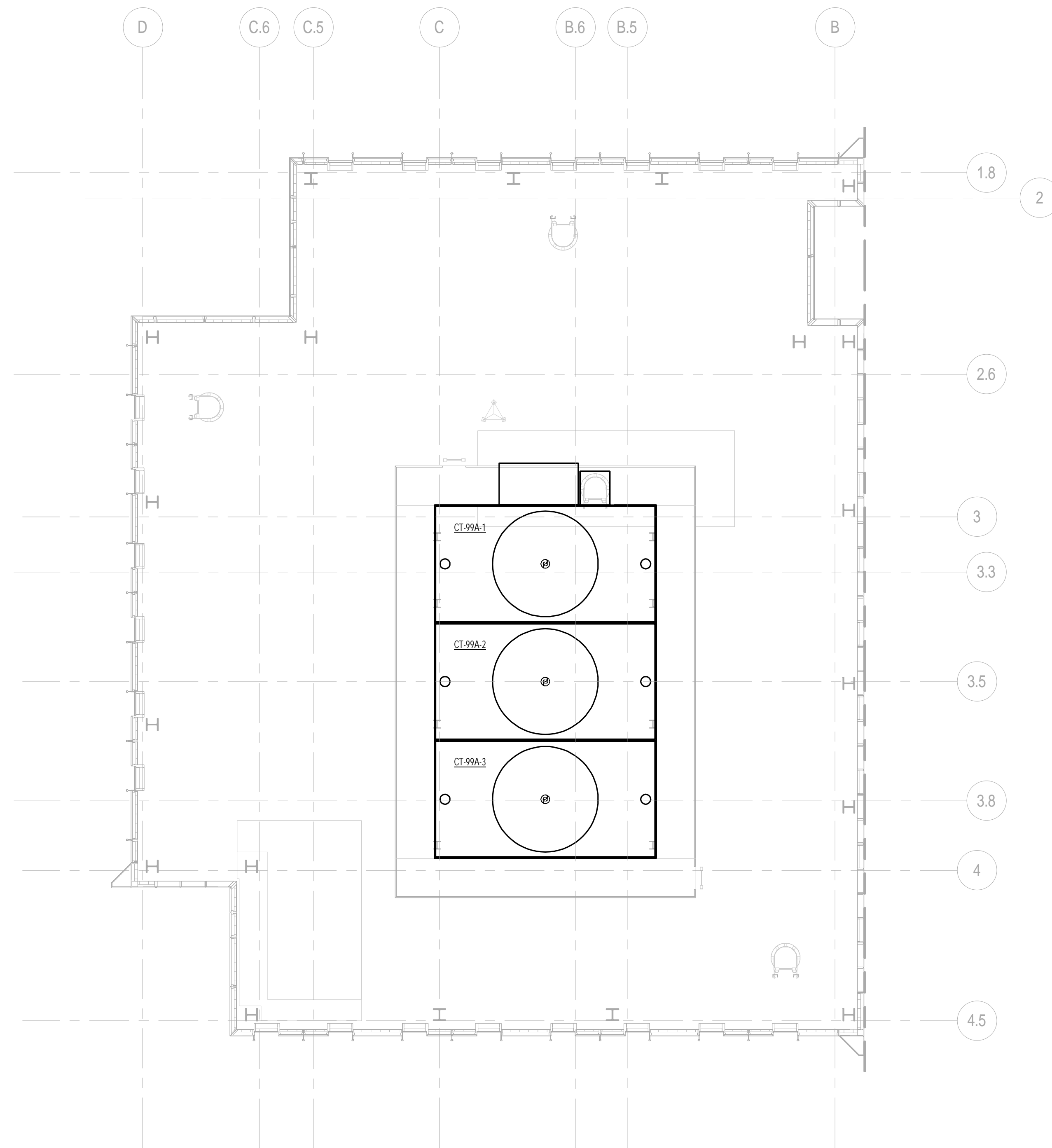
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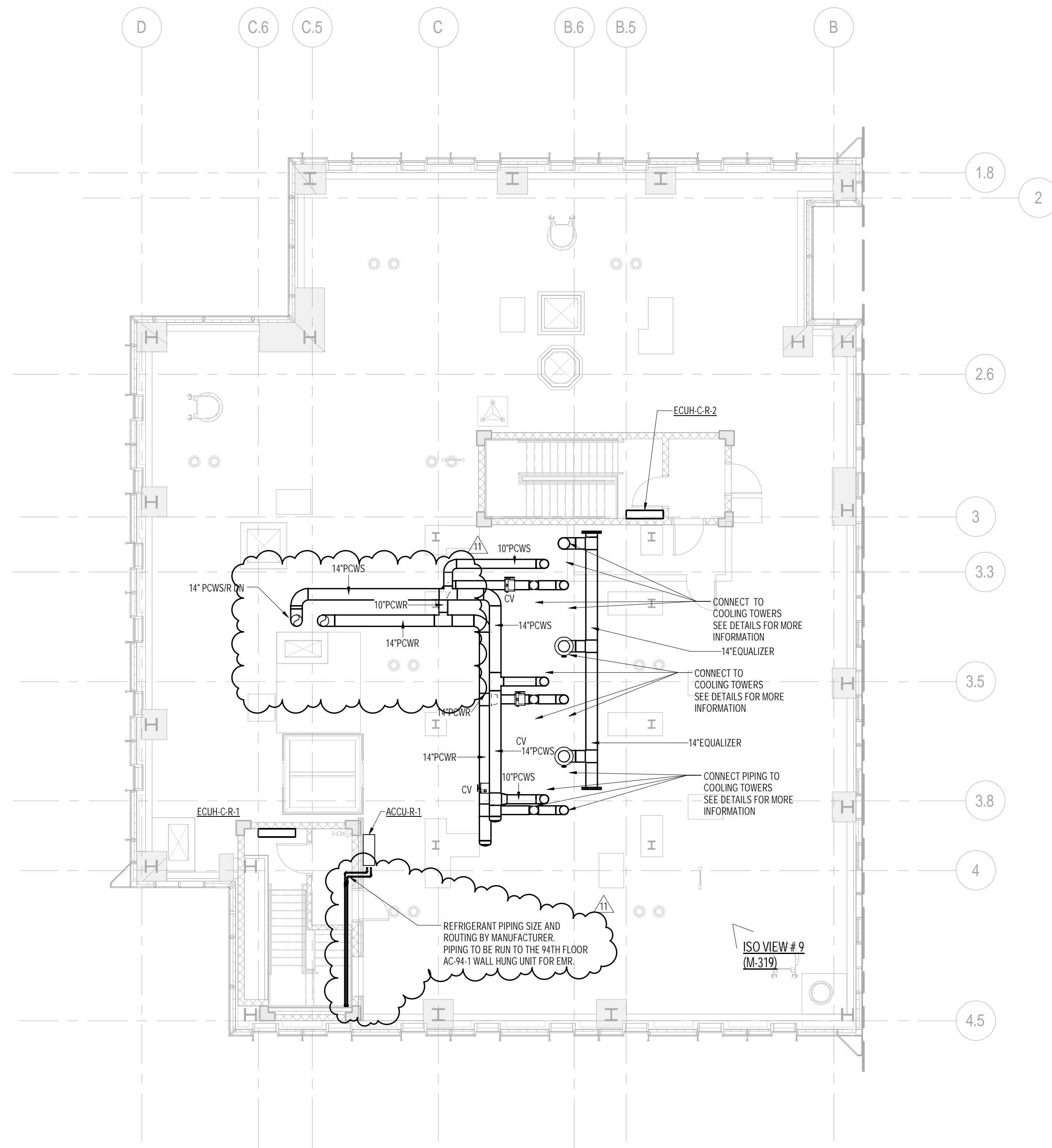
CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
PROJECT: 217 WEST 57TH STREET, NEW YORK, NY

DRAWING TITLE:
MECHANICAL
97th and 98th FLOOR PLANS - PIPING
(MFD-135th-136th FLOOR)

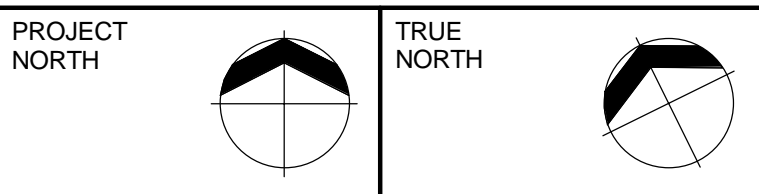
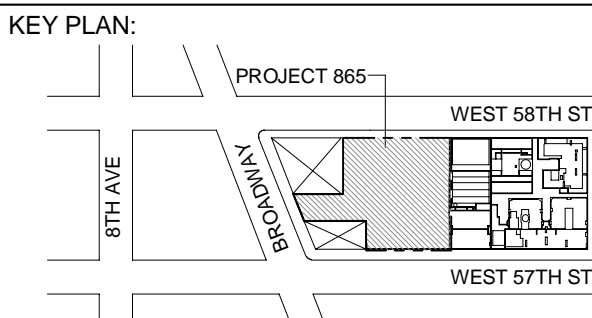
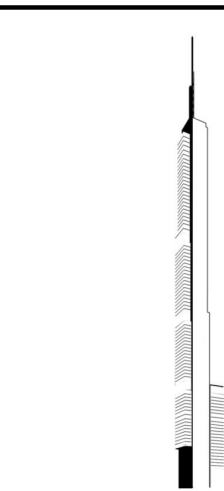
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DWG No:	M-270.02	
DOB PAGE No:	82 of 132	
DOB EMPLOYEE STAMP:	DOB B-SCAN:	



2 BMU FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 99th FLOOR PLAN
SCALE: 1/8" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
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TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
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Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
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TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 5	10 AUG 2015
8	DOB AMENDMENT 2	18 SEP 2015
9	CD PROGRESS ISSUE 6	02 NOV 2015
10	CD PROGRESS ISSUE 7	29 JAN 2016
11	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
12	DOB AMENDMENT 3	03 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

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ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10005
T: 212 354 5656 F: 212 354 5668
PROJECT: 201705030001-01-001

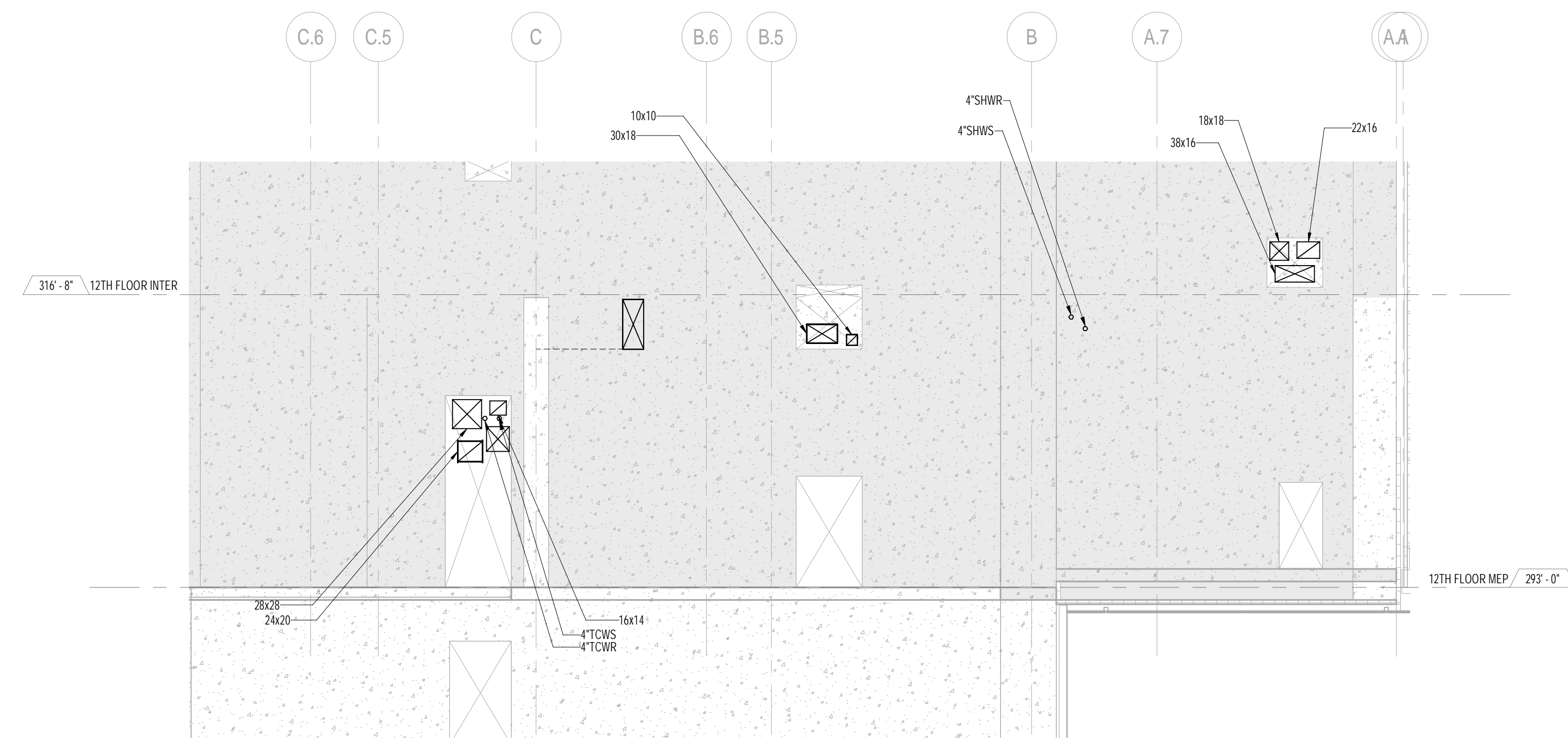
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
MECHANICAL
99th and BMU FLOOR PLANS -
PIPING (MFD-137th FLOOR
ROOF-COOLING TOWERS/BMU)

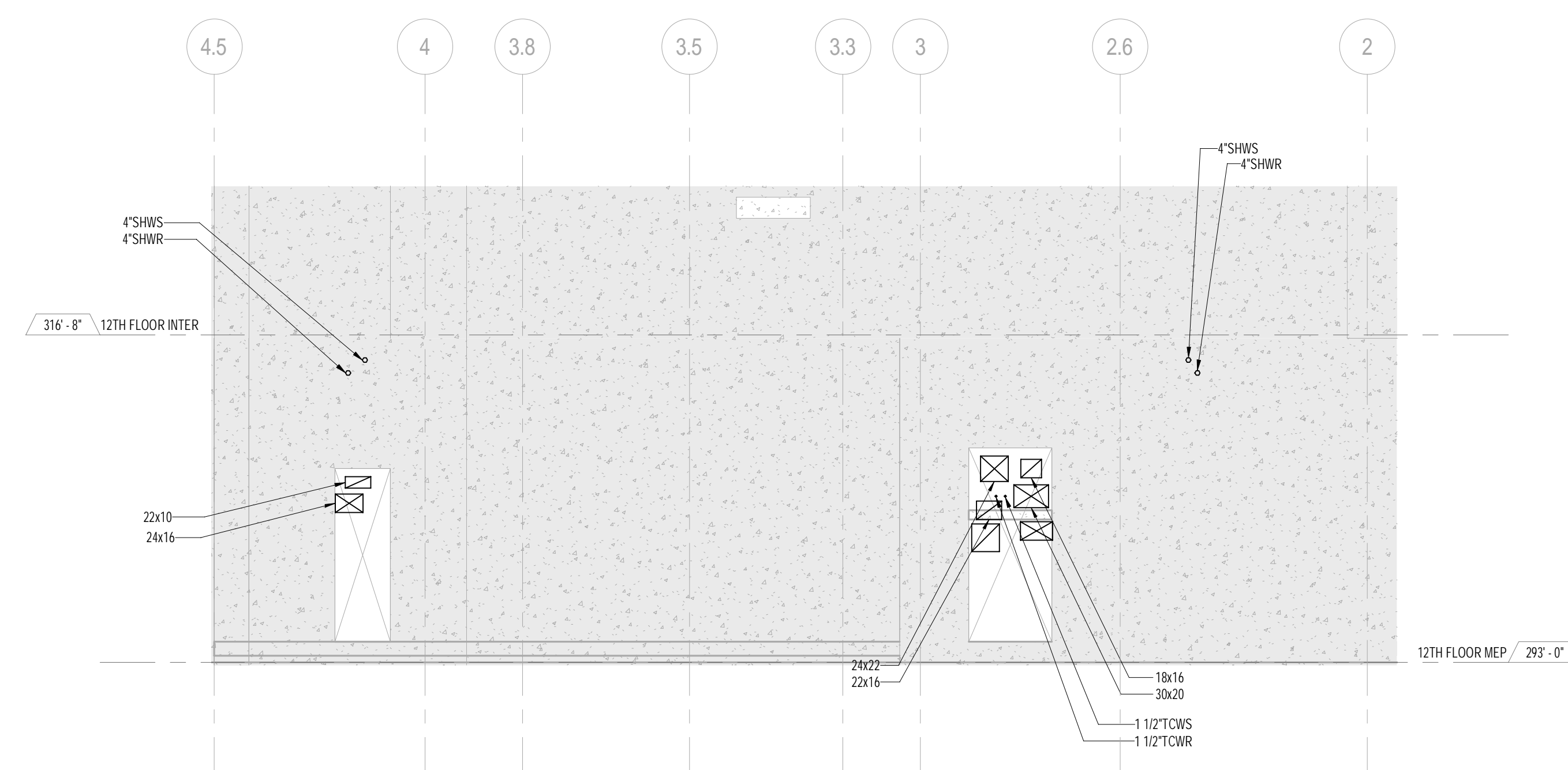
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DOB PAGE No: 83 of 132

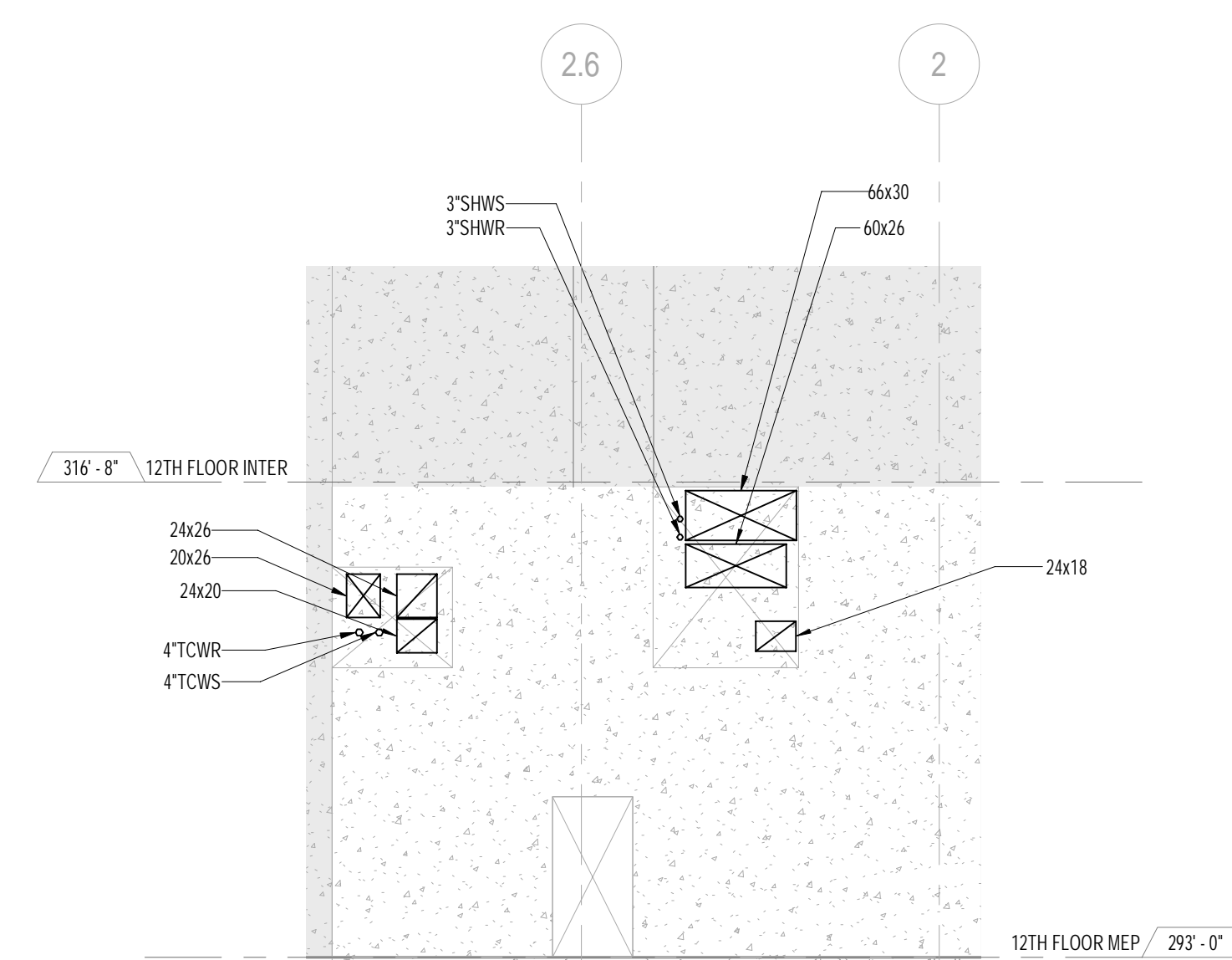
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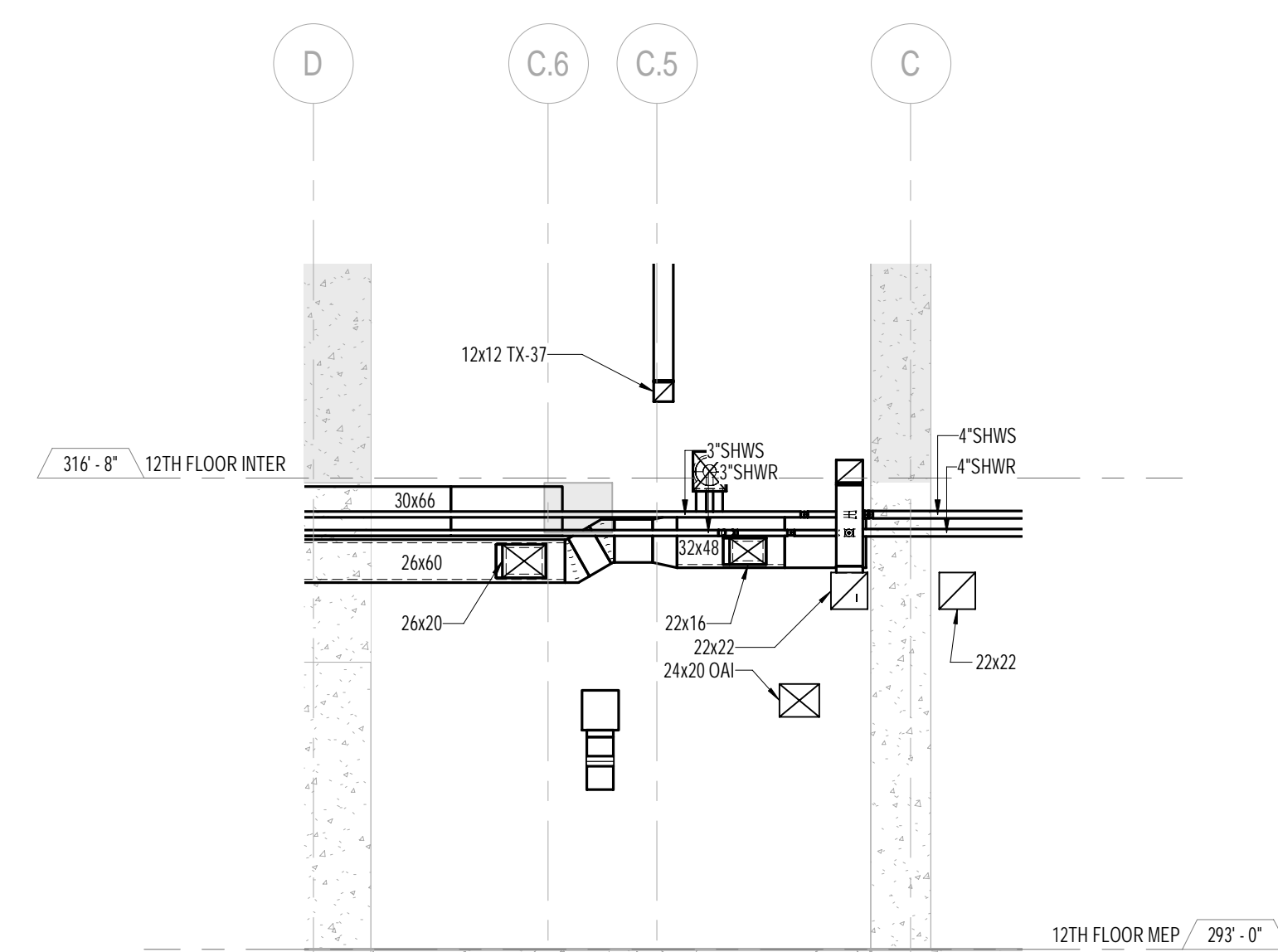
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SCALE: 1/8" = 1'-0"



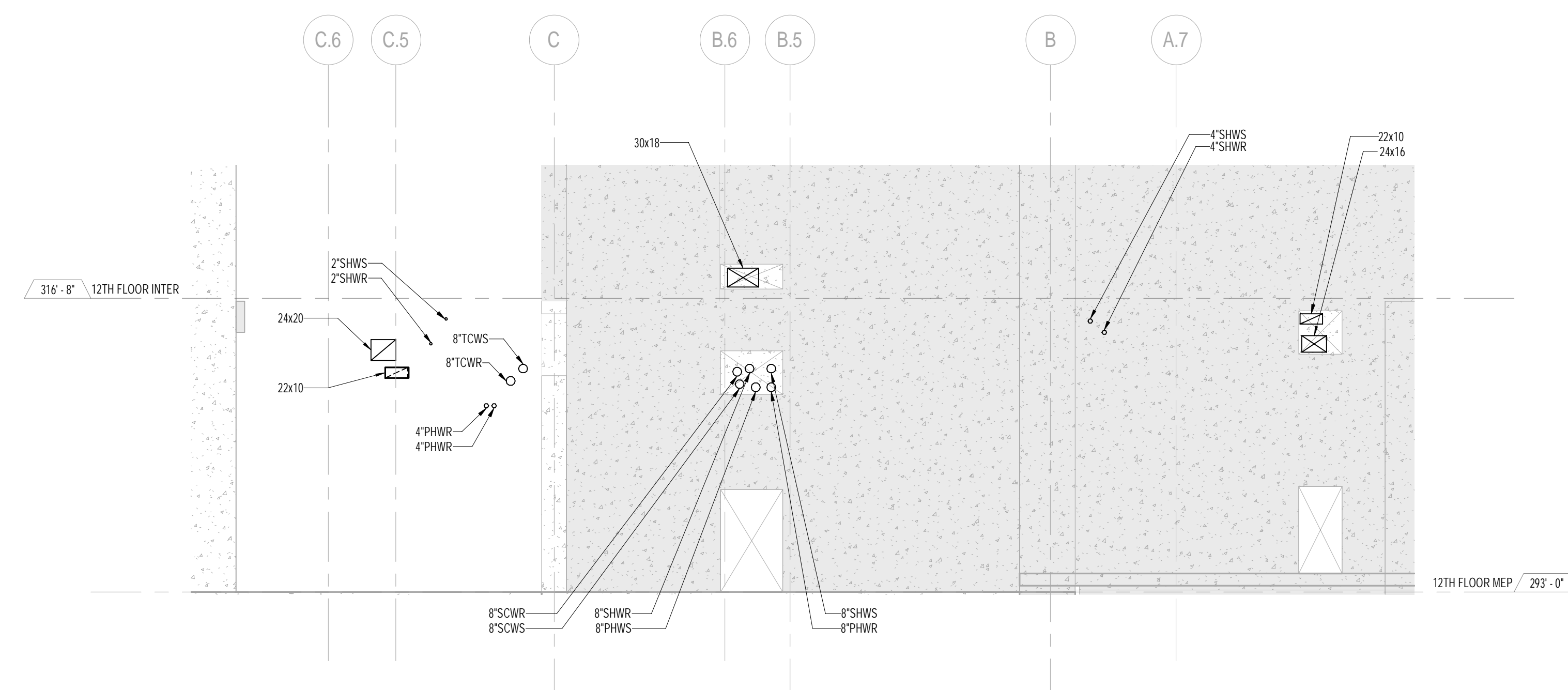
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SCALE: 1/8" = 1'-0"



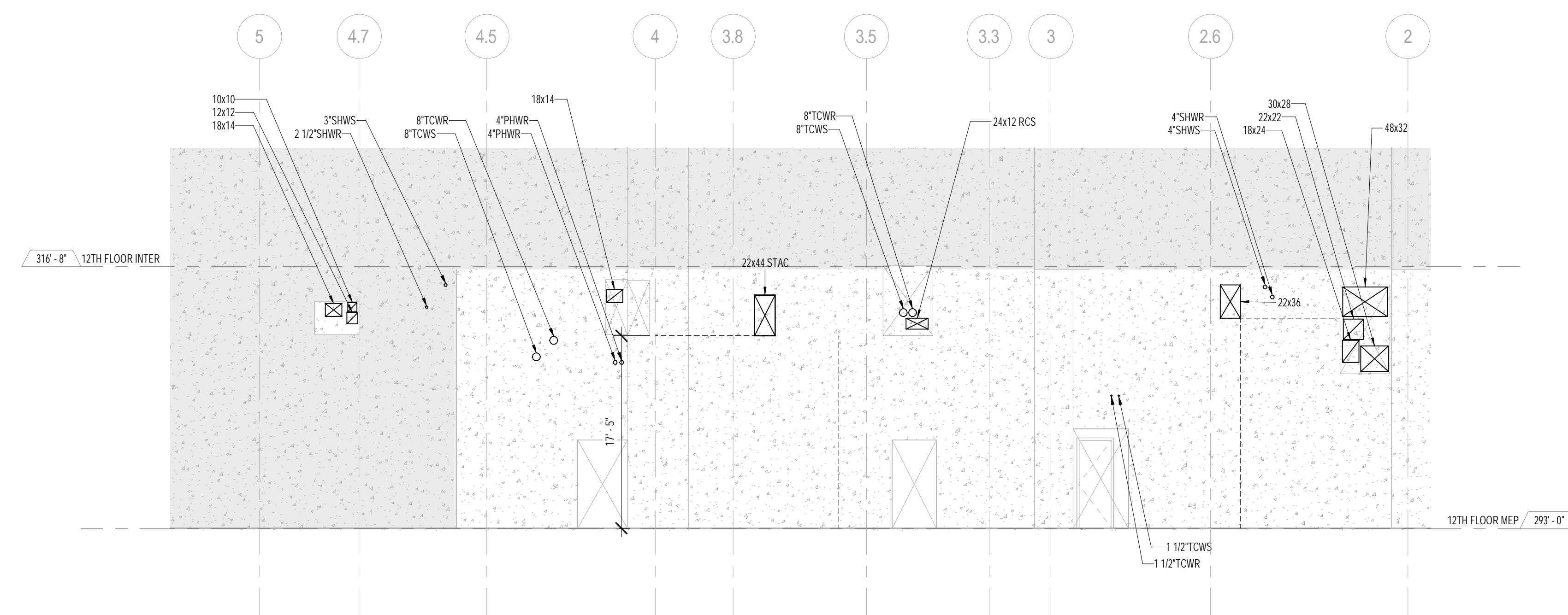
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SCALE: 1/8" = 1'-0"



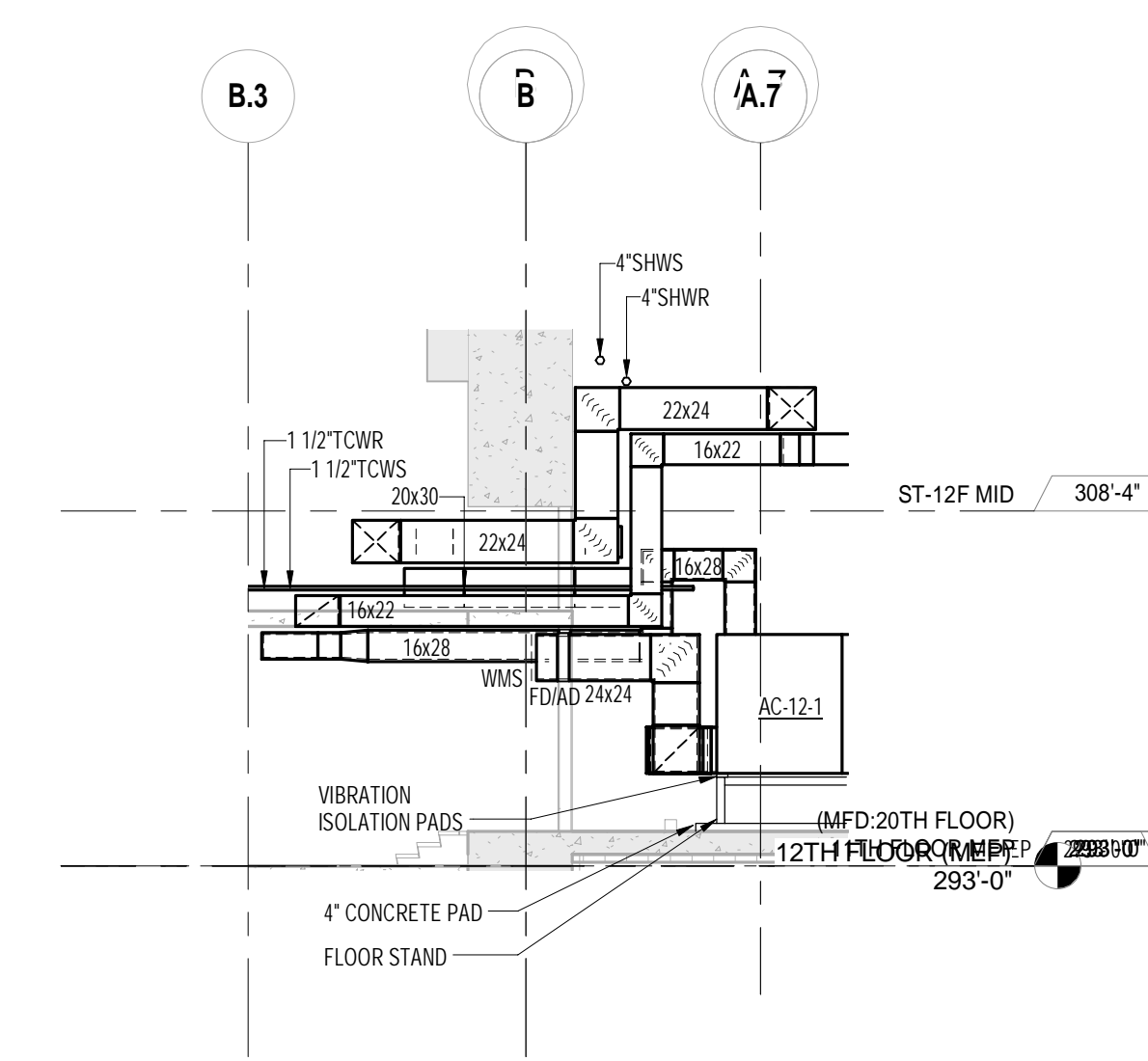
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SCALE: 1/8" = 1'-0"



2 12TH FLOOR - G.L. 4 ELEVATION
SCALE: 1/8" = 1'-0"



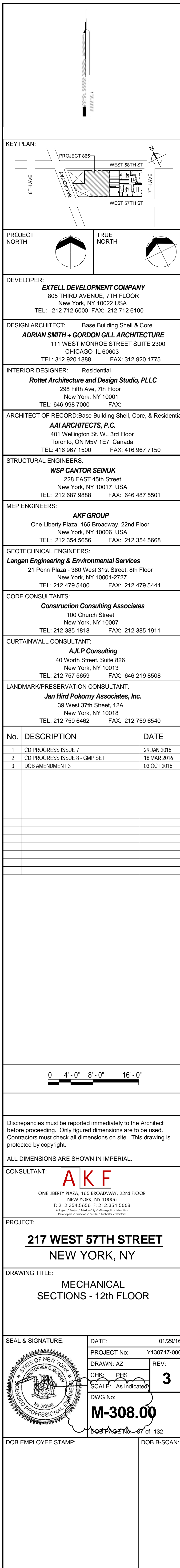
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SCALE: 1/8" = 1'-0"

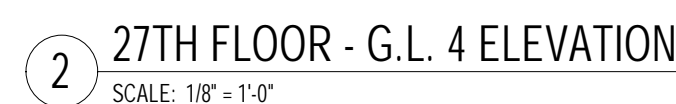
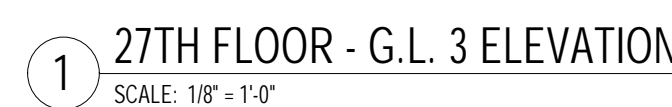


7 12TH FLOOR - MER ELEVATION 2
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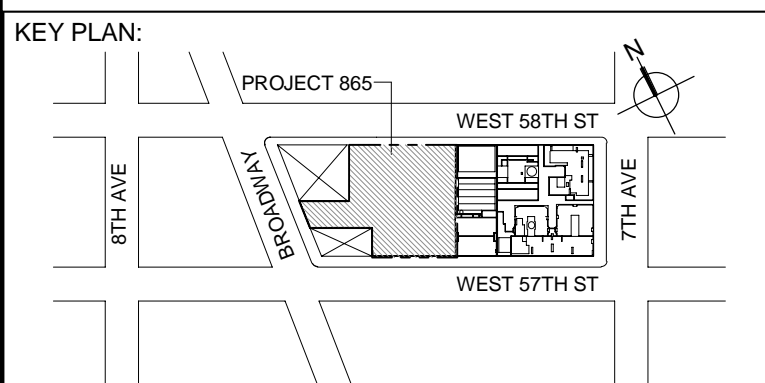
1. ALL PIPING TO BE PROVIDED WITH SLEEVES FOR OPENINGS BASED ON PIPE SIZE WITH ANY INSULATION REQUIREMENTS. PROVIDE FOR DESIGN REVIEW ON A COMPOSITE TRADE SLEEVE AND SLAB SHOP DRAWING.
2. REFERT TO STRUCTURAL DRAWINGS FOR EXACT ELEVATION AND LOCATION OF SHEAR WALL OPENINGS.







NOTE:

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2. REFERT TO STRUCTURAL DRAWINGS FOR EXACT ELEVATION AND LOCATION OF SHEAR WALL OPENINGS.



PROJECT NORTH 	TRUE NORTH 
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805 THIRD AVENUE, 7TH FLOOR
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111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
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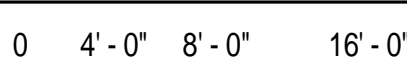
AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
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NEW YORK, NY 10006
T: 212.354.5656 F: 212.354.5668
*Atlanta / Boston / Mexico City / Minneapolis / New York
Philadelphia / Syracuse / Toronto / Washington / Stamford*


PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

MECHANICAL
SECTIONS -27th FLOOR

SEAL & SIGNATURE:	DATE:	01/29/16
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	DRAWN: A7	REV:

CHK: MS/PHS 3

SCALE: As indicated

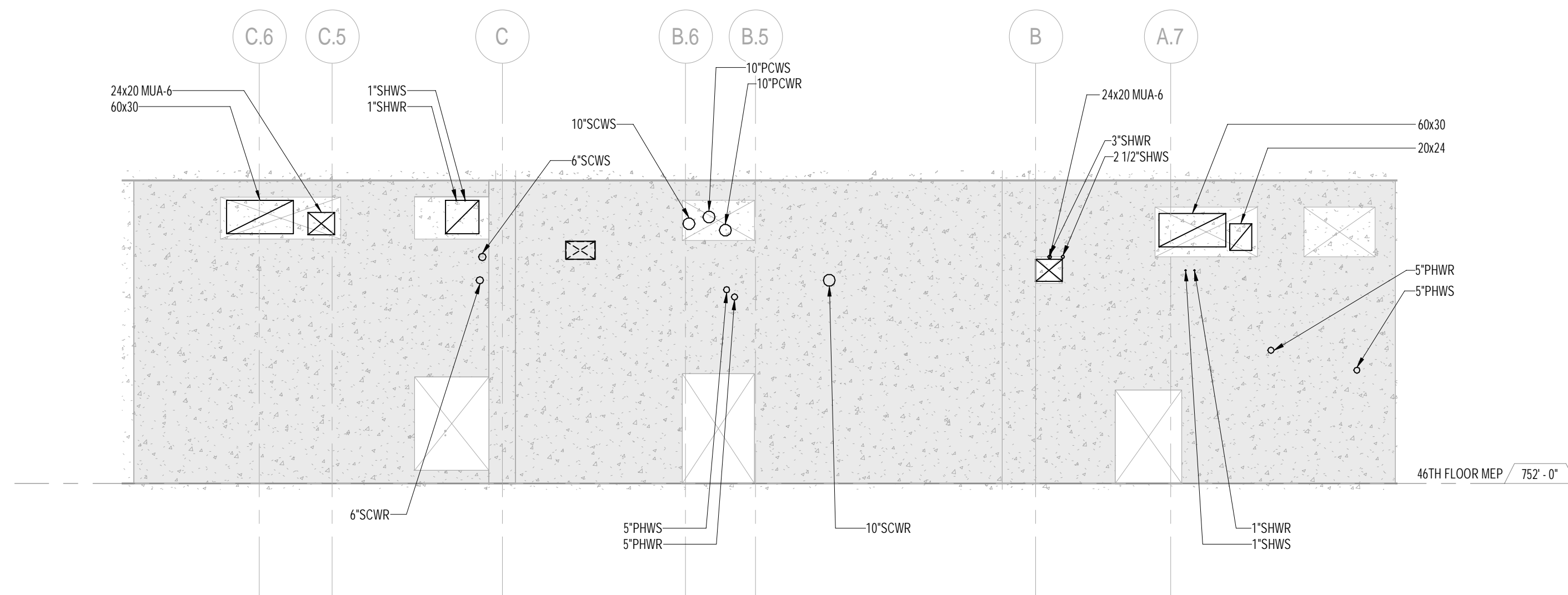
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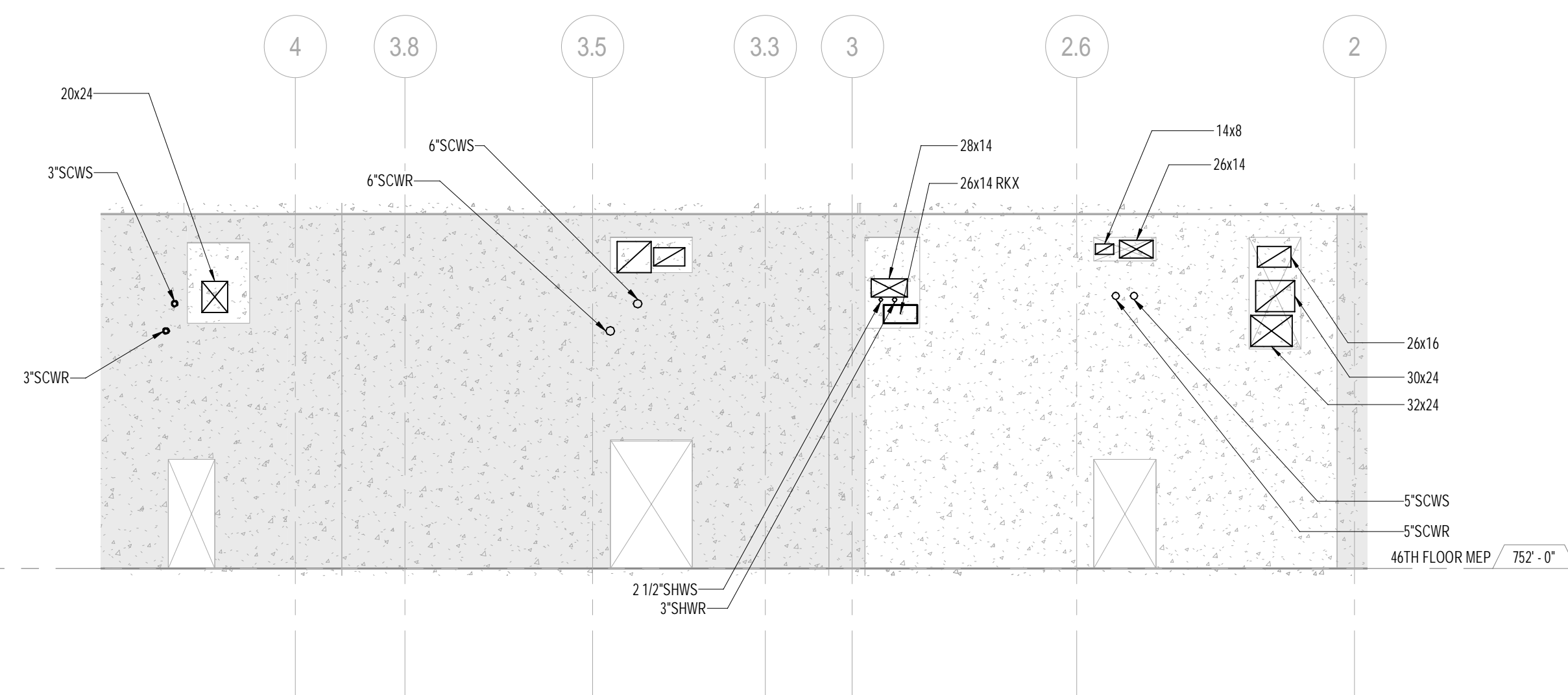
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MF-505.00

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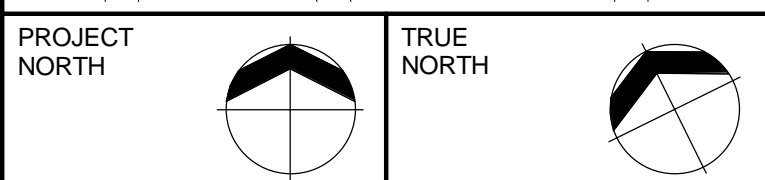
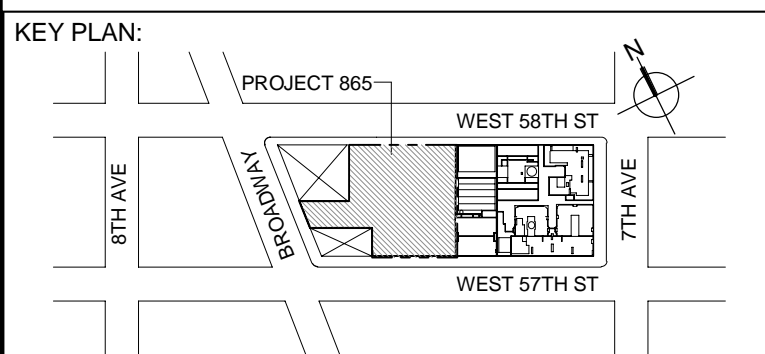


2 46TH FLOOR - G.L. 4 ELEVATION
SCALE: 1/8" = 1'-0"



4 46TH FLOOR - G.L. C ELEVATION
SCALE: 1/8" = 1'-0"

1. ALL PIPING TO BE PROVIDED WITH SLEEVES FOR OPENINGS BASED ON PIPE SIZE WITH ANY INSULATION REQUIREMENTS. PROVIDE FOR DESIGN REVIEW ON A COMPOSITE TRADE SLEEVE AND SLAB SHOP DRAWING.
2. REFER TO STRUCTURAL DRAWINGS FOR EXACT ELEVATION AND LOCATION OF SHEAR WALL OPENINGS.



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
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 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:

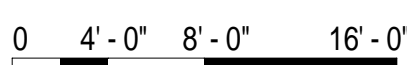
AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
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21 Penn Plaza - 360 West 31st Street, 8th Floor
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LANDMARK/PRESERVATION CONSULTANT:
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Atlanta / Boston / Mexico City / Minneapolis / New York

PROJECT:


217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

MECHANICAL
SECTIONS - 46th FLOOR

SEAL & SIGNATURE:	DATE:	01/28/16
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 PROJECT No: Y130747-000

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	DATE:	

CHK: PHS 3

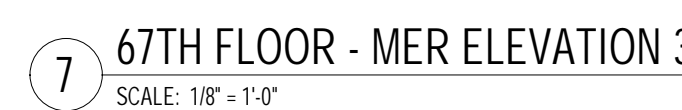
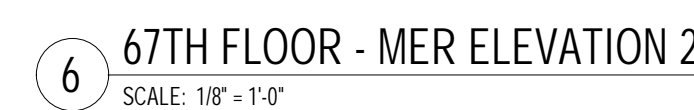
SCALE: as indicated

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BUREAU OF LAND MANAGEMENT


M-310.00

DOJ PAGE No. 89 of 132

DOB EMPLOYEE STAMP:	DOB B-SCAN:
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DOB EMPLOYEE STAMP:	DOB B-SCAN:

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CONSULTANT: A K F

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Atlanta / Boston / Chicago / Dallas / Denver / Detroit / Houston / Los Angeles / Miami / New York / Phoenix / San Francisco / Seattle / Tampa / Washington, DC

PROJECT:

247 WEST 5TH STREET

217 WEST 57TH STREET

NEW YORK, NY


DRAWING TITLE:


MECHANICAL

SECTIONS - 67th FLOOR

SEAL & SIGNATURE:	DATE:	01/20/16
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DATE:	07/28/10
PROJECT No:	Y130747-000

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	DATE:		

	CHK: PHS	3

SCALE: As indicated

DWG No: _____


M-311.00

Page 122 of 122

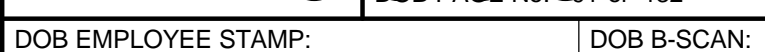
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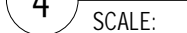
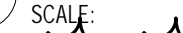
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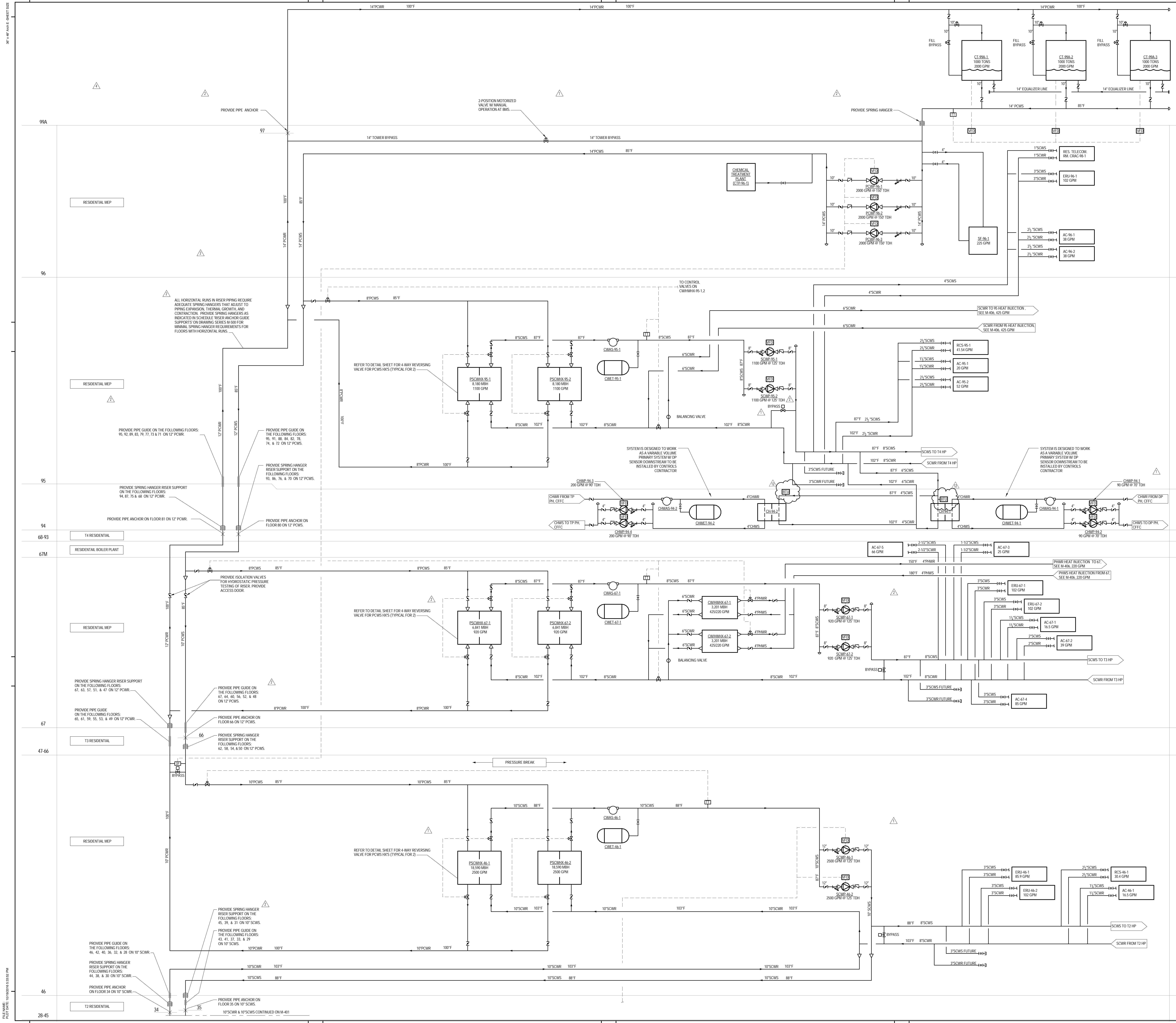
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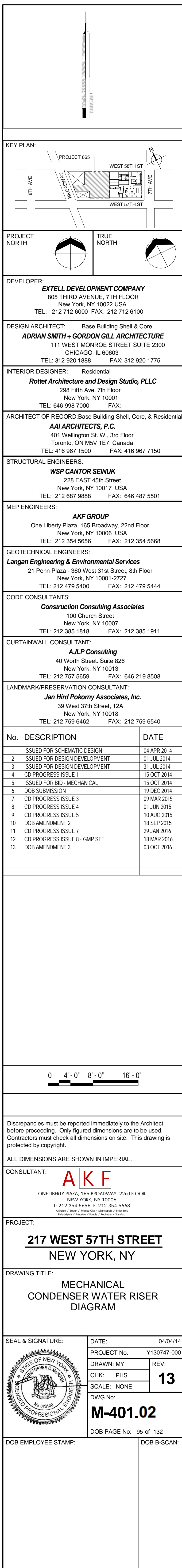
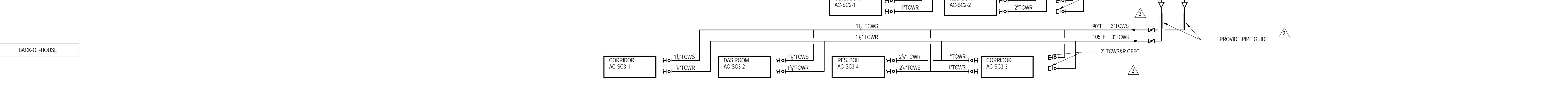


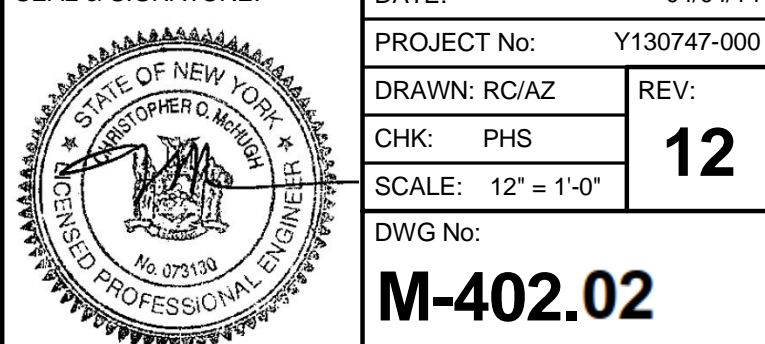
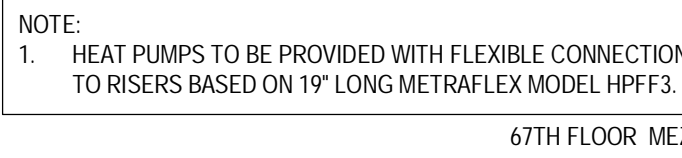
- NOTE:**
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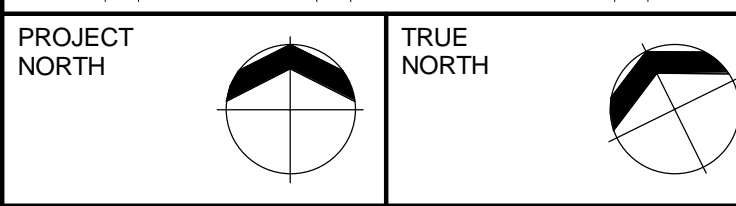
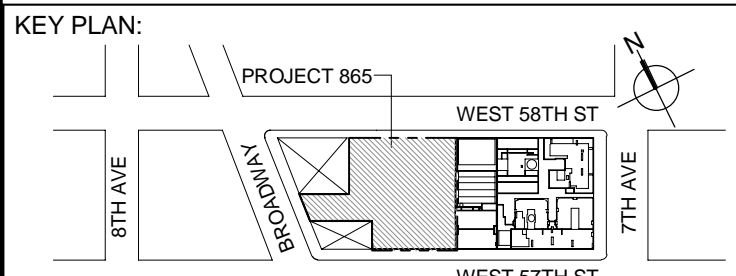
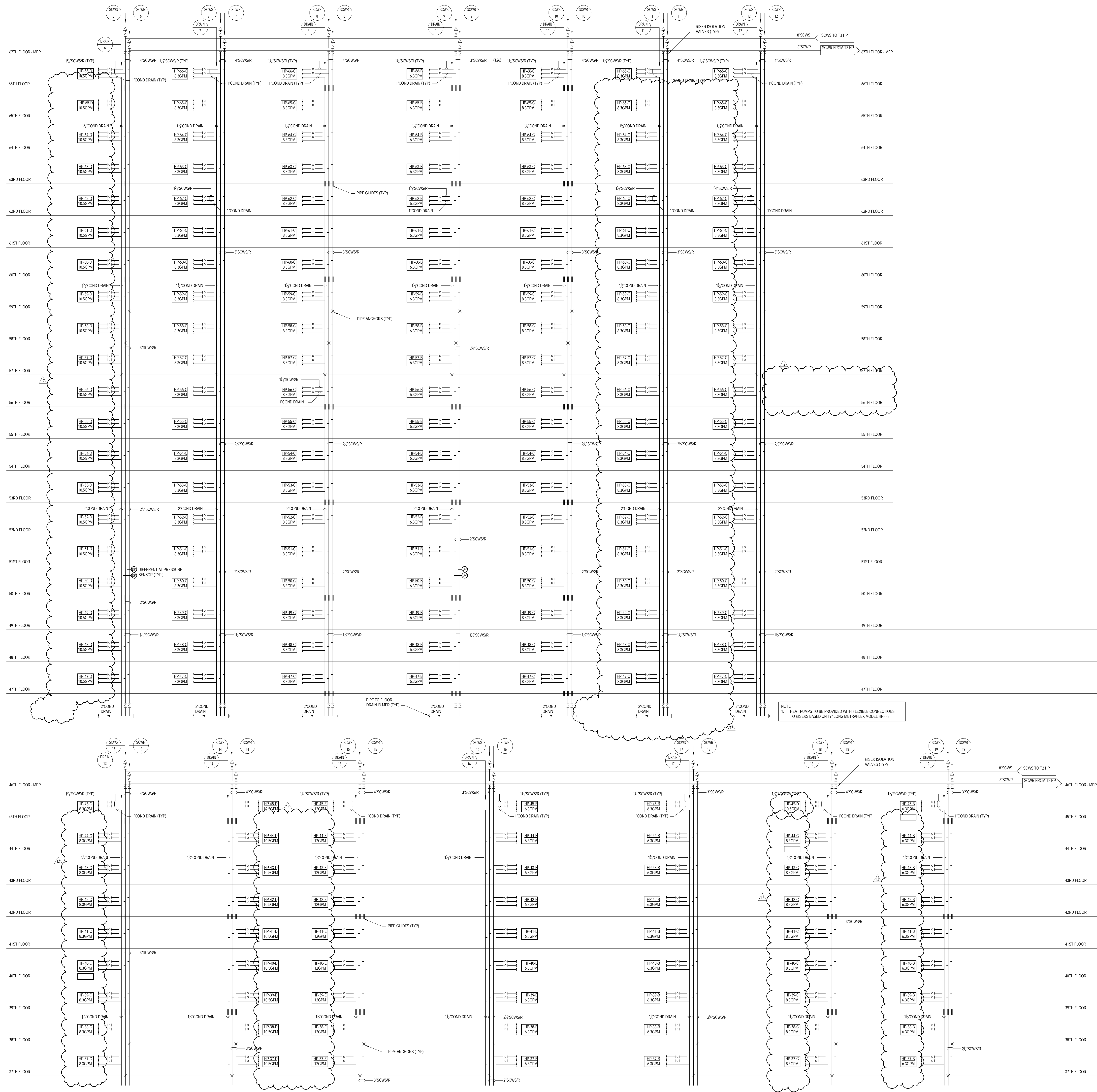












DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
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TEL: 212 712 6000 FAX: 212 712 6100

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ADRIAN SMITH + GORDON GILL ARCHITECTURE
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TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
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TEL: 646 998 7000 FAX: 646 487 5501

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No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - RESIDENTIAL FIT-OUT PWG	17 NOV 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 5	19 AUG 2015
8	DOB AMENDMENT 2	18 SEP 2015
9	CD PROGRESS ISSUE 6	02 NOV 2015
10	CD PROGRESS ISSUE 7	27 JAN 2016
11	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
12	CD BULLETIN ISSUE 3	25 MAY 2016
13	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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T: 212 354 5656 F: 212 354 5668
PROJECT: **217 WEST 57TH STREET NEW YORK, NY**

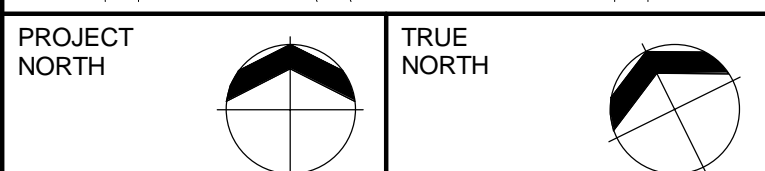
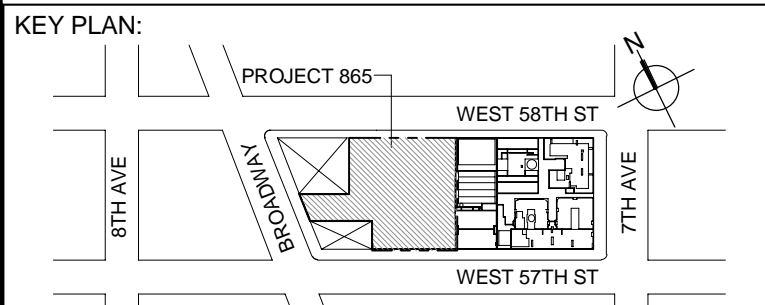
DRAWING TITLE: **MECHANICAL CONDENSER WATER RISER DIAGRAM**

SEAL & SIGNATURE: [Signature] DATE: 04/04/14
PROJECT No: Y130747-000
DRAWN: RCIAZ REV: 13
CHK: PHS SCALE: NONE
DWG No: **M-403.02**
DOB EMPLOYEE STAMP: [Stamp] DOB PAGE No: 97 of 132 DOB B-SCAN:



NOTE:
1. HEAT PUMPS TO BE PROVIDED WITH FLEXIBLE CONNECTIONS TO RISERS BASED ON 1/2" LONG METRILEX MODEL HPFF3.

NOTE:
1. HEAT PUMPS TO BE PROVIDED WITH FLEXIBLE CONNECTIONS TO RISERS BASED ON 1/2" LONG METRILEX MODEL HPFF3.



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805 THIRD AVENUE, 7TH FLOOR
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
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TEL: 212 759 6482 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	21 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BD - RESIDENTIAL FIT-OUT PIRING	17 NOV 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 4	01 JAN 2015
8	CD PROGRESS ISSUE 5	10 AUG 2015
9	DOB AMENDMENT 2	18 SEP 2015
10	CD PROGRESS ISSUE 6	30 NOV 2015
11	CD PROGRESS ISSUE 7 - CAMP SET	29 JAN 2016
12	CD PROGRESS ISSUE 8 - CAMP SET	18 MAR 2016
13	CD BULLETIN ISSUE 2	26 MAY 2016
14	CD BULLETIN ISSUE 3	25 MAY 2016
15	DOB AMENDMENT 3	03 OCT 2016

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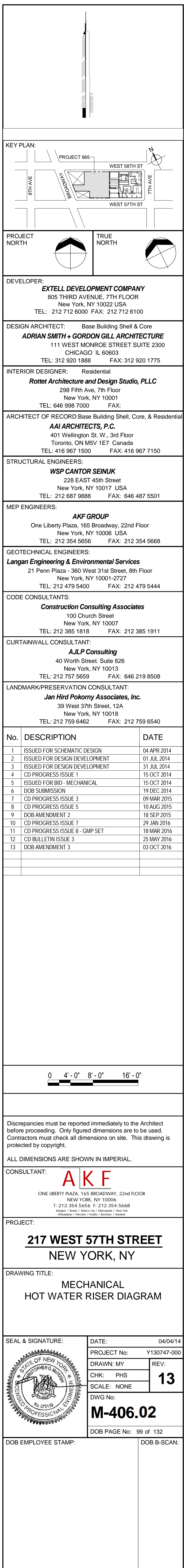
CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
WWW.AKF-ENGINEERS.COM

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**MECHANICAL
CONDENSER WATER RISER
DIAGRAM**

SEAL & SIGNATURE: [Signature]
DATE: 04/04/14
PROJECT No: Y130747-000
DRAWN: RCIAZ
CHK: PHS
SCALE: NONE
DWG No: **M-404.02**

DOB EMPLOYEE ID: 88 of 132
DOB B-SCAN:







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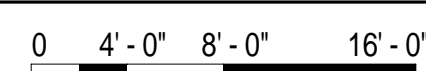
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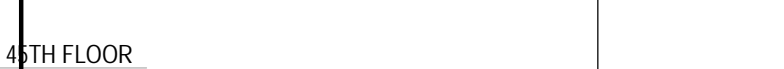
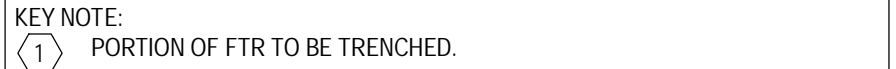
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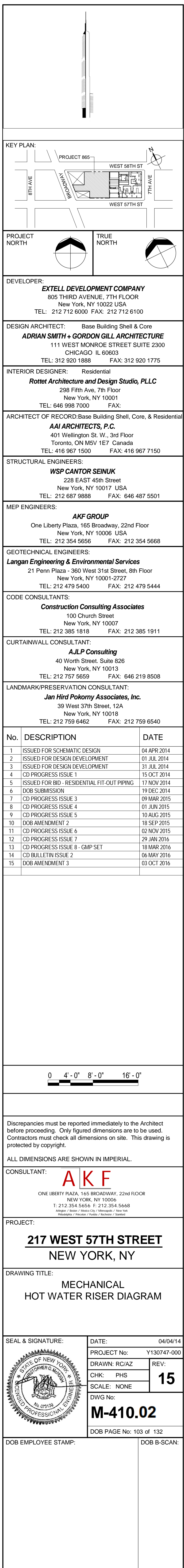
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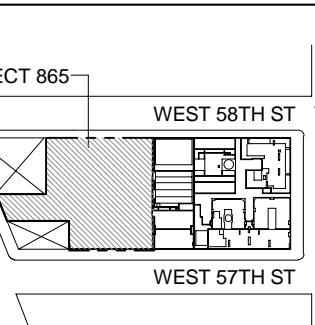
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DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
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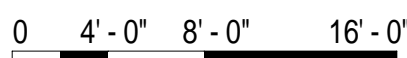
GEOTECHNICAL ENGINEERS:
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21 Penn Plaza - 360 West 31st Street, 8th Floor
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No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 3	09 MAR 2015
2	CD PROGRESS ISSUE 4	01 JUN 2015
3	CD PROGRESS ISSUE 5	10 AUG 2015
4	DOB AMENDMENT 2	18 SEP 2015
5	CD PROGRESS ISSUE 7	29 JAN 2016
6	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
7	CD BULLETIN ISSUE 2	06 MAY 2016
8	DOB AMENDMENT 3	03 OCT 2016



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PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
MECHANICAL
HOT WATER RISER DIAGRAM

SEAL & SIGNATURE:	DATE:	08/10/1
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DATE:	08/10/1
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PROJECT No:	Y130747-00
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DRAWN: RC/AZ	REV:
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CHK: PHS	8
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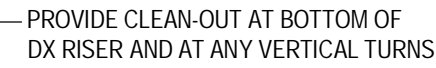
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DOB PAGE No: 104 of 132

DOB B-SCAN



COMPANY
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ET SUITE 2
312 920 177

udio, PLLC

416 967 7150

646 487 550

2nd Floor
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212 354 566

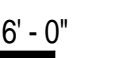
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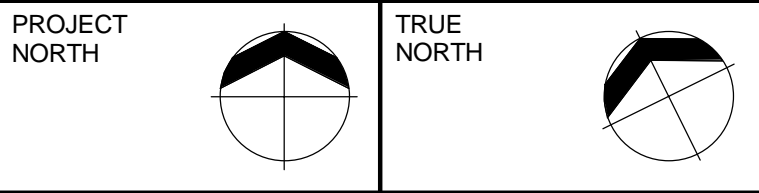
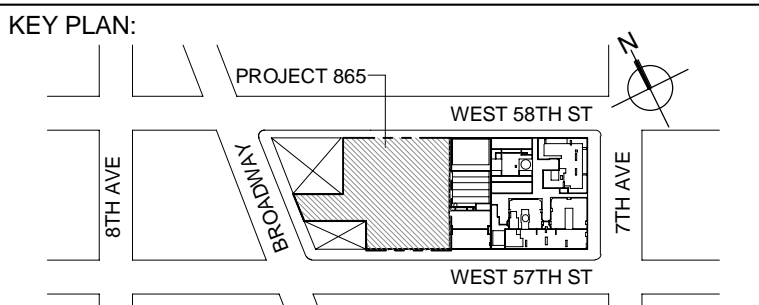
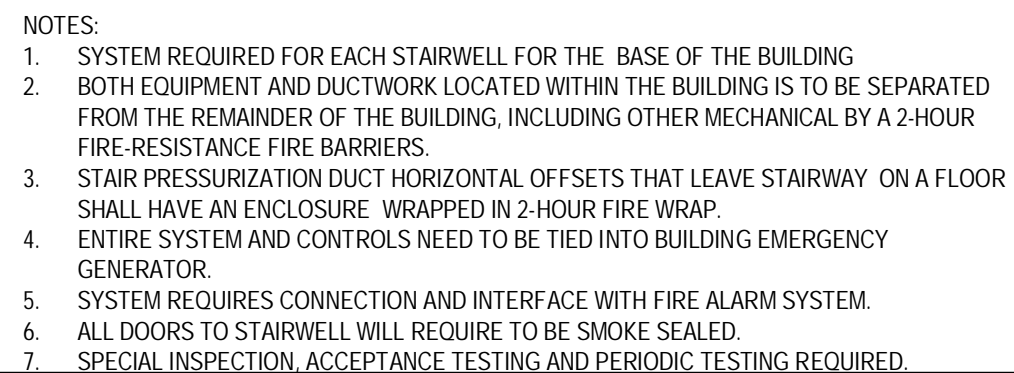
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No: 107 of 1



EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
 111 WEST MONROE STREET SUITE 2300
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 TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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MEP ENGINEERS:

AKF GROUP

One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10006 USA

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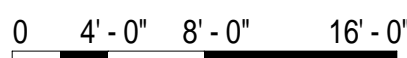
GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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Jan Hird Pokorny Associates, Inc.
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TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	D&B SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 5	10 AUG 2015
8	D&B AMENDMENT 2	18 SEP 2015
9	CD PROGRESS ISSUE 7	29 JAN 2016
10	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
11	CD BULLETIN ISSUE 2	06 MAY 2016
12	D&B AMENDMENT 3	03 OCT 2016



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*Albany / Boston / Mexico City / Minneapolis / New York
Philadelphia / Princeton / Seattle / San Francisco / Stamford*

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY


DRAWING TITLE:


MECHANICAL
LOWER LEVEL AIR RISER DIAGRAM

SEAL & SIGNATURE:	DATE:	04/04/14
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 PROJECT No: Y130747-000

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	CHK: PHS	12

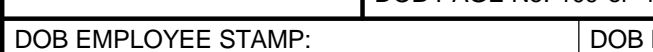
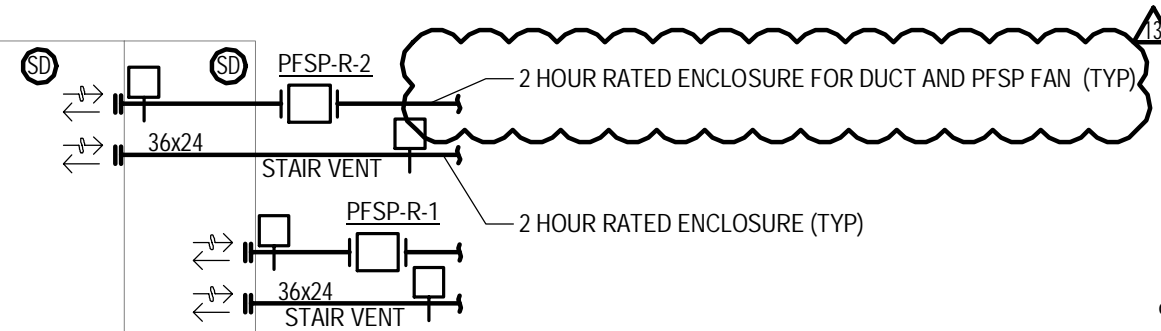
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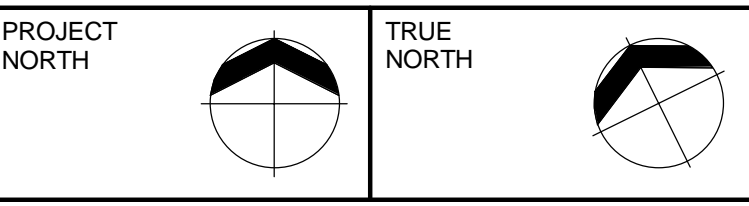
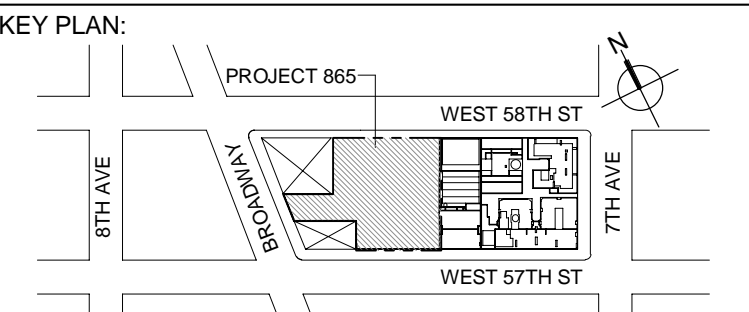
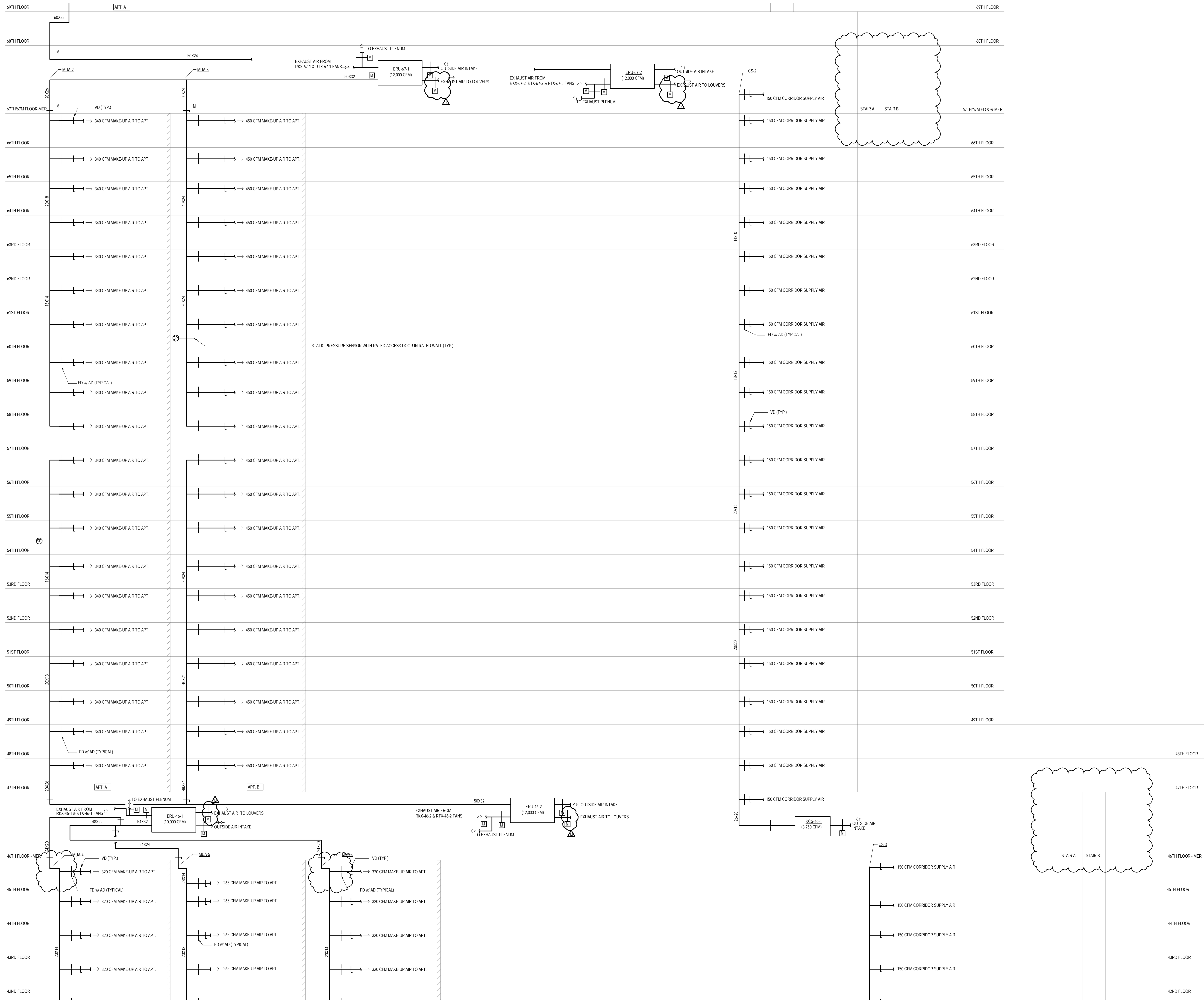
SWG No. **M 417 88**


M-417.02

DOB PAGE No: 108 of 132

DOB EMPLOYEE STAMP:	DOB B-SCAN:
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EXTELL DEVELOPMENT COMPANY
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Jan Hird Pokorny Associates, Inc.
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New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	DOB AMENDMENT 2	18 SEP 2015
9	CD PROGRESS ISSUE 6	02 NOV 2015
10	CD PROGRESS ISSUE 7	29 JAN 2016
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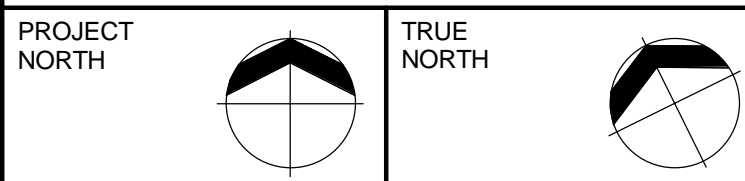
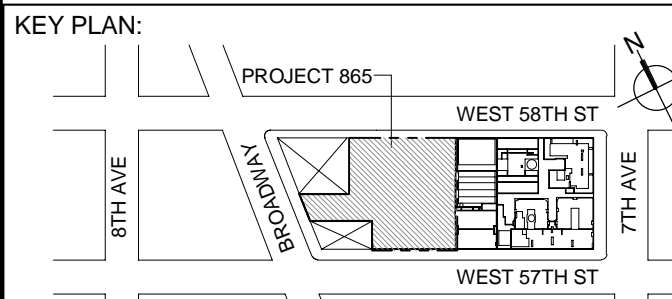
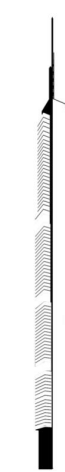
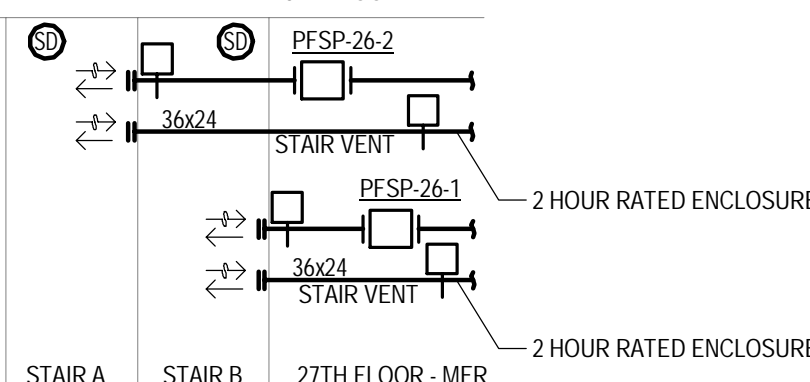
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CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10005
T: 212 354 5656 F: 212 354 5668
PROJECT NUMBER: 12153323

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
**MECHANICAL
UPPER LEVELS MAKE-UP &
CORRIDOR AIR RISER DIAGRAM**

SEAL & SIGNATURE: [Signature]
DATE: 04/04/14
PROJECT No: Y130747-000
DRAWN: RCIAZ
CHK: PHS
SCALE: NONE
REV: 14
DWG No: **M-421.02**

DOB PAGE No: 110 of 132
DOB EMPLOYEE STAMP: [Stamp]
DOB B-SCAN: [Stamp]



EXTELL DEVELOPMENT COMPANY
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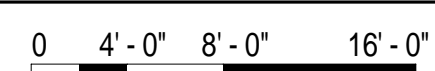
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CONSULTANT

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NEW YORK, NY 10006
T: 212.354.5656 F: 212.354.5668
Arlington / Boston / Mexico City / Minneapolis / New York


PROJECT:

217 WEST 57TH STREET
NEW YORK, NY


DRAWING TITLE:


MECHANICAL
UPPER LEVELS MAKE-UP &
CORRIDOR AIR RISER DIAGRAM


SEAL & SIGNATURE:	DATE:	04/04/1
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PROJECT №: Y130747-00

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YAYIN KURULU
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DOB PAGE No: 111 of 132	
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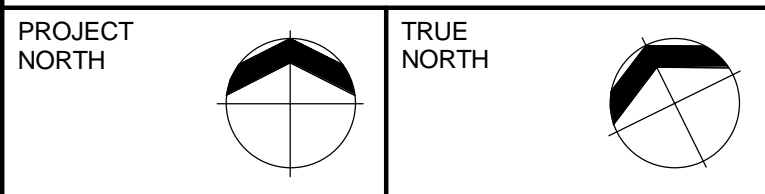
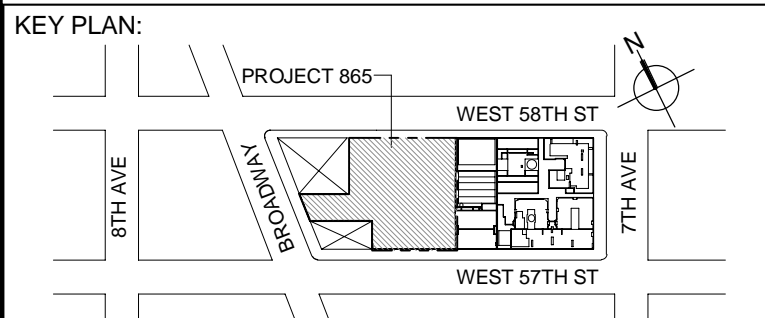
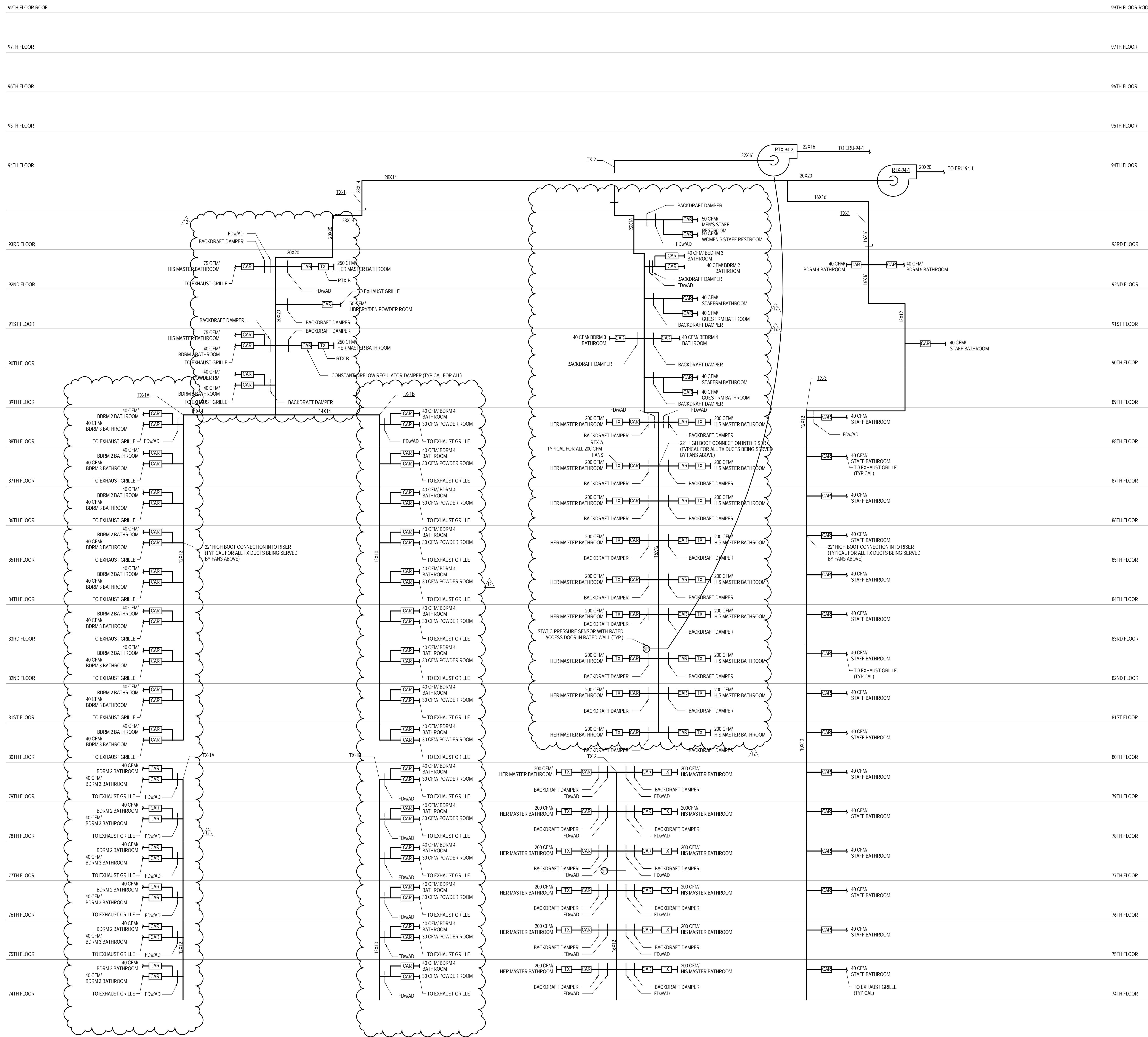
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DEVELOPER:
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805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

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TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	CD PROGRESS ISSUE 5	18 AUG 2015
10	DOB AMENDMENT 1	18 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE 8 - COMP SET	18 MAR 2016
14	DOB AMENDMENT 3	03 OCT 2016

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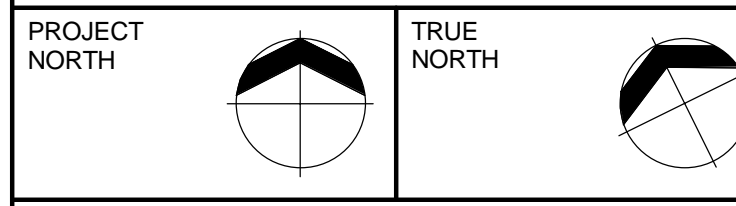
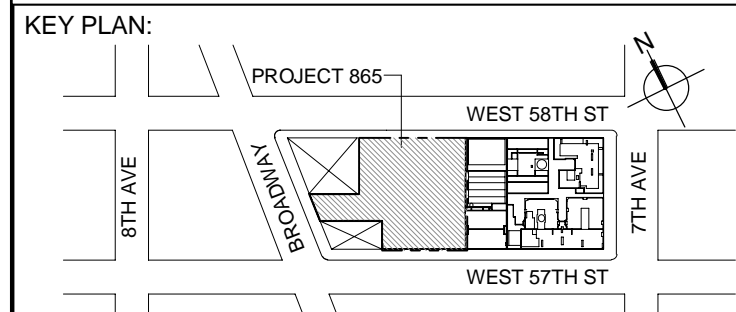
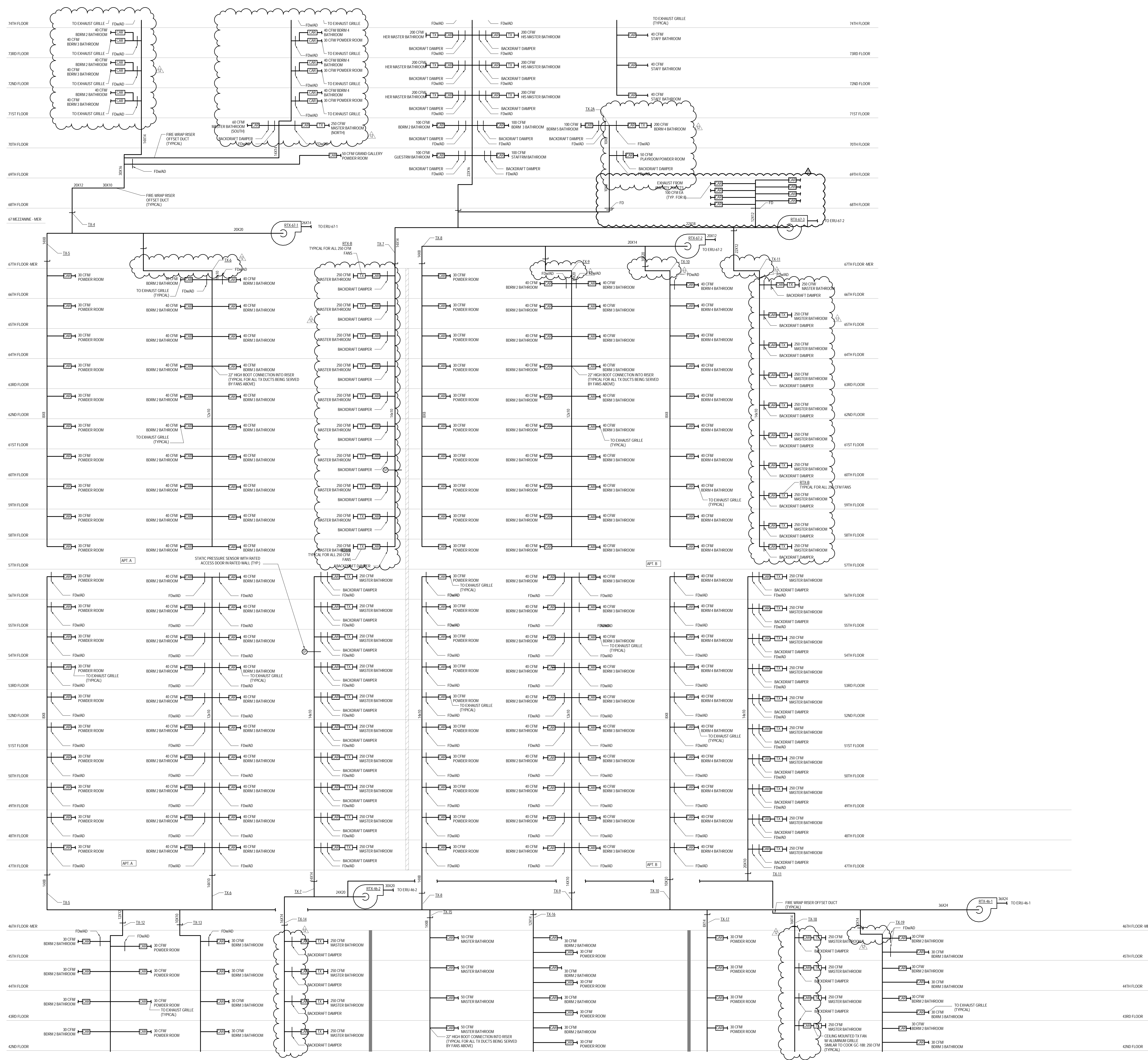
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CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10005
T: 212 354 5656 F: 212 354 5668
PROJECT NUMBER: E313620555

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
**MECHANICAL
UPPER LEVELS TOILET EXHAUST
RISER DIAGRAM**

SEAL & SIGNATURE:
DATE: 04/04/14
PROJECT No: Y130747-000
DRAWN: RCIAZ
CHK: PHS
SCALE: NONE
DWG No: **M-423.02**
DOB PAGE No: 112 of 132
DOB EMPLOYEE STAMP:
DOB B-SCAN:



DEVELOPER:
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9	CD PROGRESS ISSUE 5	10 AUG 2015
10	DOB AMENDMENT 2	16 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE 8 - CAMP SET	31 MAR 2016
14	CD BULLETIN ISSUE 2	06 MAY 2016
15	DOB AMENDMENT 3	03 OCT 2016

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NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
PROJECT: 217 WEST 57TH STREET, NEW YORK, NY

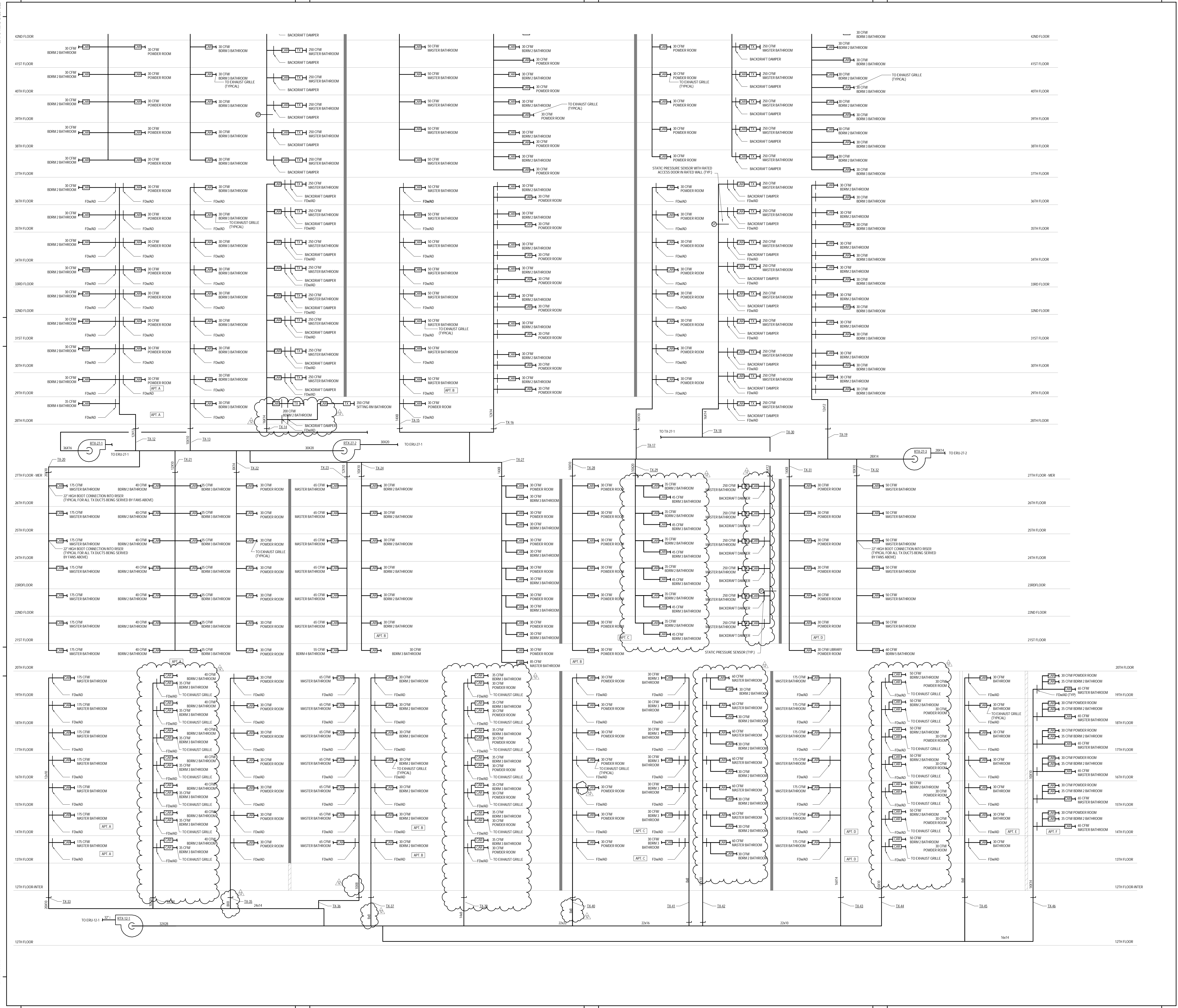
PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**MECHANICAL
UPPER LEVELS TOILET EXHAUST
RISER DIAGRAM**

SEAL & SIGNATURE: DATE: 04/04/14
PROJECT No: Y130747-000
DRAWN: RCIAZ REV: 15
CHK: PHS SCALE: NONE
DWG No: **M-424.02**

DOB EMPLOYEE STAMP: DOB PAGE No: 113 of 132 DOB B-SCAN:

30" x 48" ARCH. SHEET SIZE
FILE NAME: 217 WEST 57TH ST. 11-15-14
DATE: 11/15/14



KEY PLAN

PROJECT 665

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 17TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
288 Fifth Ave, 7th Floor
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TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER:

Residential
Rotet Architecture and Design Studio, PLLC
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MEP ENGINEERS:

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21 Penn Plaza - 360 West 37th Street, 8th Floor
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CODE CONSULTANTS:

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CURTAINWALL CONSULTANT:

AJLP Consulting
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LANDMARK/PRESERVATION CONSULTANT:

Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
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No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	21 JUL 2014
4	CD PROGRESS ISSUE 1	31 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	CD PROGRESS ISSUE 5	10 AUG 2015
10	DOB AMENDMENT 1	18 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE 8 - COMP SET	18 MAR 2016
14	CD BULLETIN ISSUE 2	06 MAY 2016
15	DOB AMENDMENT 2	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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CONSULTANT:

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PROJECT NO: 217 WEST 57TH STREET

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

**MECHANICAL
UPPER LEVELS TOILET EXHAUST
RISER DIAGRAM**

SEAL & SIGNATURE:

DATE:

04/04/14

PROJECT No:

Y130747-000

DRAWN: RCIAZ

CHK: PHS

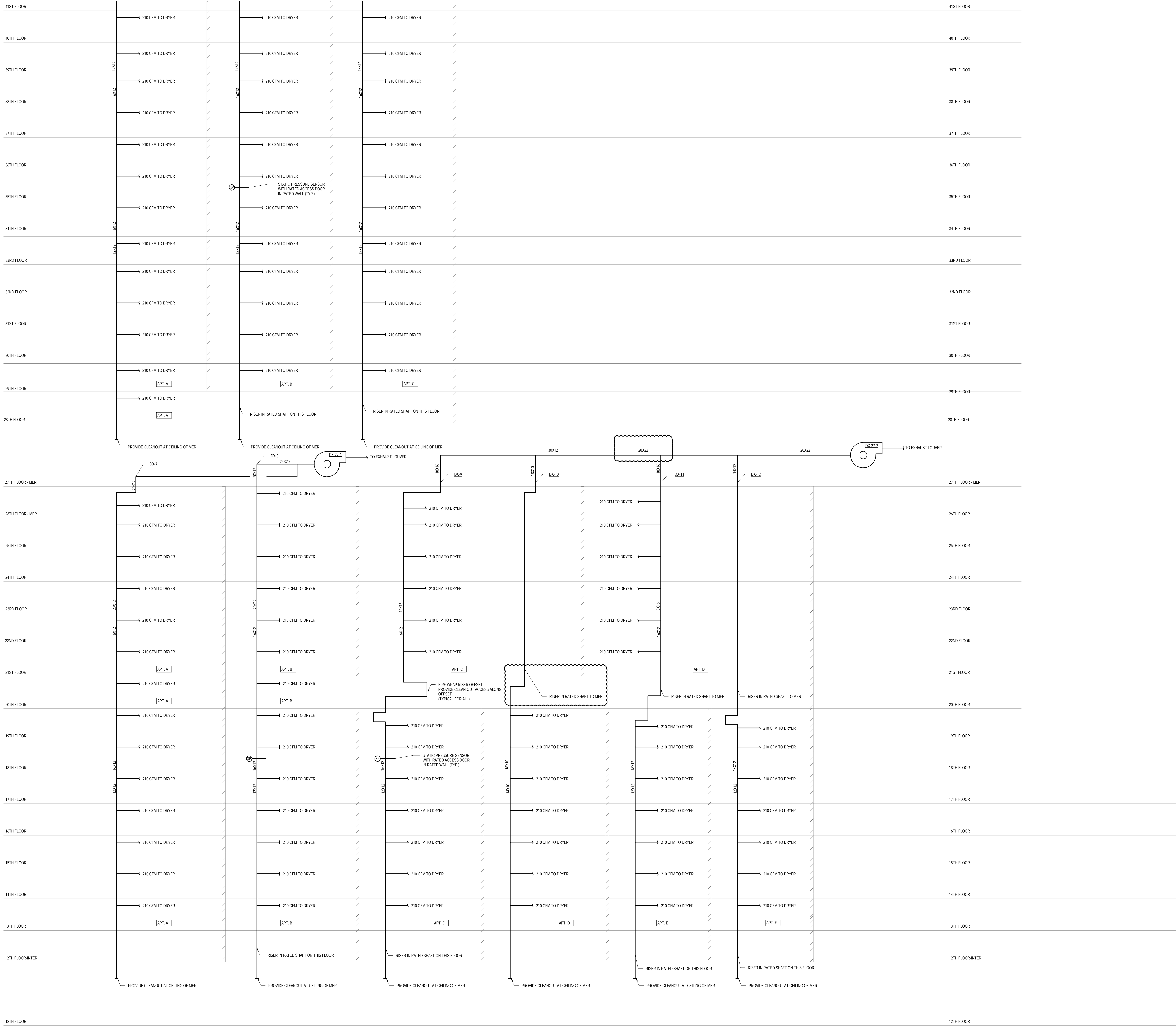
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DWG No:

M-425.02

DOB PAGE No: 114 of 132

DOB B-SCAN:



KEY PLAN

PROJECT 665 - WEST 68TH ST, WEST 67TH ST, WEST 57TH ST, 6TH AVE, 7TH AVE

PROJECT NORTH

TRUE NORTH

DEVELOPER:

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
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13	CD PROGRESS ISSUE 8 - CMP SET	10 MAR 2016
14	CD BULLETIN ISSUE 2	04 MAY 2016
15	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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CONSULTANT:

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T: 212 354 5656 F: 212 354 5668
PROJECT: 1701 WEST 57TH STREET, NEW YORK, NY

PROJECT:

**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:

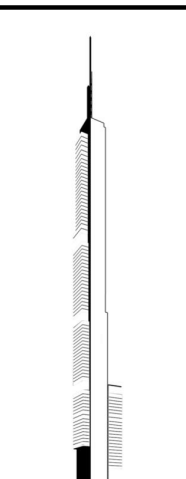
**MECHANICAL
UPPER LEVELS DRYER EXHAUST
RISER DIAGRAM**

SEAL & SIGNATURE:

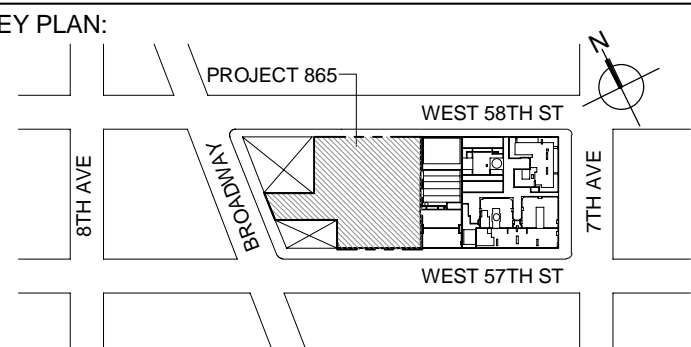
DATE: 04/04/14
PROJECT No: Y130747-000
DRAWN: RCIAZ
CHK: PHS
SCALE: NONE
DWG No: **M-428.02**
DOB PAGE No: 117 of 132
DOB EMPLOYEE STAMP:
DOB B-SCAN:

DOB B-SCAN:

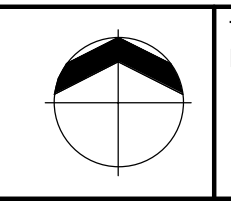




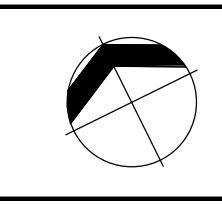
KEY PLAN



PROJECT NORTH



TRUE NORTH



DEVELOPER:

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New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

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INTERIOR DESIGNER:

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ARCHITECT OF RECORD

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CONSULTANT:

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PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

**MECHANICAL
UPPER LEVELS KITCHEN EXHAUST
RISER DIAGRAM**

SEAL & SIGNATURE:



DATE: 04/04/14

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CHK: PHS

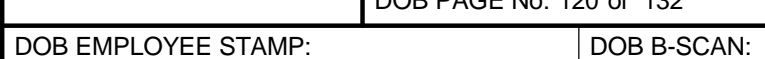
SCALE: NONE

DWG No: **M-430.02**

DOB PAGE No: 119 of 132

DOB EMPLOYEE STAMP:

DOB B-SCAN:



COOLING TOWER SCHEDULE

UNIT	NO.	LEVEL	SERVICE	NO. OF CELLS	TYPE	CONDENSER WATER DATA			CONDENSER WATER DATA			FAN DATA		FAN MOTOR DATA		FAN MOTOR DATA			ELECTRICAL DATA							BASIN HEATER			VIBRATION ISOLATION				PHYSICAL DATA (EACH CELL)				MANUFACTURER	MODEL NO.
						GPM PER CELL	ENT	LWT	MAX P.D. (FT.)	ENTERING WET BULB (°F)	NO OF FANS PER CELL	AIR FLOW OVERALL (CFM)	DRIVE TYPE	NO OF MOTORS PER CELL	MHP	LOW RPM	H RPM	STARTER TYPE	VOLTS	PHASE	HZ	NO OF HEATERS		NO OF STAGES	MOUNTING TYPE	BASE TYPE	MIN STATIC DEFLECTION (IN)	LENGTH (FT-IN)	WIDTH (FT-IN)	HEIGHT (FT-IN)	OPERATING WT. (LBS)							
																						KW (EA)	NO OF STAGES															
CT	99A.1	COOLING TOWERS/BAU	CONDENSER WATER	1	OPEN CELL	2000	100	85	10.00	78	1	236,400	DIRECT	1	60	290	10,022	VFD	460	3	60	1	30.0	2	SPRING ISOLATORS	SEE SPECS	SEE SPECS	11'-10 3/4"	22'-5"	18'-10 1/8"	38,780	SPX COOLING TECHNOLOGIES	MARLEY XSB11TAN					
CT	99A.2	COOLING TOWERS/BAU	CONDENSER WATER	1	OPEN CELL	2000	100	85	10.00	78	1	236,400	DIRECT	1	60	290	10,022	VFD	460	3	60	1	30.0	2	SPRING ISOLATORS	SEE SPECS	SEE SPECS	11'-10 3/4"	22'-5"	18'-10 1/8"	38,780	SPX COOLING TECHNOLOGIES	MARLEY XSB11TAN					
CT	99A.3	COOLING TOWERS/BAU	CONDENSER WATER	1	OPEN CELL	2000	100	85	10.00	78	1	236,400	DIRECT	1	60	290	10,022	VFD	460	3	60	1	30.0	2	SPRING ISOLATORS	SEE SPECS	SEE SPECS	11'-10 3/4"	22'-5"	18'-10 1/8"	38,780	SPX COOLING TECHNOLOGIES	MARLEY XSB11TAN					

BOILER SCHEDULE

POWER & FUELS																										
PERFORMANCE DATA										GAS DATA				ELECTRICAL DATA			DIMENSIONS		OPERATING WT. (LBS) INCLUDING WATER		EFF % (AHS)					
UNIT	NO.	LOCATION	SERVICE	TYPE	DESIGN FLOW RATE (GPM)	WWT	LWT	PRESSURE DROP (PSI)	MAX WORKING PRESSURE (PSI)	FUEL TYPE	GAS TRAIN SIZE (IN)	MIN GAS PRESSURE (IN W.G.)	MAX GAS PRESSURE (IN W.G.)	VOLTAGE	HZ	FLA	HEIGHT	DEPTH	WIDTH							
B	6.1	6TH FLOOR MEP	HOT WATER	PLATE FRAME	4,000.000	180.000	270	140	180	0.7	150	NATURAL GAS	2.5	4.00	14.00	208	3	60	12	6'-8"	9'-1"	4'-5 1/2"	6,900	93	LOCHINVAR	FBN6000
B	6.2	6TH FLOOR MEP	HOT WATER	PLATE FRAME	4,000.000	180.000	270	140	180	0.7	150	NATURAL GAS	2.5	4.00	14.00	208	3	60	12	6'-8"	9'-1"	4'-5 1/2"	6,900	93	LOCHINVAR	FBN6000
B	6.3	6TH FLOOR MEP	HOT WATER	PLATE FRAME	4,000.000	180.000	270	140	180	0.7	150	NATURAL GAS	2.5	4.00	14.00	208	3	60	12	6'-8"	9'-1"	4'-5 1/2"	6,900	93	LOCHINVAR	FBN6000
B	7.1	7TH FLOOR MEP	HOT WATER	PLATE FRAME	5,000.000	200	127	180	140	1.4	150	NATURAL GAS	2.5	4.00	14.00	208	3	60	12	6'-8"	9'-1"	4'-5 1/2"	8,000	93	LOCHINVAR	FBN6000
B	7.2	7TH FLOOR MEP	HOT WATER	PLATE FRAME	5,000.000	200	127	180	140	1.4	150	NATURAL GAS	2.5	4.00	14.00	208	3	60	12	6'-8"	9'-1"	4'-5 1/2"	8,000	93	LOCHINVAR	FBN6000
B	7.3	7TH FLOOR MEP	HOT WATER	PLATE FRAME	5,000.000	200	127	180	140	1.4	150	NATURAL GAS	2.5	4.00	14.00	208	3	60	12	6'-8"	9'-1"	4'-5 1/2"	8,000	93	LOCHINVAR	FBN6000
B	7.4	7TH FLOOR MEP	HOT WATER	PLATE FRAME	5,000.000	200	127	180	140	1.4	150	NATURAL GAS	2.5	4.00	14.00	208	3	60	12	6'-8"	9'-1"	4'-5 1/2"	8,000	93	LOCHINVAR	FBN6000
B	7.5	7TH FLOOR MEP	HOT WATER	PLATE FRAME	5,000.000	200	127	180	140	1.4	150	NATURAL GAS	2.5	4.00	14.00	208	3	60	12	6'-8"	9'-1"	4'-5 1/2"	8,000	93	LOCHINVAR	FBN6000
B	7.6	7TH FLOOR MEP	HOT WATER	PLATE FRAME	5,000.000	200	127	180	140	1.4	150	NATURAL GAS	2.5	4.00	14.00	208	3	60	12	6'-8"	9'-1"	4'-5 1/2"	8,000	93	LOCHINVAR	FBN6000
B	7.7	7TH FLOOR INTER	HOT WATER	PLATE FRAME	5,000.000	200	127	180	140	1.4	150	NATURAL GAS	2.5	4.00	14.00	208	3	60	12	6'-8"	9'-1"	4'-5 1/2"	8,000	93	LOCHINVAR	FBN6000
B	6M1	6TH FLOOR INTER	HOT WATER	PLATE FRAME	5,000.000	200	125	180	140	1.4	150	NATURAL GAS	2.5	4.00	14.00	208	3	60	12	6'-8"	9'-1"	4'-5 1/2"	8,000	93	LOCHINVAR	FBN6000
B	6M2	6TH FLOOR INTER	HOT WATER	PLATE FRAME	5,000.000	200	125	180	140	1.4	150	NATURAL GAS	2.5	4.00	14.00	208	3	60	12	6'-8"	9'-1"	4'-5 1/2"	8,000	93	LOCHINVAR	FBN6000
B	6M3	6TH FLOOR INTER	HOT WATER	PLATE FRAME	5,000.000	200	125	180	140	1.4	150	NATURAL GAS	2.5	4.00	14.00	208	3	60	12	6'-8"	9'-1"	4'-5 1/2"	8,000	93	LOCHINVAR	FBN6000
B	6M4	6TH FLOOR INTER	HOT WATER	PLATE FRAME	5,000.000	200	125	180	140	1.4	150	NATURAL GAS	2.5	4.00	14.00	208	3	60	12	6'-8"	9'-1"	4'-5 1/2"	8,000	93	LOCHINVAR	FBN6000
B	6M5	6TH FLOOR INTER	HOT WATER	PLATE FRAME	5,000.000	200	125	180	140	1.4	150	NATURAL GAS	2.5	4.00	14.00	208	3	60	12	6'-8"	9'-1"	4'-5 1/2"	8,000	93	LOCHINVAR	FBN6000
B	6M6	6TH FLOOR INTER	HOT WATER	PLATE FRAME	5,000.000	200	125	180	140	1.4	150	NATURAL GAS	2.5	4.00	14.00	208	3	60	12	6'-8"	9'-1"	4'-5 1/2"	8,000	93	LOCHINVAR	FBN6000
B	6M7	6TH FLOOR INTER	HOT WATER	PLATE FRAME	5,000.000	200	125	180	140	1.4	150	NATURAL GAS	2.5	4.00	14.00	208	3	60	12	6'-8"	9'-1"	4'-5 1/2"	8,000	93	LOCHINVAR	FBN6000

NOTES:
1) MANUFACTURE TO PROVIDE STEP-UP TRANSFORMER ON EACH BOILER TO MEET REQUIRED VOLT.

HEAT EXCHANGER SCHEDULE

UNIT	NO.	LOCATION	SERVICE	TYPE	CAPACITY (MBH)	PRESS. (PSI)	FLOW (GPM)	PRIMARY SIDE			SECONDARY SIDE			DIMENSIONS			WEIGHT (LBS)	MANUFACTURER			
								PSI	TEMP (°F)	FOLDRG FACTOR	PSI	TEMP (°F)	FOLDRG FACTOR	LENGTH	WIDTH	HEIGHT					
PSGWHX	7.1	7TH FLOOR MEP	HOT WATER (40% PG)	PLATE FRAME	4,875	150.00	350	9.98	147	177	0.0001	350	8.78	180	151	0.0001	40	2-1 3/32"	8'-10"	4,890	ALFA LAVAL
PSGWHX	7.2	7TH FLOOR MEP	HOT WATER (40% PG)	PLATE FRAME	4,875	150.00	350	9.98	147	177	0.0001	350	8.78	180	151	0.0001	40	2-1 3/32"	8'-10"	4,890	ALFA LAVAL
PPHX	9.1	9TH FLOOR MEP	POCK. HEATING	PLATE FRAME	159.7	150.00	40	1.98	80	82	0.0001	40	1.98	90	82	0.0001	24	1'-1"	151	7,580	ALFA LAVAL
PSHWHX	12.1	12TH FLOOR MEP	HOT WATER	PLATE FRAME	17,640	150.00	90	9.96	125	177	0.0001	90	9.63	180	128	0.0001	95	2-1 3/32"	9'-0 1/32"	7,940	ALFA LAVAL
PSHWHX	12.2	12TH FLOOR MEP	HOT WATER	PLATE FRAME	17,640	150.00	90	9.96	125	177	0.0001	90	9.63	180	128	0.0001	95	2-1 3/32"	9'-0 1/32"	7,940	ALFA LAVAL
PSHWHX	12.3	12TH FLOOR MEP	HOT WATER	PLATE FRAME	4,206	150.00	290	9.19	147	177	0.0001	290	9.00	180	150	0.0001	57	1'-6 7/64"	6'-3 1/16"	2,530	ALFA LAVAL
PSHWHX	12.4	12TH FLOOR MEP	HOT WATER	PLATE FRAME	4,206	150.00	290	9.19	147	177	0.0001	290	9.00	180	150	0.0001	57	1'-6 7/64"	6'-3 1/16"	2,530	ALFA LAVAL
SCWHX	12.1	12TH FLOOR MEP	CONDENSER WATER	PLATE FRAME	5,572	300.00	750	9.97	88	103	0.0001	750	9.97	105	90	0.0001	84	2'-1 1/32"	9'-0 1/32"	7,940	ALFA LAVAL
SCWHX	12.2	12TH FLOOR MEP	CONDENSER WATER	PLATE FRAME	5,572	300.00	750	9.97	88	103	0.0001	750	9.97	105	90	0.0001	84	2'-1 1/32"	9'-0 1/32"	7,940	ALFA LAVAL
CWHX	27.1	27TH FLOOR MEP	CONDENSER WATER/HOT WATER	PLATE FRAME	6,557	150.00	900	9.36	50	65	0.0001	900	9.36	102	87	0.0001	96	2'-1 1/2"	4'-7 5/16"	2,300	ALFA LAVAL
CWHX	27.2	27TH FLOOR MEP	CONDENSER WATER/HOT WATER	PLATE FRAME	6,557	150.00	900	9.36	50	65	0.0001	900	9.36	102	87	0.0001	96	2'-1 1/2"	4'-7 5/16"	2,300	ALFA LAVAL
SHWHX	27.1	27TH FLOOR MEP	HOT WATER	PLATE FRAME	1,021	150.00	70	3.40	144	174	0.0001	70	3.40	147	147	0.0001	32	1'-0 1/8"	4'-3 3/32"	833	ALFA LAVAL
SHWHX	27.2	27TH FLOOR MEP	HOT WATER	PLATE FRAME	1,021	150.00	70	3.40	144	174	0.0001	70	3.40	147	147	0.0001	32	1'-0 1/8"	4'-3 3/32"	833	ALFA LAVAL
PSGWHX	46.1	46TH FLOOR MEP	CONDENSER WATER	PLATE FRAME	16,290	450.00	2,500	11.98	85	100	0.0005	2,500	11.98	103	88	0.0001	158	3'-1"	10'-2"	24,500	ALFA LAVAL
PSGWHX	46.2	46TH FLOOR MEP	CONDENSER WATER	PLATE FRAME	16,290	450.00	2,500	11.98	85	100	0.0005	2,500	11.98	103	88	0.0001	158	3'-1"	10'-2"	24,500	ALFA LAVAL
PSHWHX	46.1	46TH FLOOR MEP	HOT WATER	PLATE FRAME	3,352	300.00	230	8.86	147	177	0.0001	230	8.86	147	147	0.0001	59	1'-8 3/32"	6'-3 1/16"	2,860	ALFA LAVAL
PSHWHX	46.2	46TH FLOOR MEP	HOT WATER	PLATE FRAME	3,352	300.00	230	8.86	147	177	0.0001	230	8.86	147	147	0.0001	59	1'-8 3/32"	6'-3 1/16"	2,860	ALFA LAVAL
CWHX	67.1	67TH FLOOR MEP	CONDENSER WATER/HOT WATER	PLATE FRAME	3,201	150.00	425	8.20	50	65	0.0001	425	8.20	50	65	0.0001	47	2'-1 1/2"	4'-7 5/16"	2,110	ALFA LAVAL
CWHX	67.2	67TH FLOOR MEP	CONDENSER WATER/HOT WATER	PLATE FRAME	3,201	150.00	425	8.20	50	65	0.0001	425	8.20	50	65	0.0001	47	2'-1 1/2"	4'-7 5/16"	2,110	ALFA LAVAL
PSGWHX	67.1	67TH FLOOR MEP	CONDENSER WATER	PLATE FRAME	6,841	300.00	920	9.81	85	100	0.0005	920	9.81	102	87	0.0001	95	2'-1 3/32"	9'-0 1/32"	7,140	ALFA LAVAL
PSGWHX	67.2	67TH FLOOR MEP	CONDENSER WATER	PLATE FRAME	6,841	300.00	920	9.81	85	100	0.0005	920	9.81	102	87	0.0001	95	2'-1 3/32"	9'-0 1/32"	7,140	ALFA LAVAL
PSHWHX	67.1	67TH FLOOR MEP	HOT WATER	PLATE FRAME	3,650	150.00	215	6.33	142	177	0.0001	215	6.18	180	145	0.0001	57	1'-6 7/64"	6'-3 1/16"	2,420	ALFA LAVAL
PSHWHX	67.2	67TH FLOOR MEP	HOT WATER	PLATE FRAME	3,650	150.00	215	6.33	142	177	0.0001	215	6.18	180	145	0.0001	57	1'-6 7/64"	6'-3 1/16"	2,420	ALFA LAVAL
PSHWHX	67.3	67TH FLOOR INTER	HOT WATER	PLATE FRAME	3,650	150.00	215	6.33	142	177	0.0001	215	6.18	180	147	0.0001	57	1'-6 7/64"	6'-3 1/16"	2,420	ALFA LAVAL
PSHWHX	67.4	67TH FLOOR INTER	HOT WATER	PLATE FRAME	3,650	150.00	215	6.33	142	177	0.0001	215	6.18	180	147	0.0001	57	1'-6 7/64"	6'-3 1/16"	2,420	ALFA LAVAL
PSHWHX	67.5	67TH FLOOR INTER	HOT WATER	PLATE FRAME	3,650	150.00	215	6.33	142	177	0.0001	215	6.18	180	147	0.0001	57	1'-6 7/64"	6'-3 1/16"	2,420	ALFA LAVAL
CWHX	95.1	95TH FLOOR EMBR	CONDENSER WATER/HOT WATER	PLATE FRAME	3,441	150.00	425	9.99	50	67	0.0001	425	9.99	50	67	0.0001	47	2'-1 1/2"	4'-7 5/16"	2,110	ALFA LAVAL
CWHX	95.2	95TH FLOOR EMBR	CONDENSER WATER/HOT WATER	PLATE FRAME	3,441	150.00	425	9.99	50	67	0.0001	425	9.99	50	67	0.0001	47	2'-1 1/2"	4'-7 5/16"	2,110	ALFA LAVAL
SCWHX	95.1	95TH FLOOR EMBR	CONDENSER WATER	PLATE FRAME	8,180	150.00	1,100	9.81	85	100	0.0005	1,100	9.81	102	87	0.0001	95	2'-1"	9'-0"	7,990	ALFA LAVAL
SCWHX	95.2	95TH FLOOR EMBR	CONDENSER WATER	PLATE FRAME	8,180	150.00	1,100	9.81	85	100	0.0005	1,100	9.81	102	87	0.0001	95	2'-1"	9'-0"	7,990	ALFA LAVAL

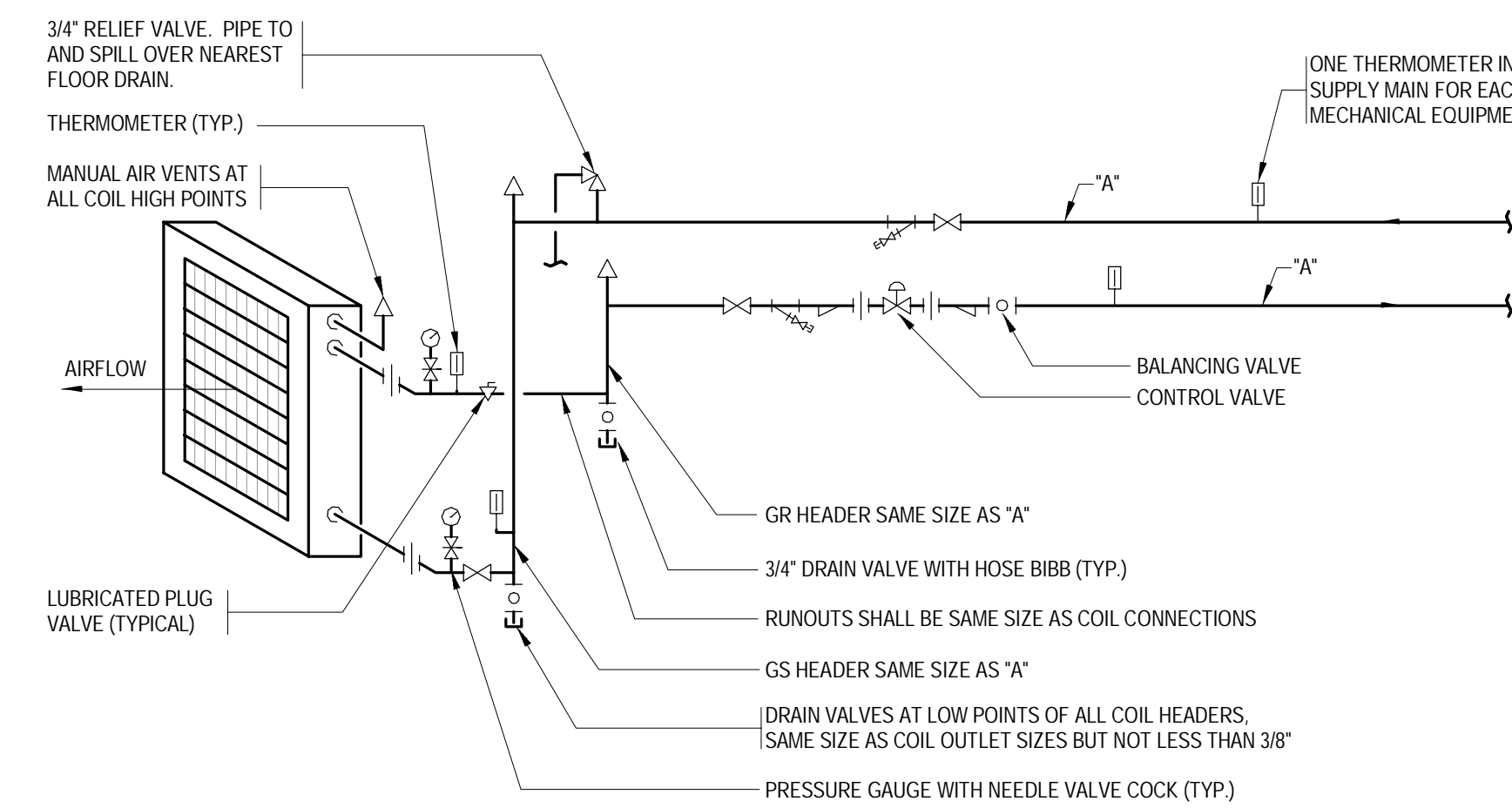
FAN SCHEDULE																					
PERFORMANCE DATA										ELECTRICAL DATA					VIBRATION ISOLATION						
UNIT	No.	SERVICE	FLOW	TOTAL SP (IN)	RPM	BHP	DRIVE TYPE	MHP	STARTER	VOLTS	PHASE	Hz	MOUNTING TYPE	BASE TYPE	Manufacturer 2	Model 2					
EX	SC-1	ELEC. CLOSET	0.25	2225	219		BELT	25	HDA	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	SON-B					
EX	2-1	RETAL PPS CONTROL MUA	4000	1.50	1280	42.6	BELT	50	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	540-OMX					
EX	6-1	MER EXHAUST	4000	1.50	1278	2.2	BELT	75	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	200-OMXHP					
FOS	6-1	FUEL ROOM SUPPLY	1000	2.00	1920	667	BELT	75	HDA	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	150-SON-HP					
EX	6-1	RETAL PPS CONTROL MUA	4000	1.50	1280	42.6	BELT	50	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	445-OMXHP					
SF	6-2	MER VENTILATION	2950	1.50	2313	157	BELT	2	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	135-OMXHP					
SF	6-3	MER VENTILATION	2600	1.50	2142	131	BELT	1.5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	135-OMXHP					
SF	6-4	RETAL STAR PRESSURIZATION	4000	1.50	1279	2.2	BELT	75	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	180-OMX					
SF	6-2	RETAL STAR PRESSURIZATION	9000	3.00	1553	488	BELT	10	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	225-OMX					
SP	6-1	RES. AMENITY TOILET EXHAUST	4000	1.50	1280	42.6	BELT	50	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	270-OMX					
SK	6-1	RETAL POST FIRE SMOKE PURGE	4000	1.50	1280	42.6	BELT	50	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	540-OMX					
DX	7-1	DRIVER EXHAUST	1320	1.00	1120	1.08	TEFC			480 V	3	60	SEE SPEC	SEE SPEC	EXHAUSTO	BE-SE 315					
EX	7-3	GEN MER EXHAUST	4500	1.50	1422	2.49	BELT	3	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	195-OMX					
EX	7-4	RECYCLING/REFUSE COMPACTOR EXHAUST	1980	1.50	1223	.63	BELT	1	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	180-SON-HP					
EX	7-5	POOL EQUIP. RM EXHAUST	0	1.00	2819	435	BELT	5	HDA	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	70-SON-B					
EX	7-7	MER EXHAUST	4500	1.50	1233	3.28	BELT	5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	245-SON-HP					
EX	7-8	MER EXHAUST	0	1.00	1382	38	BELT	5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	135-SON-HP					
EX/SK	7-2	7TH FL. MER EXHAUST 16TH & 7TH FL. PPS	4000	1.50	711	15.9	BELT	20	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	445-OMX					
FOX	7-1	FUEL ROOM EXHAUST	1000	2.00	1929	667	BELT	75	HDA	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	150-SON-HP					
GX	7-1	LL GENERAL EXHAUST	1225	2.00	2009	799	BELT	15	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	150-SON-HP					
GX	7-2	LL GENERAL EXHAUST	8000	2.50	1293	6.07	BELT	7.5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	270-SON-HP					
SF	7-1	MER VENTILATION	3150	1.50	1422	2.49	BELT	3	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	195-OMX					
SF	7-2	MICROBIOBIO VENTILATION	3500	1.50	1449	1.2	BELT	1.5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	165-OMX					
SF	7-1	RETAL STAR PRESSURIZATION	4000	1.50	1578	2.2	BELT	7.5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	180-OMX					
SF	7-2	RETAL STAR PRESSURIZATION	4000	1.50	1583	6.88	BELT	10	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	225-OMX					
SF	7-3	RETAL STAR PRESSURIZATION	10000	3.00	1477	7.75	BELT	10	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	245-CPS, CW, THD, CLASS. 1					
SF	7-4	RETAL STAR PRESSURIZATION	4000	1.50	1338	2.6	BELT	5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	210-CPS, CW, THD, CLASS. 1					
SK	7-1	RES. LL PPS	16500	1.00	1399	11.1	BELT	20	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	270-OMX					
TX	7-1	RES. LL TOILET EXHAUST	400	2.00	1945	486	BELT	5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	150-SON-HP					
EX	7-6	GEN MER EXHAUST	1800	1.50	1625	837	BELT	1.5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	165-SON-HP					
RF	7-4	RES. AMENITY	15000	1.75	944	5.84	BELT	7.5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	300-OMX					
RF	7-5	RES. AMENITY	15000	1.75	908	5.71	BELT	7.5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	270-OMX					
EX	8-1	RES. BOH	0	0.50	1885	0.108	BELT	0.167	HDA	120 V	1	60	SEE SPEC	SEE SPEC	Loren Cook Company	8050N-B					
SF	8-1	RETAL STAR PRESSURIZATION	10000	1.00	1477	7.75	BELT	10	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	245-CPS, CW, THD, CLASS. 1					
EX	9-1	MER EXHAUST	3100	1.00	1633	1.22	BELT	2	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	165-OMX					
EX	9-2	POOL EQUIPMENT ROOM EXHAUST	0	0.75	2275	0.251	BELT	0.334	HDA	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	8050N-B					
EX	9-3	POOL ROOM EXHAUST	2000	1.00	1202	5	BELT	75	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	180-SON-HP					
EX	9-4	POOL ROOM PURGE	4000	1.50	1233	3.47	BELT	5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	225-OMX					
EX	9-6	POOL ROOM	0	0.25	2225	219	BELT	25	HDA	120 V	1	60	SEE SPEC	SEE SPEC	Loren Cook Company	SON-B					
EX	9-7	RES. AMENITY TOILET EXHAUST	4000	1.50	1280	42.6	BELT	50	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	270-OMX					
TX	9-1	RES. AMENITY TOILET EXHAUST	400	2.00	1945	486	BELT	5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	150-SON-HP					
TRF	100-1	PLENUM TRANSFER FAN	2500	0.50	1202	0.440	BELT	75	HDA	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	195-SON-HP					
EX	10-1	MER EXHAUST	4500	1.50	1275	1.79	BELT	3	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	165-OMX					
EX	10-2	MER EXHAUST	4500	1.50	1275	1.79	BELT	3	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	165-OMX					
EX	10-3	MER EXHAUST	4500	1.50	1275	1.79	BELT	3	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	165-OMX					
PSP	12-1	POST FIRE SMOKE PURGE & VENTILATION	36000	1.50	1725	11.9	BELT	15	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	490-OMX					
PSP	12-2	POST FIRE SMOKE PURGE & VENTILATION	36000	1.50	1725	11.9	BELT	15	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	490-OMX					
RKX	12-1	RESIDENTIAL KITCHEN EXHAUST	5200	3.00	1806	3.67	BELT	5.0	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	180-OMX					
RKX	12-2	RESIDENTIAL KITCHEN EXHAUST	5200	3.00	1806	3.67	BELT	5.0	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	180-OMX					
RKX	12-3	RESIDENTIAL KITCHEN EXHAUST	5200	3.00	1806	3.67	BELT	5.0	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	180-OMX					
RTX	12-1	RESIDENTIAL TOILET EXHAUST	2400	3.00	1725	1.95	BELT	3	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	165-OMX					
SF	12-1	MER VENTILATION	3000	1.50	1233	3.47	BELT	5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	225-OMX					
SF	12-2	STACK EFFECT	3750	3.75	2664	3.99	BELT	5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	120-OMX					
SF	12-3	STACK EFFECT	3750	3.75	2664	3.99	BELT	5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	120-OMX					
SF	21-1	MER EXHAUST	4000	1.50	1275	2.05	BELT	2	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	165-OMX					
EX	21-2	MER EXHAUST	4000	1.50	1275	2.05	BELT	2	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	165-OMX					
EX	21-3	MER EXHAUST	4000	1.50	1275	2.05	BELT	2	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	165-OMX					
EX	21-4	MER EXHAUST	4000	1.50	1275	2.05	BELT	2	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	165-OMX					
EX	21-5	MER EXHAUST	4000	1.50	1275	2.05	BELT	2	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	165-OMX					
EX	6-3	ELEC. CLOSET	0.25	2225	219		BELT	25	HDA	120 V	1	60	SEE SPEC	SEE SPEC	Loren Cook Company	SON-B					
PSP	21-2	POST FIRE SMOKE PURGE & VENTILATION	20140	1.50	1725	11.9	BELT	15	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	MD500					
RKX	21-1	RESIDENTIAL DRYER EXHAUST	345	3.00	1200	1.0	DIRECT	3	VFD	480 V	3	60	SEE SPEC	SEE SPEC	ENERVIEW	MD500					
RKX	21-2	RESIDENTIAL DRYER EXHAUST	405	3.00	1229	1.0	DIRECT	3	VFD	480 V	3	60	SEE SPEC	SEE SPEC	ENERVIEW	MD500					
RKX	21-3	RESIDENTIAL KITCHEN EXHAUST	5755	3.00	1618	3.94	BELT	5.0	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	180-OMX					
RKX	21-2	RESIDENTIAL KITCHEN EXHAUST	5920	3.00	1885	5	BELT	5.0	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	180-OMX					
RTX	21-1	RESIDENTIAL TOILET EXHAUST	2400	3.00	1725	2.43	BELT	3	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	165-OMX					
RTX	21-2	RESIDENTIAL TOILET EXHAUST	4850	2.00	1807	2.26	BELT	5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	165-OMX					
RTX	21-3	RESIDENTIAL TOILET EXHAUST	2600	3.00	2343	1.16	BELT	2	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	120-OMX					
RTX	21-4	STACK EFFECT	3715	3.75	2564	3.99	BELT	5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	120-OMX					
SF	21-1	STACK EFFECT	3715	3.75	2564	3.99	BELT	5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	120-OMX					
EX	6-4	MER EXHAUST	3250	1.50	1210	1.12	BELT	1.5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	160-OMX					
EX	6-5	MER EXHAUST	3250	1.50	1210	1.12	BELT	1.5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	160-OMX					
EX	6-3	ELEC. CLOSET	0.25	2225	219		BELT	25	HDA	120 V	1	60	SEE SPEC	SEE SPEC	Loren Cook Company	SON-B					
KX	6-2	RESIDENTIAL KITCHEN EXHAUST	7185	3.00	2044	5.04	BELT	7.5	VFD	480 V	3	60	SEE SPEC	SEE SPEC	Loren Cook Company	180-OMX					
RDX	6-1	RESIDENTIAL DRYER EXHAUST	540	3.00	2450	2.01	BELT	3	VFD	480 V	3	60	SEE SPEC	SEE SPEC</							

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353	354	355	356	357	358	359	360	361	362	363	364	365	366	367	368	369	370	371	372	373	374	375	376	377	378	379	380	381	382	383	384	385	386	387	388	389	390	391	392	393	394	395	396	397	398	399	400	401	402	403	404	405	406	407	408	409	410	411	412	413	414	415	416	417	418	419	420	421	422	423	424	425	426	427	428	429	430	431	432	433	434	435	436	437	438	439	440	441	442	443	444	445	446	447	448	449	450	451	452	453	454	455	456	457	458	459	460	461	462	463	464	465	466
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VARIABLE VOLUME TERMINAL UNIT SCHEDULE

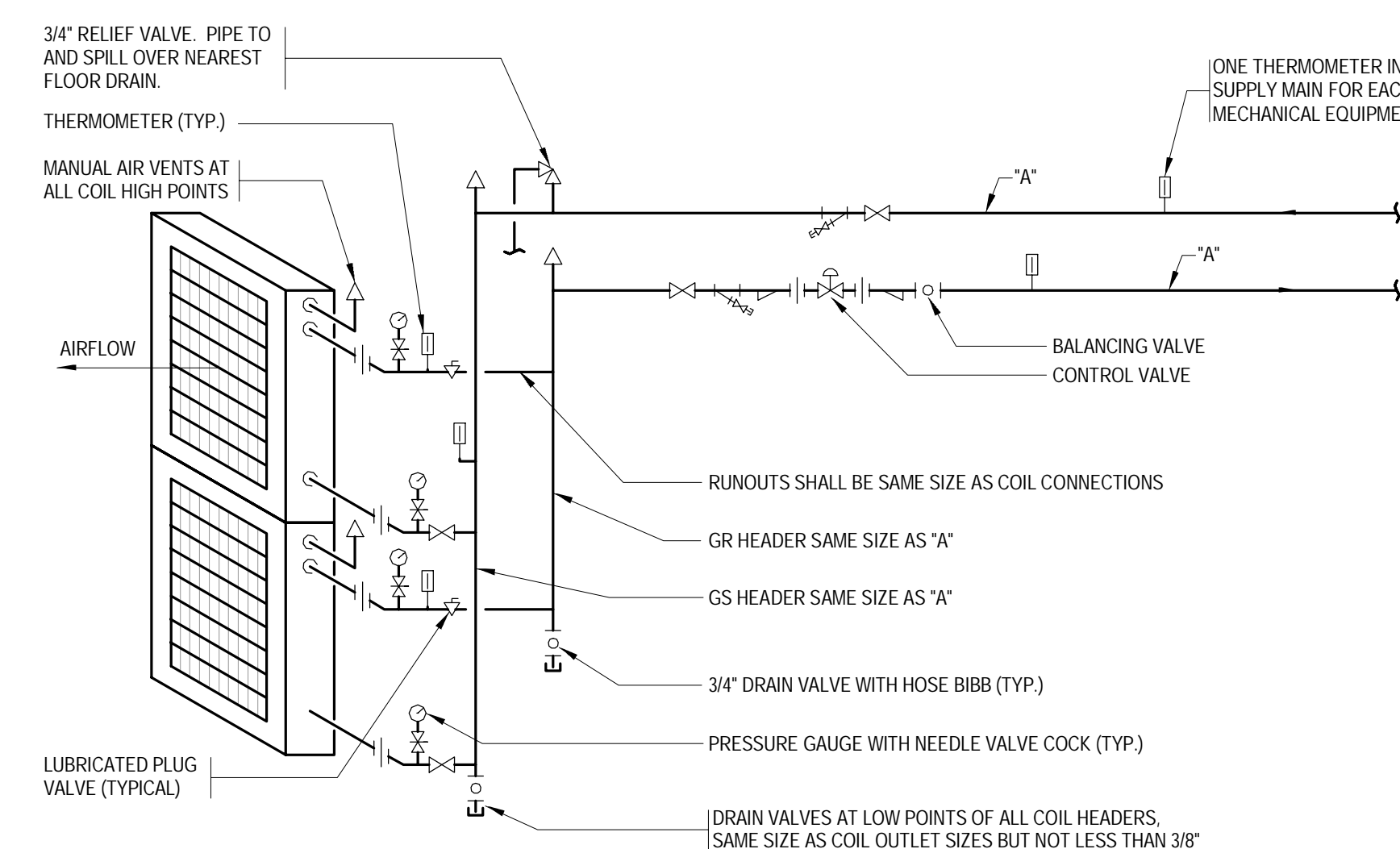
BOX DESCRIPTION	UNIT NO.	INLET SIZE (DIA IN)	CFM	AIR FLOW RANGE (CFM)		MINIMUM STATIC PRESSURE @ 5 PS (IN. WG)	DISCHARGE SOUND LEVEL AT MAX CFM & 18" P.S. (NC)	RADIATED SOUND LEVEL AT MAX CFM & 18" P.S. (NC)	OUTLET (IN)		TYPE OF CONTROLS	MANUFACTURER	MODEL NO.
				MIN.	MAX.				WIDTH	HEIGHT			
CAV	1-2	8	600	180	600	0	0	0	12	10	DDC	ANEMOSTAT	EZTS
CAV	1-1	12	1500	450	1500	0	0	0	16	15	DDC	ANEMOSTAT	EZTS
VAV	8-1	7	550	165	550	0	0	0	12	10	DDC	ANEMOSTAT	EZTS
VAV	8-2	8	800	240	800	0	0	0	12	10	DDC	ANEMOSTAT	EZTS
VAV	8-8	12	1580	474	1580	0	0	0	16	15	DDC	ANEMOSTAT	EZTS
VAV	8-9	12	2100	630	2100	0	0	0	16	15	DDC	ANEMOSTAT	EZTS
VAV	8-10	14	2100	630	2100	0	0	0	20	18	DDC	ANEMOSTAT	EZTS
VAV	8-11	7	550	165	550	0	0	0	12	10	DDC	ANEMOSTAT	EZTS
VAV	8-12	7	550	165	550	0	0	0	12	10	DDC	ANEMOSTAT	EZTS
VAV	8-13	8	700	210	700	0	0	0	12	10	DDC	ANEMOSTAT	EZTS
VAV	8-14	8	700	210	700	0	0	0	12	10	DDC	ANEMOSTAT	EZTS
VAV	10-1	8	800	240	800	0	0	0	12	10	DDC	ANEMOSTAT	EZTS
VAV	10-2	14	2100	630	2100	0	0	0	20	18	DDC	ANEMOSTAT	EZTS
VAV	10-6	8	800	240	800	0	0	0	12	10	DDC	ANEMOSTAT	EZTS
VAV	10-7	14	2100	630	2100	0	0	0	20	18	DDC	ANEMOSTAT	EZTS
VAV	10-8	12	1450	435	1450	0	0	0	16	15	DDC	ANEMOSTAT	EZTS
VAV	10-9	12	1800	540	1800	0	0	0	16	15	DDC	ANEMOSTAT	EZTS
VAV	10-10	14	2100	630	2100	0	0	0	20	18	DDC	ANEMOSTAT	EZTS
VAV	10-11	12	1800	540	1800	0	0	0	16	15	DDC	ANEMOSTAT	EZTS
VAV	10-12	12	1800	540	1800	0	0	0	16	15	DDC	ANEMOSTAT	EZTS
VAV	48-1	12	1100	510	1100	0	0	0	16	15	DDC	ANEMOSTAT	EZTS
VAV	48-3	12	1100	510	1100	0	0	0	16	15	DDC	ANEMOSTAT	EZTS
VAV	48-4	8	600	180	600	0	0	0	12	10	DDC	ANEMOSTAT	EZTS
VAV	48-5	14	2210	663	2210	0	0	0	20	18	DDC	ANEMOSTAT	EZTS
VAV	68-6	8	600	180	600	0	0	0	12	10	DDC	ANEMOSTAT	EZTS
CAV	68-1	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	68-1	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-1	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-2	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-3	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-4	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-5	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-6	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-7	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-8	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-9	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-10	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-11	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-12	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-13	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-14	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-15	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-16	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-17	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-18	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-19	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-20	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-21	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-22	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-23	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-24	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-25	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-26	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-27	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-28	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-29	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-30	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-31	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-32	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-33	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-34	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-35	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-36	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-37	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-38	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-39	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-40	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-41	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-42	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-43	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-44	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-45	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-46	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-47	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-48	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-49	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-50	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-51	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-52	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-53	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-54	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-55	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-56	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-57	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-58	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-59	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-60	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-61	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-62	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-63	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-64	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-65	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-66	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-67	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-68	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-69	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-70	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-71	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-72	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-73	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-74	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-75	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-76	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-77	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-78	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-79	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-80	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-81	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-82	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-83	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-84	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-85	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-86	9	900	270	900	0	0	0	14	13	DDC	ANEMOSTAT	EZTS
VAV	71-87	9</											

Floor	Service	Pipe Size (in)	Support Type	Load Direction	Support Details					Manufacturer	Model / Figure No.
					Detail No.	Spring Rate (lb/in)	Hanger Load (lb)	Hanger Load Code (lb)	Vertical Travel (in)		
99	PCWS	14	H	Y	F-268	600	2720	0.120	0.120	Gimball	B-26813
99-H	PCWR	14	H	Y	H-98	450	2462	2519	0.128	Gimball	B-26812
99-H	PCWS	14	H	Y	H-98	450	2468	2526	0.130	Gimball	B-26812
97	PCWR	14	A	Y	KPA-60		9129		0	Kinetics	KPA-2500
96-H	PCWS	14	H	Y	H-98	450	2274	2371	0.349	Gimball	B-26812
96-H	PCWR	14	H	Y	H-98	340	1712	1712	0.004	Gimball	B-26811
96-H	PCWR	14	H	Y	H-98	150	804	803	0.007	Gimball	B-2688
95	PCWS	12	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
95	PCWR	12	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
95-H	PCWS	12	H	Y	F-268	800	3743	3743	0.304	Gimball	B-26814
95-H	PCWS	12	H	Y	H-98	450	2164	2206	0.315	Gimball	B-26812
95-H	PCWS	12	H	Y	H-98	600	2678	2671	0.322	Gimball	B-26813
95-H	PCWS	8	H	Y	H-98	260	1214	1295	0.339	Gimball	B-26810
95-H	PCWR	12	H	Y	F-268	260	1213	1213	0.067	Gimball	B-26812
95-H	PCWR	12	H	Y	H-98	600	3287	3416	0.215	Gimball	B-26813
95-H	PCWR	12	H	Y	H-98	200	905	1006	0.506	Gimball	B-2689
95-H	PCWR	8	H	Y	H-98	260	1376	1353	0.090	Gimball	B-26810
93	PCWS	12	H	Y	F-268	800	4003	4366	0.453	Gimball	B-26814
93	PCWS	12	H	Y	F-268	800	4012	4214	0.253	Gimball	B-26814
93	SHWR	6	G	X,Z	GA-02	-	<100	<100	-	ATS	GA14
93-H	SHWR	6	H	Y	GA-02	42	437	484	1.073	Gimball	98 6
93-H	SHWS	6	H	Y	H-98	84	408	466	0.925	Gimball	B-2686
90	PCWR	12	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
90	SHWS	6	G	X,Z	GA-02	-	<100	<100	-	ATS	GA12
89	PCWS	12	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
89	SHWR	6	G	X,Z	GA-02	-	<100	<100	-	ATS	GA14
88	PCWR	12	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
88	SHWS	6	H	Y	F-268	260	1346	1463	0.451	Gimball	B-26810
87	PCWS	12	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
87	SHWR	6	H	Y	F-268	340	1582	1735	0.451	Gimball	B-26811
86	PCWR	12	H	Y	F-268	800	4240	4407	0.209	Gimball	B-26814
86	SHWS	6	G	X,Z	GA-02	-	<100	<100	-	ATS	GA14
86	PCWS	12	H	Y	F-268	800	4159	4255	0.119	Gimball	B-26814
86	SHWR	6	G	X,Z	GA-02	-	<100	<100	-	ATS	GA14
85	PCWR	12	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
85	SHWS	6	A	Y	KPA-60	-	2249	-	0	Kinetics	KPA-2500
84	PCWS	12	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
84	SHWR	6	A	Y	KPA-60	-	2335	-	0	Kinetics	KPA-2500
83	PCWR	12	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
83	SHWS	6	G	X,Z	GA-02	-	<100	<100	-	ATS	GA12
82	PCWS	12	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
82	SHWR	6	G	X,Z	GA-02	-	<100	<100	-	ATS	GA14
81	PCWR	12	A	Y	KPA-60	-	9945	-	0	Kinetics	KPA-2500
81	SHWS	6	H	Y	F-268	200	1049	979	0.451	Gimball	B-2689
80	PCWS	12	A	Y	KPA-60	-	4183	-	0	Kinetics	KPA-2500
80	SHWR	6	H	Y	F-268	200	1049	979	0.451	Gimball	B-2689
79	PCWR	12	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
79	SHWS	6	G	X,Z	GA-02	-	<100	<100	-	ATS	GA12
78	PCWS	12	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
78	SHWR	6	G	X,Z	GA-02	-	<100	<100	-	ATS	GA14
77	PCWR	12	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
77	SHWS	6	G	X,Z	GA-02	-	<100	<100	-	ATS	GA12
76	PCWS	12	H	Y	F-268	800	3145	3265	0.074	Gimball	B-26814
76	SHWR	6	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
75	PCWR	12	H	Y	F-268	800	4079	3911	0.210	Gimball	B-26814
75	SHWS	6	H	Y	F-268	340	2040	1656	-1.127	Gimball	B-26811
74	PCWS	12	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
74	SHWR	6	H	Y	F-268	340	1834	1651	-1.127	Gimball	B-26811
73	PCWR	12	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
73	SHWS	6	G	X,Z	GA-02	-	<100	<100	-	ATS	GA12
72	PCWS	12	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
72	SHWR	6	G	X,Z	GA-02	-	<100	<100	-	ATS	GA14
71	PCWR	12	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
71	SHWS	6	G	X,Z	GA-02	-	<100	<100	-	ATS	GA12
70	PCWS	12	H	Y	F-268	600	3156	3042	0.19	Gimball	B-26813
70	SHWR	6	G	X,Z	GA-02	-	<100	<100	-	ATS	GA14
68	PCWR	12	H	Y	F-268	450	2410	2213	0.436	Gimball	B-26812
68	SHWS	6	G	X,Z	GA-02	-	<100	<100	-	ATS	GA14
67	PCWR	10	H	Y	F-268	450	2247	2215	0.514	Gimball	B-26812
67	PCWS	10	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
67	PHWR	5	G	X,Z	GA-02	-	<100	<100	-	ATS	GA10
67	PHWS	5	G	X,Z	GA-02	-	<100	<100	-	ATS	GA10
67-H	PHWR	6	H	Y	H-98	42	349	399	1.192	Gimball	98 6
67-H	PHWS	6	H	Y	H-98	42	346	401	1.304	Gimball	98 6
67-H	PHWR	8	H	Y	H-98	56	541	613	1.29	Gimball	98 7
67-H	PHWS	8	H	Y	H-98	56	540	619	1.402	Gimball	98 7
67-H	PHWR	8	H	Y	H-98	42	341	395	1.202	Gimball	98 6
67-H	PHWS	8	H	Y	H-98	42	348	406	1.305	Gimball	98 6
67-H	PCWS	8	H	Y	H-98	150	655	661	0.042	Gimball	B-2688
67-H	PCWR	8	H	Y	H-98	112	585	531	0.480	Gimball	B-2687
67-H	SHWR	6	H	Y	F-268	31	233	1.761	0.001	Gimball	98 5
67-H	SHWS	6	H	Y	H-98	31	229	271	1.874	Gimball	98 5
66	PCWS	10	A	Y	KPA-60	-	9358	-	0	Kinetics	KPA-2500
66	PHWR	5	G	X,Z	GA-02	-	<100	<100	-	ATS	GA10
65	PCWR	10	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
65	PHWS	5	G	X,Z	GA-02	-	<100	<100	-	ATS	GA10
64	PCWS	10	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
64	PHWR	5	H	Y	F-268	340	1437	1667	0.676	Gimball	B-26811
63	PCWR	10	H	Y	F-268	600	2544	2147	0.663	Gimball	B-26813
63	PHWS	5	H	Y	F-268	340	1595	1615	0.616	Gimball	B-26811
63	PCWS	10	H	Y	F-268	800	2973	3910	0.079	Gimball	B-26814
62	PHWR	5	G	X,Z	GA-02	-	<100	<100	-	ATS	GA10
61	PCWR	10	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
61	PHWS	5	G	X,Z	GA-02	-	<100	<100	-	ATS	GA10
60	PCWS	10	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
60	PHWR	5	G	X,Z	GA-02	-	<100	<100	-	ATS	GA10
59	PCWR	10	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
59	PHWS	5	G	X,Z	GA-02	-	<100	<100	-	ATS	GA10
58	PCWS	10	H	Y	F-268	450	1987	1915	0.159	Gimball	B-26812
58	PHWR	5	A	Y	F-268	-	1966	-	0	Kinetics	KPA-2500
57	PCWR	10	H	Y	F-268	600	2980	2457	0.872	Gimball	B-26813
57	PHWS	5	A	Y	KPA-60	-	1968	-	0	Kinetics	KPA-2500
56	PCWS	10	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
56	PHWR	5	G	X,Z	GA-02	-	<100	<100	-	ATS	GA10
55	PCWR	10	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
55	PHWS	5	G	X,Z	GA-02	-	<100	<100	-	ATS	GA10
54	PCWS	10	H	Y	F-268	450	1987	1979	0.238	Gimball	B-26812
54	PHWR	5	G	X,Z	GA-02	-	<100	<100	-	ATS	GA10
53	PCWR	10	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
53	PHWS	5	G	X,Z	GA-02	-	<100	<100	-	ATS	GA10
52	PCWS	10	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
52	PHWR	5	H	Y	F-268	260	1217	1145	0.616	Gimball	B-26810
51	PCWR	10	H	Y	F-268	450	2483	1996	1.082	Gimball	B-26812
51	PHWS	5	H	Y	F-268	260	1174	986	0.676	Gimball	B-26810
50	PCWS	10	H	Y	F-268	600	2889	2698	0.318	Gimball	B-26813
50	PHWR	5	G	X,Z	GA-02	-	<100	<100	-	ATS	GA10
49	PCWR	10	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
49	PHWS	5	G	X,Z	GA-02	-	<100	<100	-	ATS	GA10
48	PCWS	10	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
48	PHWR	5	G	X,Z	GA-02	-	<100	<100	-	ATS	GA10
47	PCWR	10	H	Y	F-268	112	655	518	-1.221	Gimball	B-2687
47	PHWS	5	G	X,Z	GA-02	-	<100	<100	-	ATS	GA10
47	PHWS	5	G	X,Z	GA-02	-	<100	<100	-	ATS	GA10
46	SCWR	10	G	X,Z	GA-02	-	<100	<100	-	ATS	GA16
46-H	PCWS	10	H	Y	H-98	260	827	827	0.302	Gimball	B-2689
46-H	PCWR	10	H	Y	H-98	450	2294	1738	1.226	Gimball	B-26812
46-H	SCWS	10	H	Y	H-98	450	2046	2152	0.226	Gimball	B-26812
46-H	SCWS	10	H	Y	H-98	200	1026	1073	0.226	Gimball	B-2689
46-H											



NOTES:

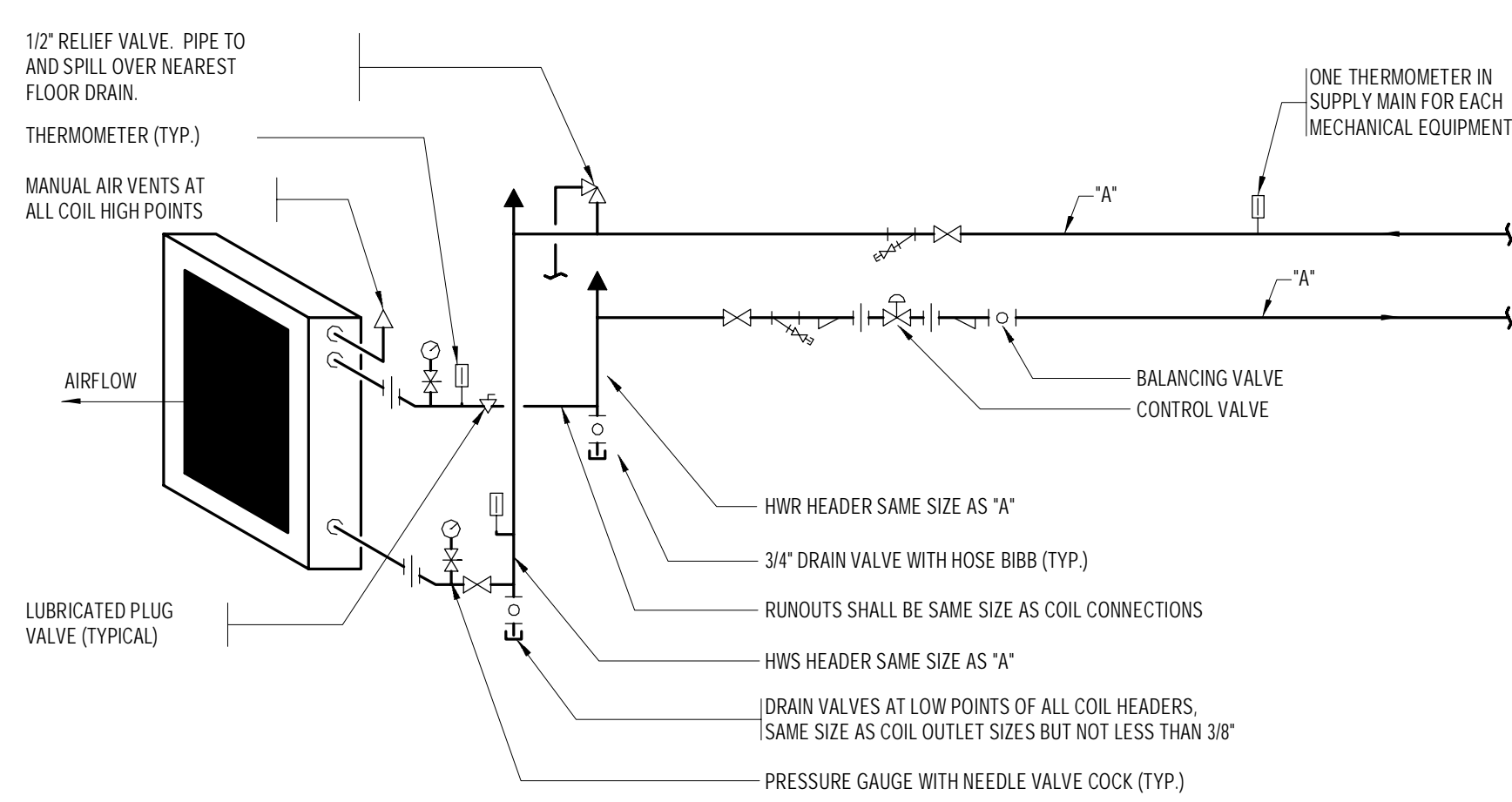
1. LOCATE PIPE UNIONS AND ARRANGE PIPING TO FACILITATE COIL REMOVAL.
2. PROVIDE SIMILAR ARRANGEMENT ON EACH SIDE FOR TWO SECTION WIDE COIL ASSEMBLY.
3. FOR SIZES "A" SEE PLANS AND FLOW DIAGRAMS.
4. ON LINES 2" AND SMALLER, LOCATE THERMOMETER WELL IN PIPE ELBOW.

GLYCOL PRE-HEAT COIL CONNECTIONS
ONE HIGH

NOTES:

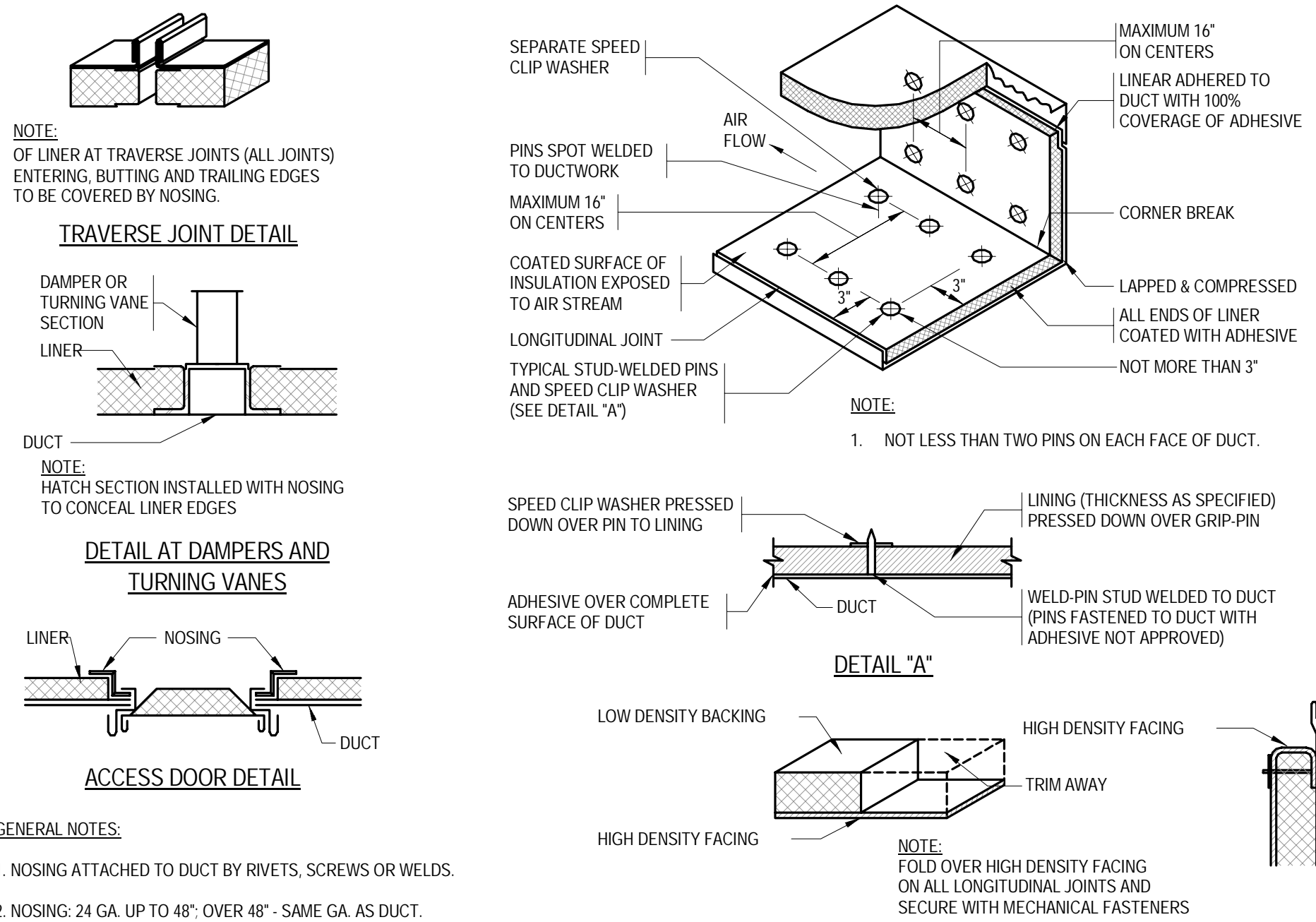
1. LOCATE PIPE UNIONS AND ARRANGE PIPING TO FACILITATE COIL REMOVAL.
2. PROVIDE SIMILAR ARRANGEMENT ON EACH SIDE FOR TWO SECTION WIDE COIL ASSEMBLY.
3. FOR SIZES "A" SEE PLANS AND FLOW DIAGRAMS.
4. ON LINES 2" AND SMALLER, LOCATE THERMOMETER WELL IN PIPE ELBOW.

GLYCOL PRE-HEAT COIL CONNECTIONS

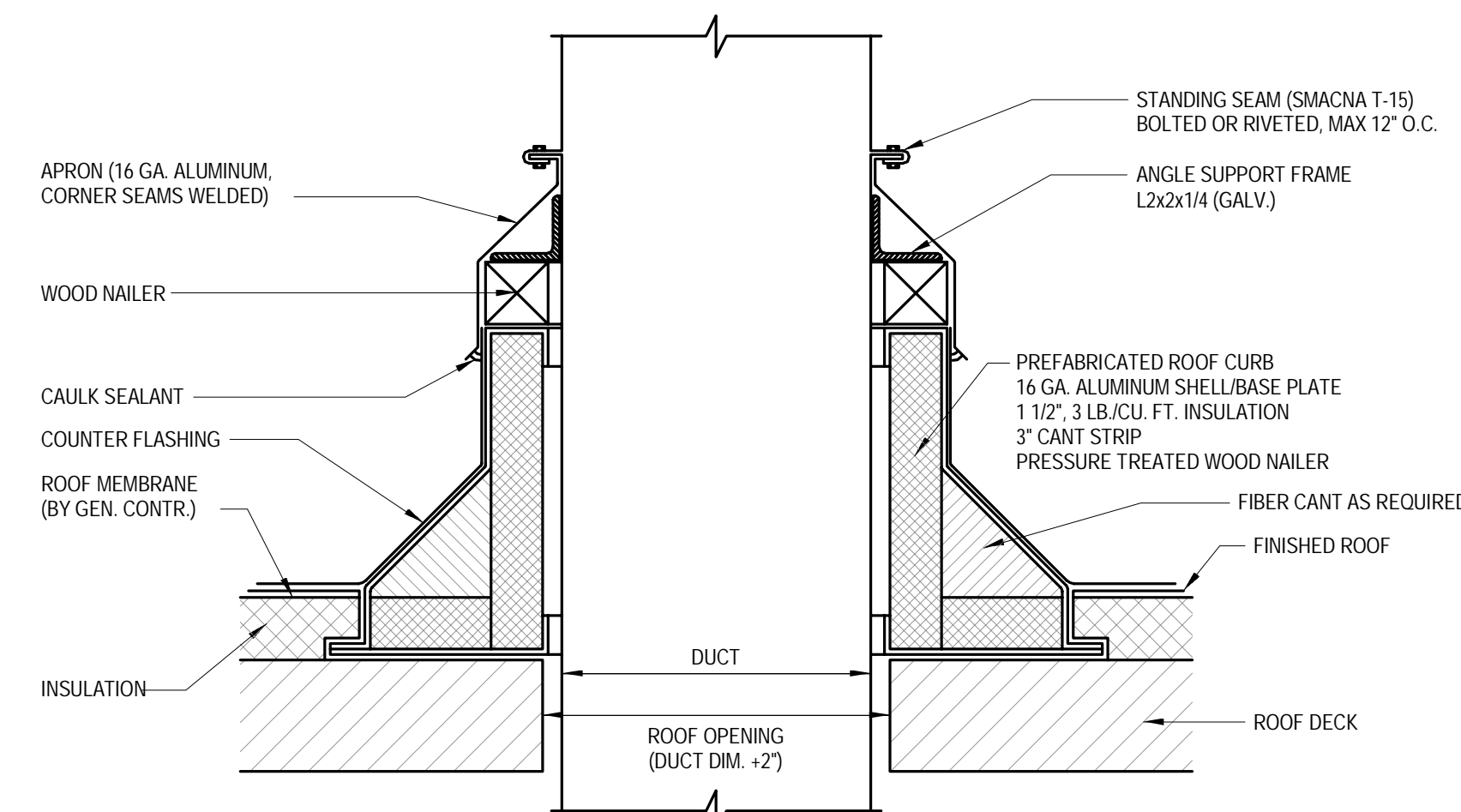
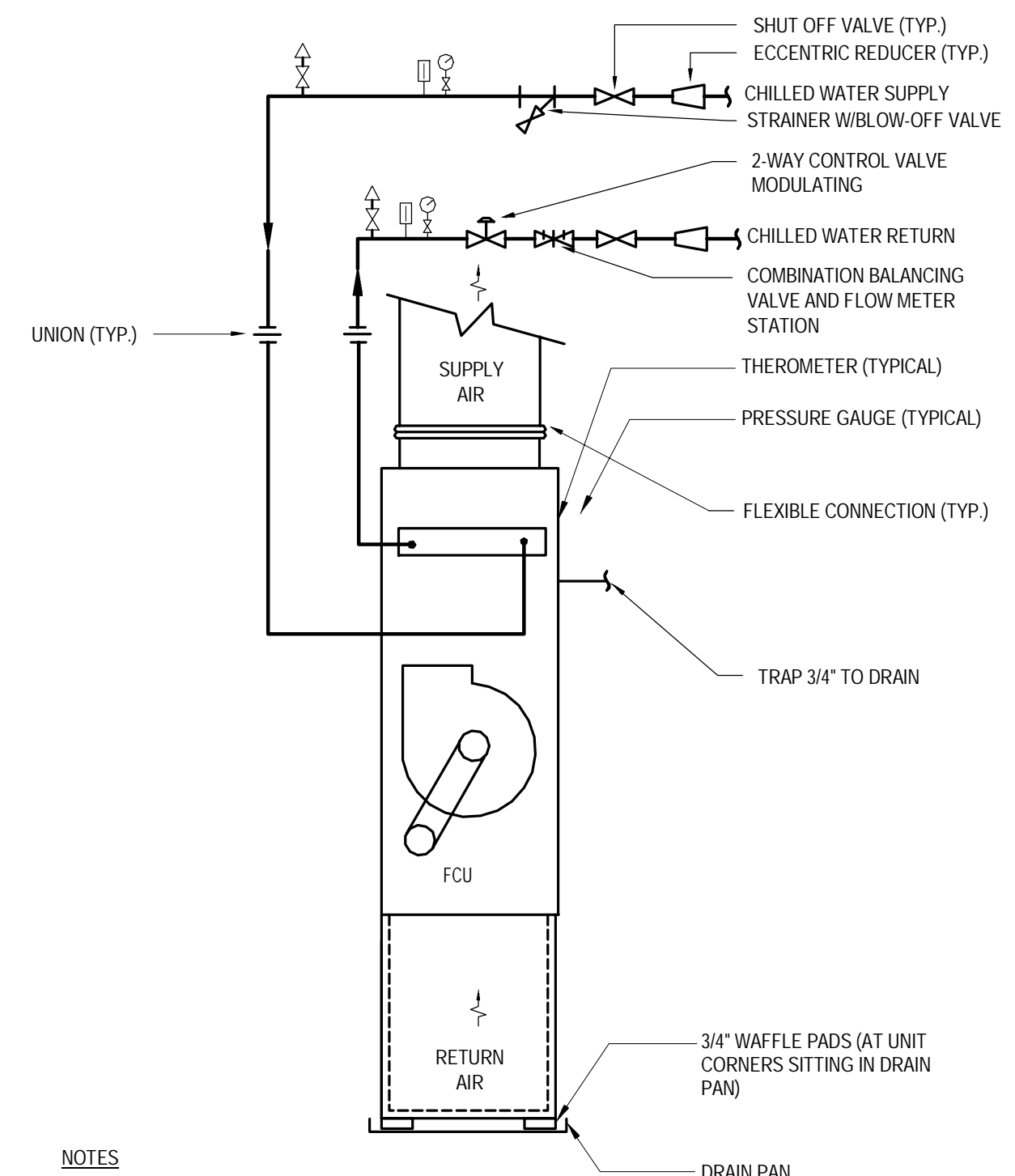


NOTES:

1. LOCATE PIPE UNIONS AND ARRANGE PIPING TO FACILITATE COIL REMOVAL.
2. PROVIDE SIMILAR ARRANGEMENT ON EACH SIDE FOR TWO SECTION WIDE COIL ASSEMBLY.
3. FOR SIZES "A" SEE PLANS AND FLOW DIAGRAMS.
4. ON LINES 2" AND SMALLER, LOCATE THERMOMETER WELL IN PIPE ELBOW.

HOT WATER REHEAT COIL CONNECTIONS
ONE HIGH

SOUND LINING INSTALLATION AND NOSING DETAIL

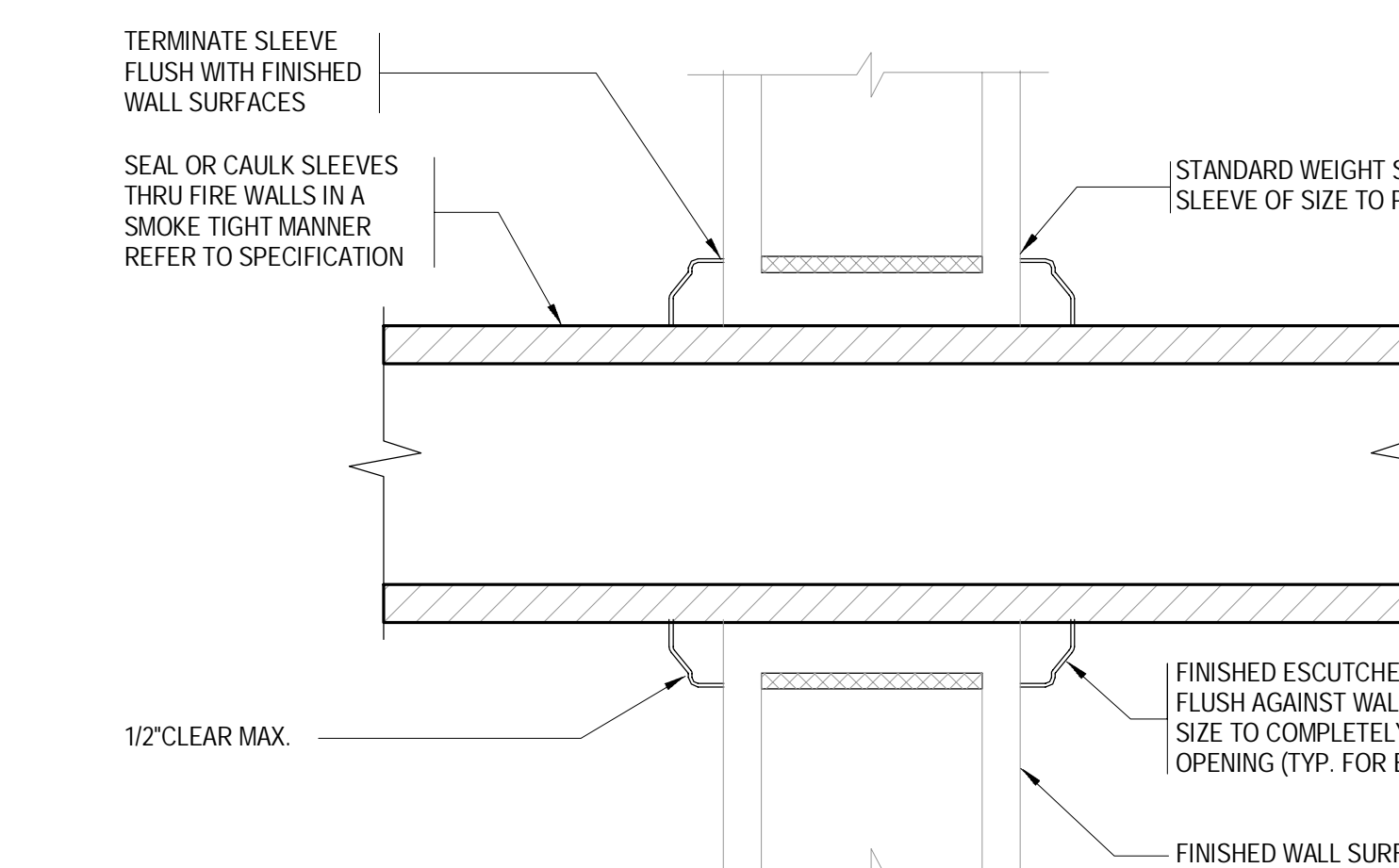
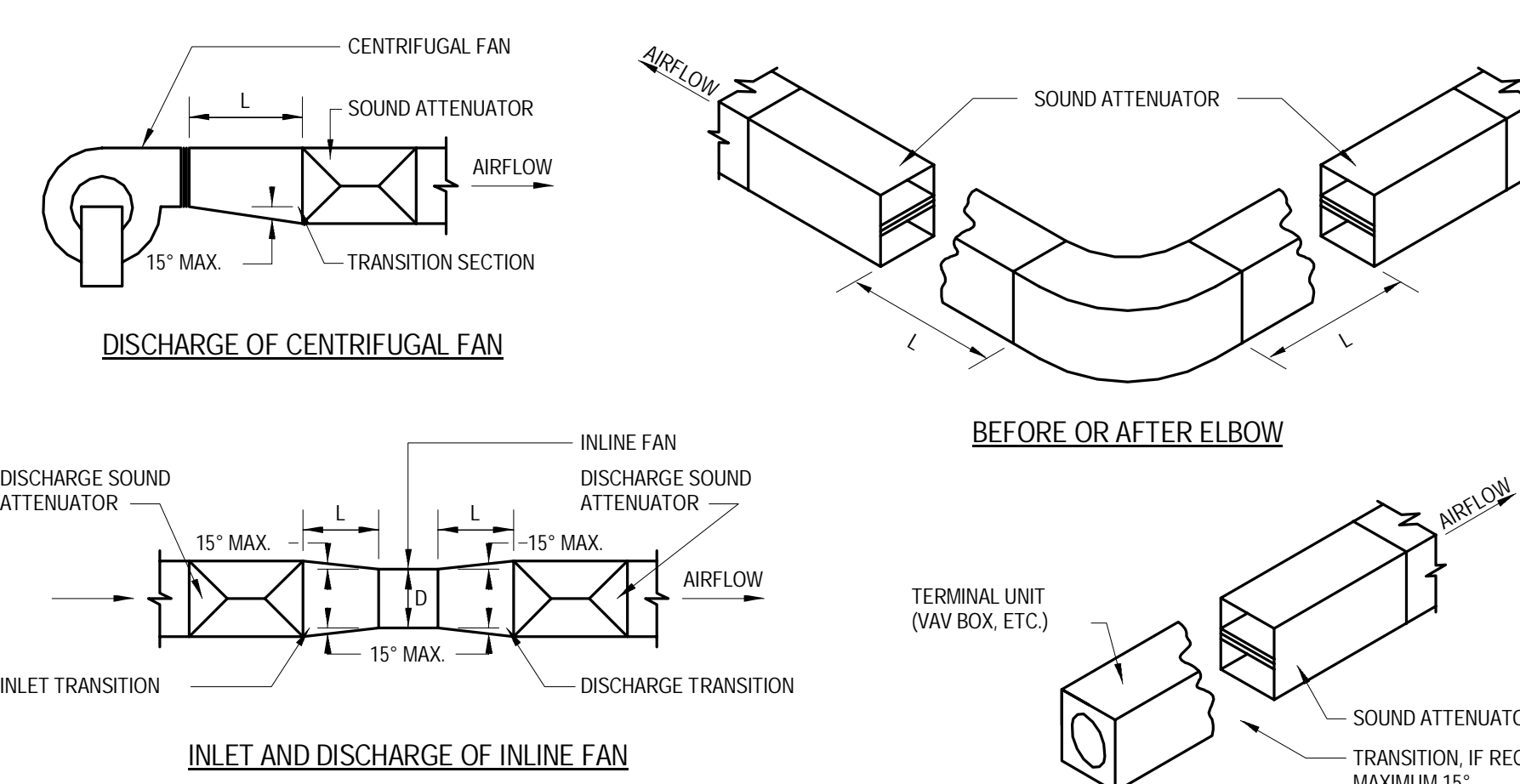
DUCT PENETRATION
THROUGH ROOF

NOTES:

EACH UNIT SHALL BE PROVIDED WITH THE FOLLOWING:

1. UNITS MOUNTED 3-WAY MOTORIZED FLOW VALVES. UPON UNIT SHUT DOWN, MOTORIZED VALVES SHALL SHUT OFF. MANUFACTURER SHALL BE EERE OR APPROVED EQUAL.
2. (1) AUTOMATIC PRESSURE COMPENSATED FLOW LIMITER. MANUFACTURER SHALL BE HAYS OR APPROVED EQUAL.
3. (2) MANUAL BALL ISOLATION VALVES AT THE SUPPLY AND RETURN PIPES.

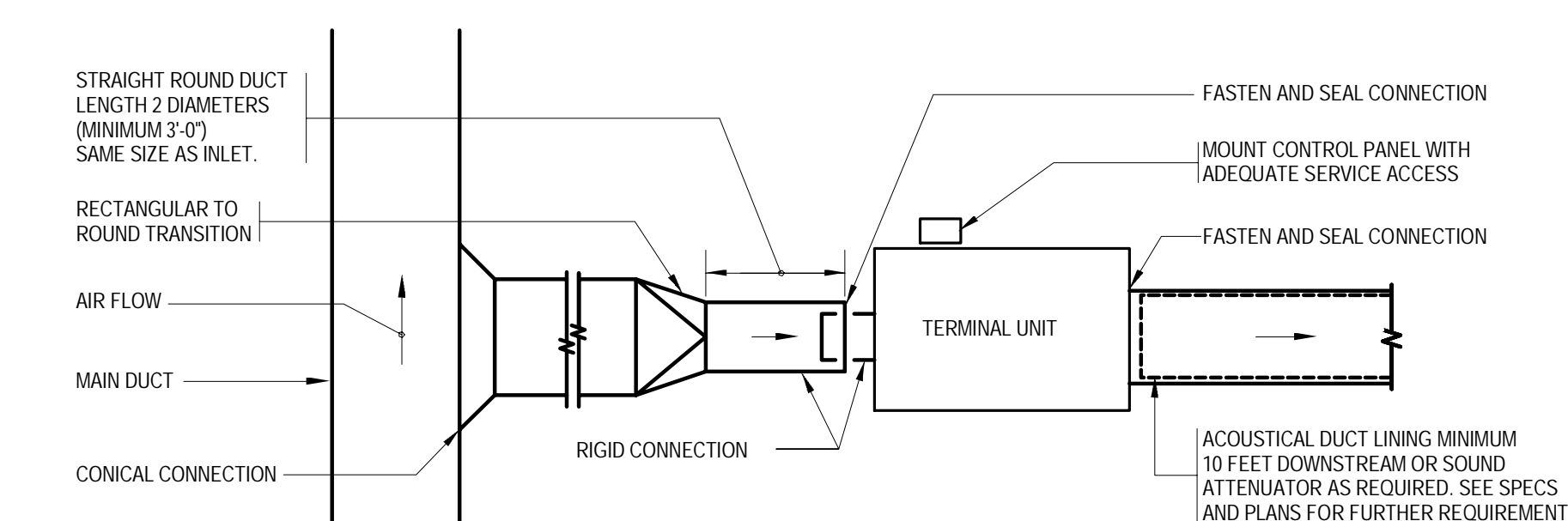
VERTICAL FAN COIL UNIT PIPING DETAIL

TYPICAL DETAIL OF PIPE
THRU RATED WALL

NOTES:

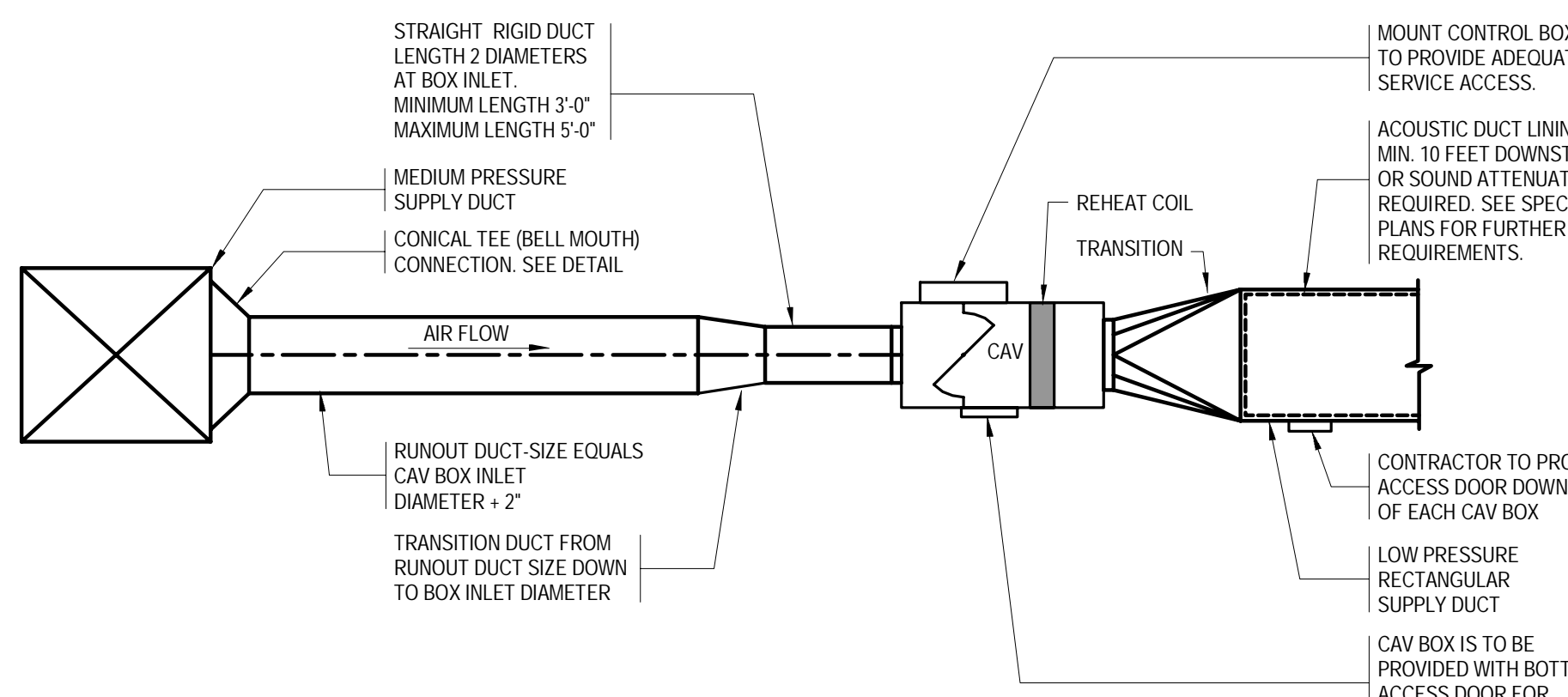
1. L-JOINT OR LENGTH REQUIRED TO MAINTAIN 15\"/>

SOUND ATTENUATOR INSTALLATION DETAILS



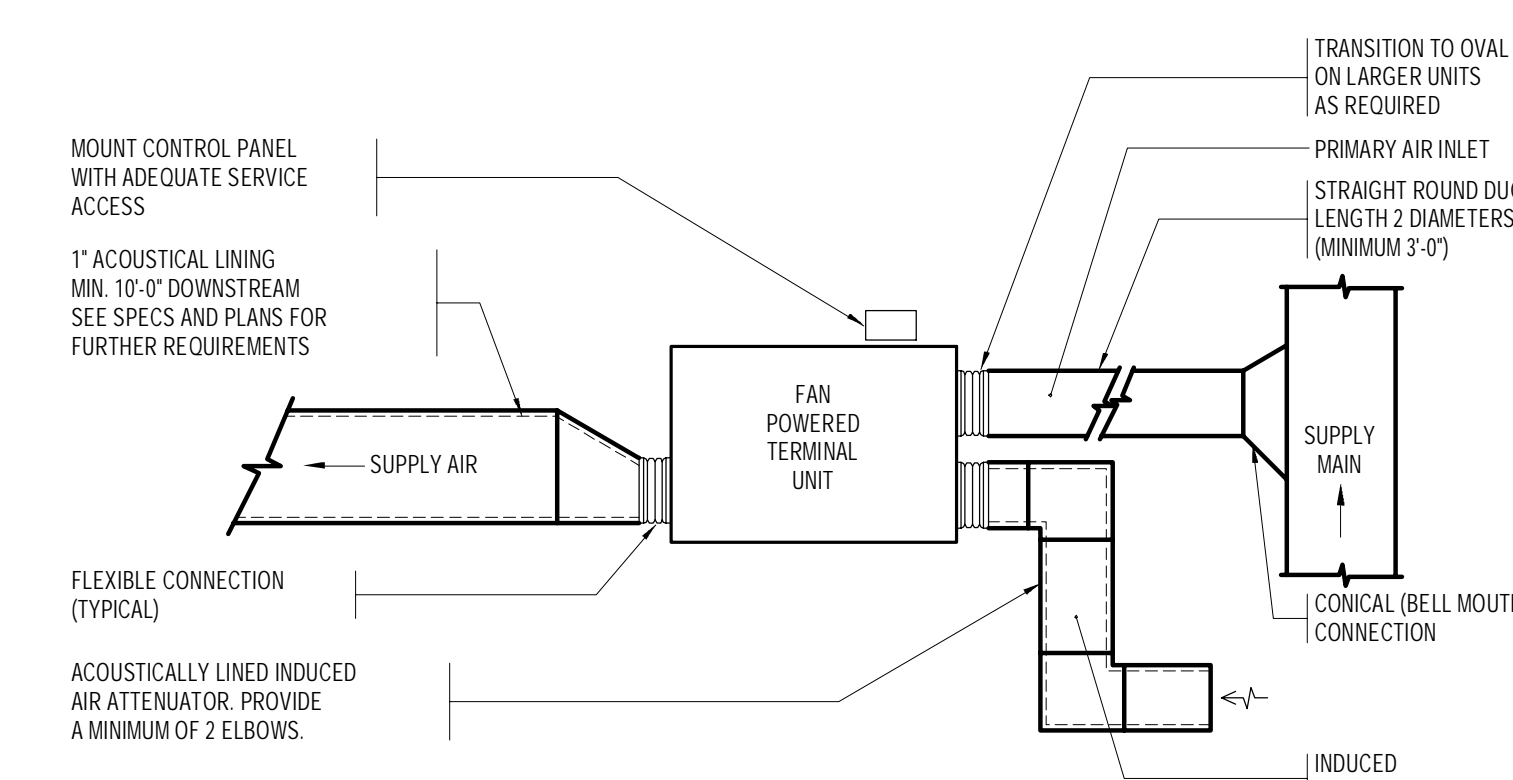
NOTES:

1. THE OPERATION OF VARIABLE VOLUME TERMINAL UNITS ARE AFFECTED BY EXCESSIVE TURBULENCE ON THE ENTERING SIDE OF EACH TERMINAL UNIT THEREFORE, TERMINAL UNITS MUST NOT BE INSTALLED TOO CLOSE TO MAIN DUCTS, ELBOWS AND FITTINGS.
2. WHEN MINIMUM UPSTREAM STRAIGHT DUCT CONNECTION TO TERMINALS AS INDICATED ABOVE CANNOT BE MAINTAINED, PROVIDE ORIFICE PLATE, STRAIGHTENING VANES OR OTHER DEVICE AS RECOMMENDED BY TERMINAL UNIT MANUFACTURER AND SUBMIT TO ENGINEER FOR REVIEW PRIOR TO INSTALLATION.
3. MANUFACTURER OF TERMINAL UNIT SHALL PROVIDE CONTROLS ON LEFT OR RIGHT SIDE AS REQUIRED BY FIELD CONDITIONS.
4. ARRANGE ACCESS TO PERMIT EASY FIELD BALANCE AND MAINTENANCE OF TERMINAL UNIT.

TERMINAL UNIT INSTALLATION
(CAV OR VAV)

NOTES:

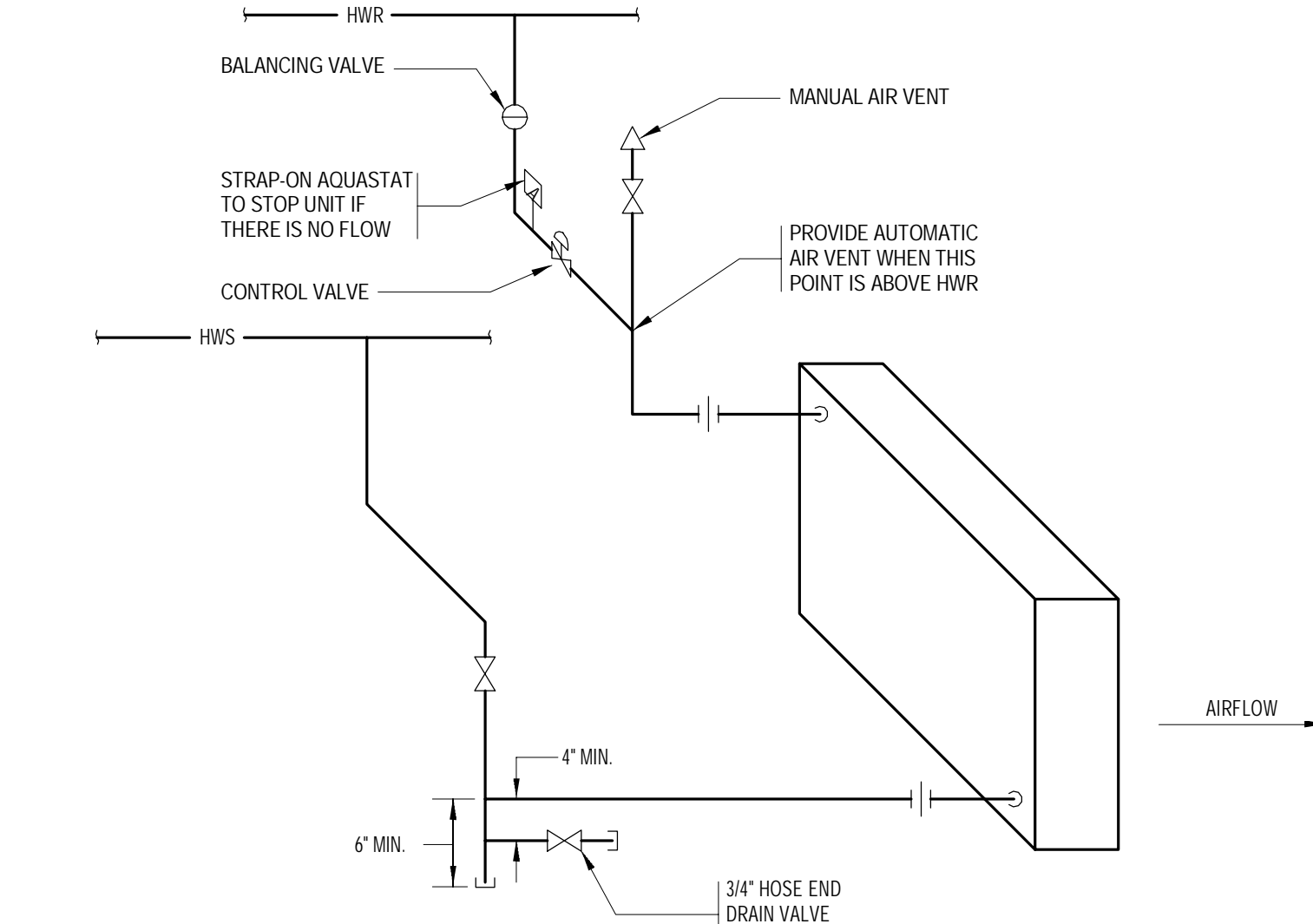
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2. WHEN MINIMUM UPSTREAM STRAIGHT DUCT CONNECTION TO TERMINALS AS INDICATED ABOVE CANNOT BE MAINTAINED, PROVIDE ORIFICE PLATE, STRAIGHTENING VANES OR OTHER DEVICE AS RECOMMENDED BY TERMINAL UNIT MANUFACTURER AND SUBMIT TO ENGINEER FOR REVIEW PRIOR TO INSTALLATION.
3. MANUFACTURER OF TERMINAL UNIT SHALL PROVIDE CONTROLS ON LEFT OR RIGHT SIDE AS REQUIRED BY FIELD CONDITIONS.
4. ARRANGE ACCESS TO PERMIT EASY FIELD BALANCE AND MAINTENANCE OF TERMINAL UNIT.

TERMINAL REHEAT BOX CONNECTIONS
(CAV OR VAV)

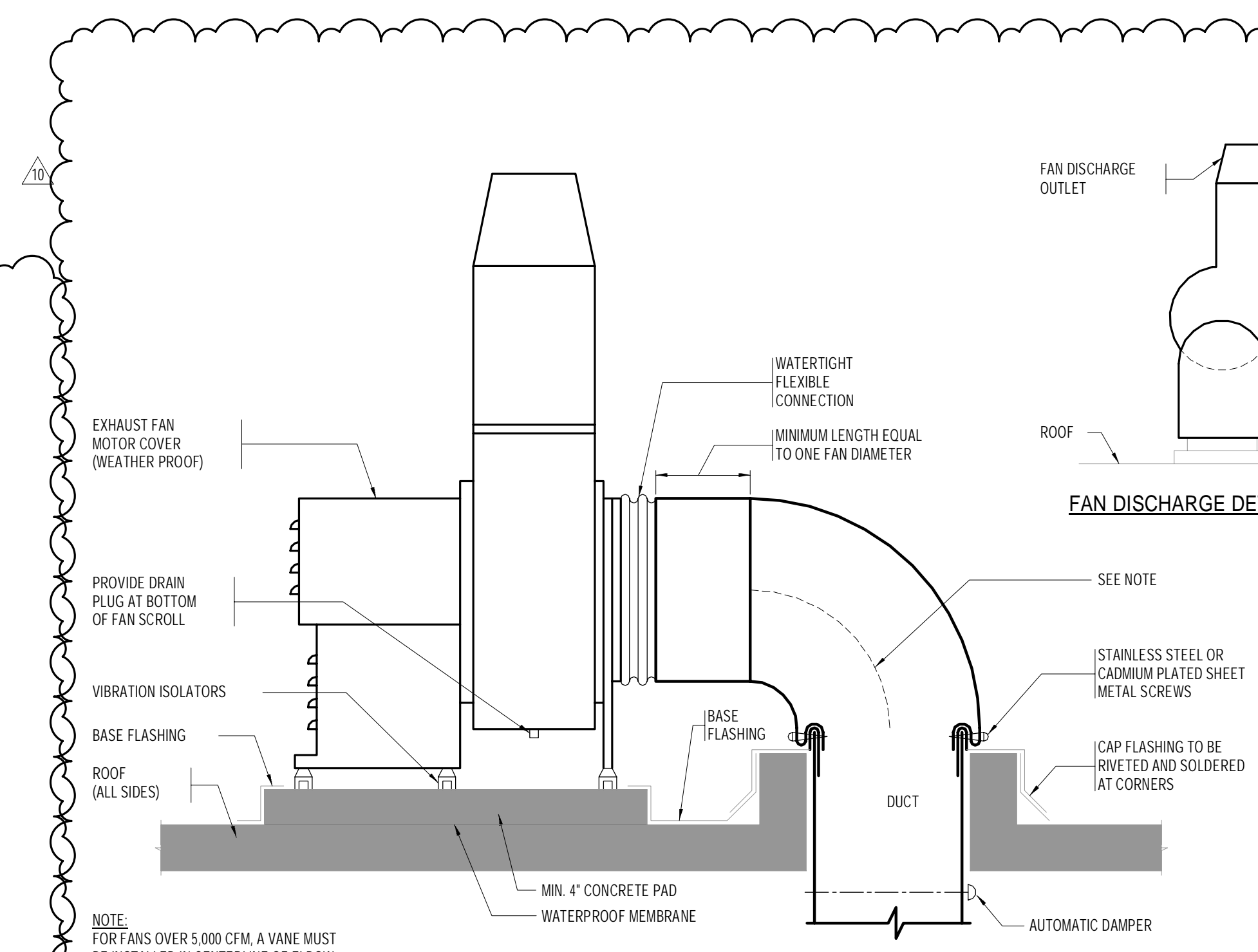
NOTES:

1. ALL UNITS TO BE PROVIDED WITH VIBRATION ISOLATORS AND TO BE SUPPORTED FROM SLAB OR STRUCTURAL STEEL.
2. INSTALL TERMINAL UNITS CLEAR OF LIGHTS FOR ACCESS.
3. SEE HVAC EQUIPMENT HANGING DETAIL FOR SUPPORT.

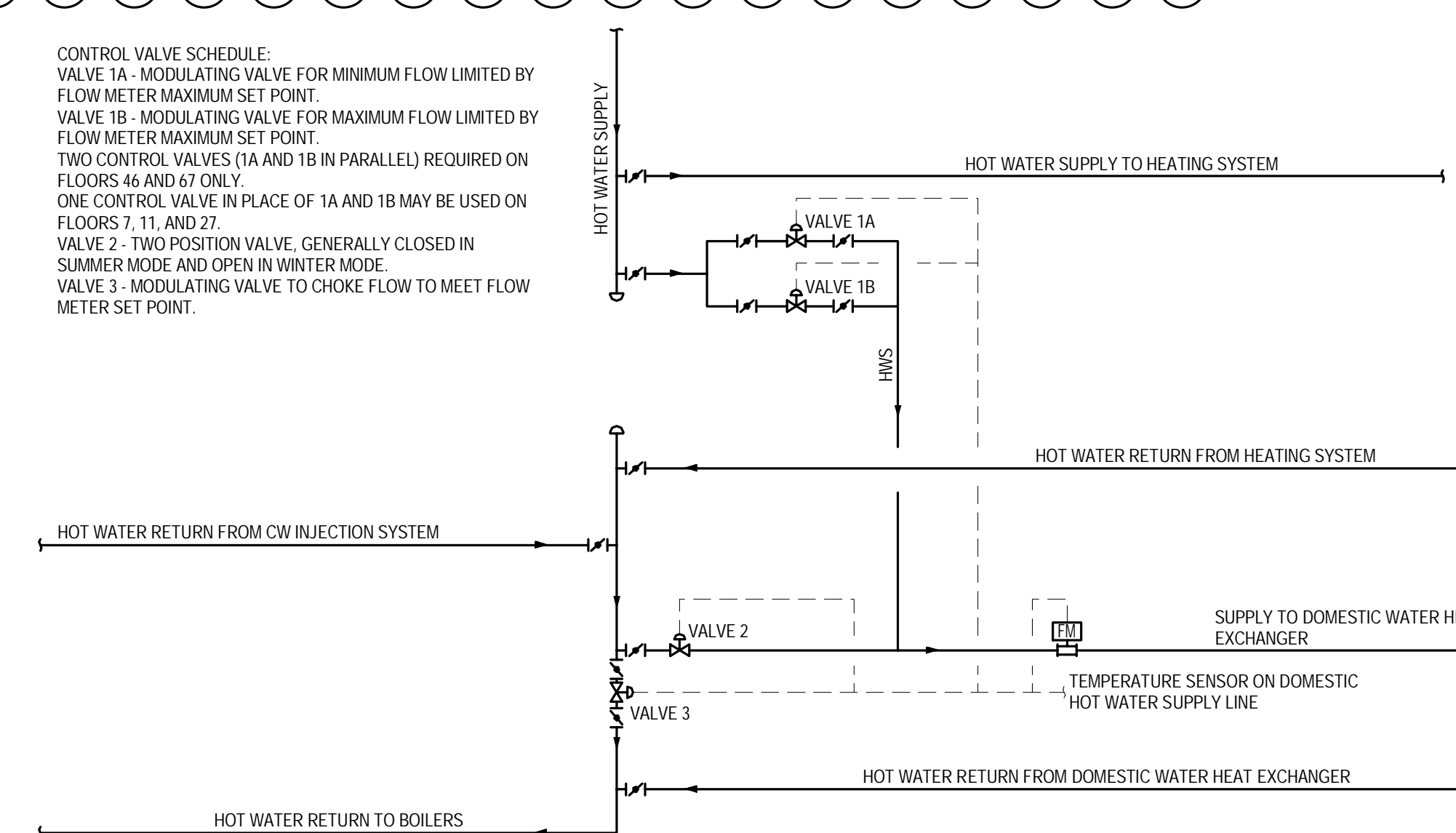
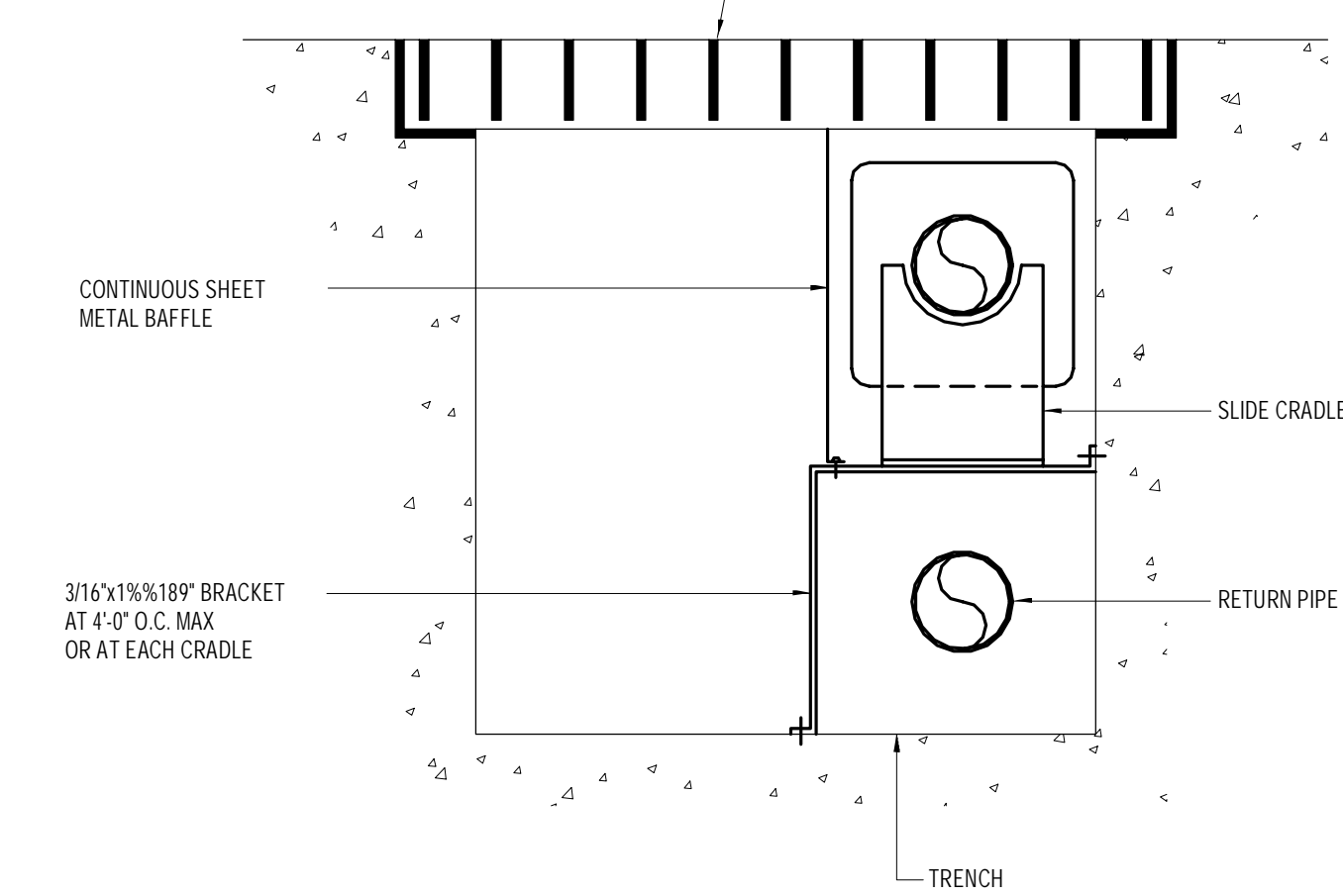
FAN POWERED TERMINAL UNIT DETAIL



HOT WATER UNIT HEATER PIPING



ROOF MOUNTED UTILITY FAN DETAIL

MECHANICAL CONTROL VALVE INSTALLATION
FOR DOMESTIC HOT WATER HEAT EXCHANGERS

FLOOR RECESSED RADIATION

KEY PLAN: PROJECT #66 - WEST 68TH ST, WEST 57TH ST, 5TH AVE, 6TH AVE

PROJECT NORTH, TRUE NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotet Architecture and Design Studio, PLLC
288 Fifth Ave. 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX: 646 998 7000

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJ ARCHITECTS, P.C.
401 Wellington St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 East 46th Street
New York, NY 10017 USA
TEL: 212 697 8688 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Lagan Engineering & Environmental Services
21 Penn Plaza - 360 West 37th Street, 6th Floor
New York, NY 10018-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
A.J.P. Consulting
40 Worth Street, Suite 626
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6482 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - MECHANICAL	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 5	10 AUG 2015
9	DOB AMENDMENT 1	18 SEP 2015
10	CD PROGRESS ISSUE 7	29 JAN 2016
11	CD PROGRESS ISSUE 8 - CMP SET	18 MAR 2016
12	CD BULLETIN ISSUE 3	25 MAY 2016
13	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

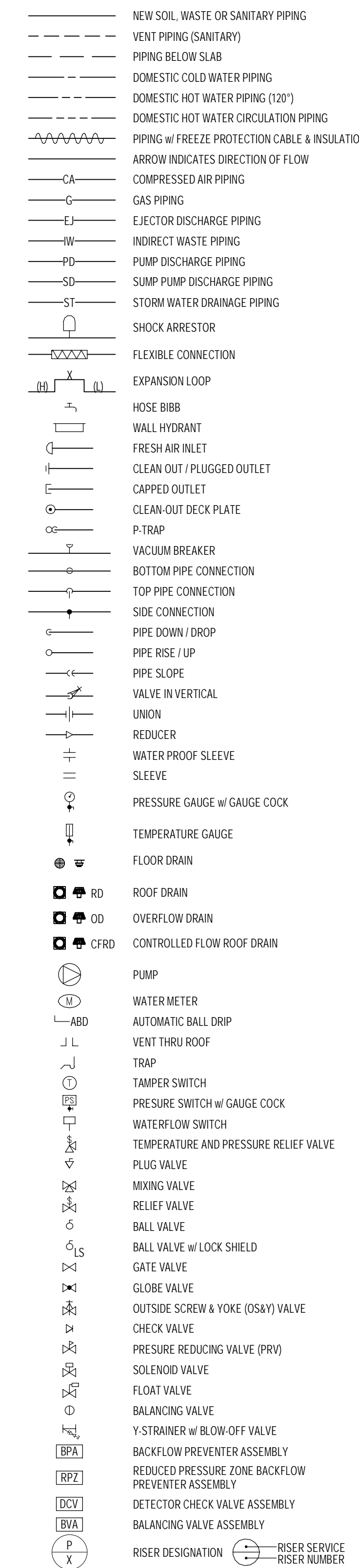
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **AKF**
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

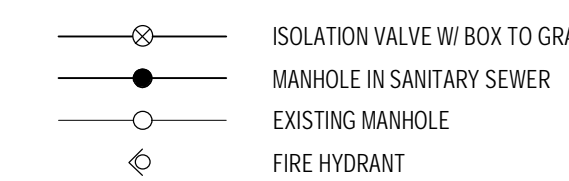
DRAWING TITLE: **MECHANICAL
DETAILS**

SEAL & SIGNATURE: DATE: 04/04/14
PROJECT No: Y130747-000
DRAWN: PHS REV: 13
CHK: PHS
SCALE: 1/2" = 1'-0"
DWG No: **M-605.02**
DOB EMPLOYEE STAMP: DOB PAGE No: 131 of 132 DOB B-SCAN:

PLUMBING BASIC SYMBOLS



PLUMBING WATER SERVICE SYMBOLS



PLUMBING ABBREVIATIONS

AD	AREA DRAIN
AF	AFTER FINISHED FLOOR
BLOG	BUILDING
BTOP	BOTTOM OF PIPE
CLG	CEILING
CM	COFFEE MAKER
CLD	CLEANOUT
CDP	CLEAN DISC PLATE
CONN	CONNECT
CONT	CONTINUATION
COV	COVER
CVO	CAPPED AND VALVE OUTLET
CO	COLD WATER
DIA	DIAMETER
DN	DOWN (PENETRATES FLOOR SLAB)
DR	DRAIN
DWG	DRAWING
EJCS	EJECTOR DISCHARGE
EL	ELECTRIC WATER COOLER
EL	ELEVATION
FI	FRESH AIR INLET
FD	FLOOR DRAIN
FB	FLOOR
FLH	FLOOR HYDRANT
FT	FEET
FTU	FIXTURE UNIT
GA	GALLONS
GC	GENERAL CONTRACTOR
GPM	GALLONS PER MINUTE
HB	HOSE BOND
HCLG	HUNG CUELING
HW	HOT WATER
HWR	HOT WATER RETURN
ID	INSIDE DIAMETER
IN	INCH
IR	INDIRECT WATER
JS	JANITORS SINK
LAV	LAVATORY
MMP	MEDICAL GAS ALARM PANEL
MAX	MAXIMUM
MIN	MINIMUM
MR	MOP RECEPTOR
NC	NORMALLY CLOSED
NC	NOT IN SCOPE CONTRACT
NO	NORMALLY OPEN
NTS	NOT TO SCALE
OD	OUTSIDE DIAMETER
OSBY	OUTSIDE SCREEN & YORKE GATE VALVE
PD	PLUMBING CONTRACTOR
PO	PUMP DISCHARGE
PR	PRESSURE REDUCING VALVE
PSV	POUNDS PER SQUARE INCH (GAUGE)
RD	ROOF DRAIN
SA	SHOCK ABSORBER
SN	SANITARY
SND	SUMP PUMP DISCHARGE
SH	SHOWER
SK	SINK
SQFT	SQUARE FOOT
STORM	STORM
TYP	TYPICAL
UPON	UNLESS OTHERWISE NOTED
UR	UPENETRATES FLOOR SLAB
UR	URNAL
V	VENT
VTR	VACUUM BREAKER
VTR	VENT THROUGH ROOF
W	WASTE
WC	WATER-CLOSING
WCO	WALL CLEANOUT
WL	WALL HYDRANT
ZCVB	ZONE CONTROL VALVE BOX

PLUMBING GENERAL NOTES

- GENERAL NOTES: SYMBOLS LIST AND THE NOTES ARE APPLICABLE TO ALL DRAWINGS MARKED P.
2. DRAWINGS ARE DRAWN TO INDICATE THE GENERAL LOCATIONS OF SYSTEMS AND COMPONENTS IN FIELD.
3. NEITHER ACCURACY NOR COMPLETION OF UTILITY LOCATIONS SHOWN ON DRAWINGS IS GUARANTEED. DETERMINE EXACT LOCATION OF EXISTING UTILITY IN FIELD. WHETHER OR NOT SHOWN ON DRAWINGS, DETERMINE EXACT UTILITY LOCATIONS OF UNBARRICADED UTILITY LINES IS NECESSARY TO PREVENT DAMAGE OF THIS SECTION.
4. ALL PUMPING WORK SHALL BE IN ACCORDANCE WITH THE CURRENT PUMPING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE HIS WORK WITH THAT OF ALL OTHER TRADES, INCLUDING BUT NOT LIMITED TO, ELECTRICAL, HAVE PROCESS PIPING, SPRINKLER, PLUMBING, STRUCTURAL AND GENERAL ARCHITECTURE.
6. ANY INTERFERENCE SHALL BE BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND THE OWNER IMMEDIATELY.
7. NO WORK SHALL BE INSTALLED IN VIOLATION OF ANY GOVERNING CODES. ANY WORK SHOWN ON THE DRAWINGS IN VIOLATION OF SUCH CODES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY. THE CONTRACTOR'S REPRESENTATIVE SHALL BE RESPONSIBLE PRIOR TO THE INSTALLATION OF THE WORK INVOLVED.
8. ALL PIPING PENETRATING CEILING AND WALLS SHALL BE INSTALLED WITH CORNER STAINLESS STEEL WHERE NOTED PASTING ESCUTCHEONS AT THE PENETRATION. ALL PIPING PENETRATING EXTERIOR WALLS SHALL BE INSTALLED WITH FLANGES IN APPROVED MANNER AND SHALL BE SEALED WITH APPROVED PASTING. PIPING PENETRATING DRAIN PARTITIONS SHALL BE PROTECTED AS REQUIRED BY LOCAL CODE ADOPTIONS. SEE DETAIL FOR PASTING.
9. MANUFACTURER'S MODEL NUMBERS ARE SPECIFIED SOLELY TO ESTABLISH STANDARDS OF QUALITY FOR PERFORMANCE AND MATERIALS.
10. PRODUCT INSTALLATION SHALL ADHERE TO MANUFACTURER'S RECOMMENDATIONS.
11. PROVIDE ACCESS PANELS FOR EQUIPMENT THAT REQUIRES PROTECTIVE SERVICE.
12. TOPS OF ALL FLOOR DRAINS SHALL BE FLUSH WITH FINISHED FLOOR. ALL PIPING ABOVE GRADE SHALL BE PROPERLY SUPPORTED BY THE BUILDING STRUCTURE AND SHALL NOT REST ON CEILING OR FLOOR JOISTS.
13. CONTRACTOR SHALL COORDINATE ELECTRICAL CHARACTERISTICS AND REQUIREMENTS OF ALL PUMPING EQUIPMENT WITH THE ELECTRICAL DRAWINGS AND SHALL FURNISH EQUIPMENT FOR THE VOLTAGES SHOWN.
14. PROVIDE SHUTOFF VALVES ON ALL BRANCH PIPING AND ALL SUPPLIES TO INDIVIDUAL FURNITURES AND EQUIPMENT. PROVIDE BALL VALVES ON ALL WATER MAIN BRANCHES IN CORRIDORS AND WHERE INDICATED ON DRAWINGS. ALL VALVES SHALL BE ACCESSIBLE.
15. ALL SLEEVES THROUGH CONCRETE FLOORS AND ALL DRAIN COULING OF CONCRETE FLOORS AND WALLS SHALL BE PROTECTED WITH APPROVED METHOD.
16. CONCRETE PADS AND PLATFORMS FOR WORK OF THIS SECTION WILL BE PROVIDED BY GENERAL CONTRACTOR. PROVIDE INFORMATION AND HADWARE AS NECESSARY TO COORDINATE WITH.
17. SCHEDULE WORK OF THIS SECTION TO AVOID INTERFERENCE WITH FIRE-PROOFING WORK.
18. COORDINATE ROOF PENETRATIONS WITH WORK OF OTHER SECTIONS AND WITH FLASHING REQUIREMENTS.
19. RUN PIPING CONCEALED, UNLESS SPECIFIED OTHERWISE, AND CLEAR OF CEILING INSISTS.
20. STRUCTURAL WELDING SHALL BE IN ACCORD WITH AISC REQUIREMENTS AND OTHERS.
21. PROVIDE CLAMPS, SIFTS, EXPANSION JOINTS, ANCHORS AND GASKETS AS NECESSARY TO PREVENT SEVERE VIBRATION.
22. PROVIDE BALANCING VALVES AT SYSTEM LOOP RETURNING AND AT RETURN RISERS PROVIDE SHUTOFF VALVES AT SYSTEM LOOP SUPPLIES AND SUPPLY RISERS.
23. PROVIDE VENTS AT FITTINGS IN PIPING SYSTEMS AND DRAIN VALVES AT LOW POINTS.
24. PROVIDE GAUGE HANGINGS AND THERMOMETER ORDS WITH HOT WATER SUPPLY AND RETURN BRANCHES AND A PUMP INTAKE SITES.
25. VERIFY EXIST. SIZES, LOCATIONS, AND ELEVATIONS PRIOR TO DRIVING ANY PIPING. REFER TO ARCHITECT FOR EXIST. LOCATIONS AND ELEVATIONS OF APPRA 54.
26. ALL GAS PIPING TO COMPLY WITH LOCAL AND STATE CODES.
27. GAS PIPING AND GASITY DEVICES SHALL CONFORM TO THE REQUIREMENTS OF APPRA 54 AND SHALL BE SUBJECT TO THE INSPECTION AND APPROVAL OF THE STATE REGULATOR BOARD.
28. GAS PIPING SHALL BE TESTED ACCORDING TO THE STATE FUEL GAS CODE AND NATIONAL CODE PROVISIONS OF THE LOCAL FURNISHING REGULATOR. INSPECTION OF THE TEST RESULTS DEFECTS, SUCH AS LEAKS, SHALL BE BROUGHT IMMEDIATELY TO THE ARCHITECT'S ATTENTION.
29. THE PUMPING SUBCONTRACTOR IS RESPONSIBLE FOR EXTENDING ALL NEGATIVE TESTS TO APPROPRIATE REGULATORS ARE PART OF EQUIPMENT OF GAS PIPING.
30. WATER HEATERS SHALL BE INSTALLED WITH DRAIN PANS UNDER HEATERS. ROUTE PIPING DRAINS TO NEAREST FLOOR DRAIN OR SINK DRAIN.
31. PIPING SHALL NOT RUN OVER ELECTRICAL PANELS AND SHALL BE COORDINATED WITH WORK OF OTHER TRADES.

NYC BUILDING DEPARTMENT PLUMBING NOTES

THE PLUMBING SYSTEMS (SANITARY, VENT, WATER DISTRIBUTION AND GAS) AND ALL ASSOCIATED EQUIPMENT WILL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FULL REQUIREMENTS OF THE BUILDING CODE OF THE CITY OF NEW YORK AS CITED IN THE NEW YORK CITY PLUMBING CODE (NYPC), CHAPTER 13 REFERENCED STANDARDS OF THE NYPC AND THE NEW YORK CITY FUEL GAS CODE (NYFCG).

3. THE SANITARY DRAINAGE SYSTEM SHALL BE IN FULL COMPLIANCE WITH THE GENERAL PROVISIONS OF SECTION PC-301.
4. THE MATERIALS USED IN THE PLUMBING SYSTEM WILL BE PROVIDED IN FULL COMPLIANCE WITH SECTIONS PC-203 AND PC-303.
5. EQUIPMENT HOOR-UP AND THE JOINING OF PIPING WILL BE IN FULL COMPLIANCE WITH SECTIONS PC-405 AND PC-406.
6. THE INSTALLATION OF FUTURES WILL BE IN FULL COMPLIANCE WITH SECTION PC-405.
7. TRAYS FOR DRAINAGE AND DRAINWALLS WILL BE PROVIDED AND CLEANOUTS INSTALLED IN FULL COMPLIANCE WITH SECTIONS PC-410, PC-406 AND CHAPTER 9.
8. VERTICAL AND HORIZONTAL PIPING WILL BE HUNG AND SUPPORTED AS DIRECTED IN SPECIFICATIONS AND IN FULL COMPLIANCE WITH SECTION PC-308.
9. THE WATER SUPPLY SYSTEM OF THE SUBJECT BUILDING SHALL BE INSTALLED AND MAINTAINED IN FULL COMPLIANCE WITH CHAPTER 6.
10. THE SANITARY DRAINAGE SYSTEM OF THE SUBJECT BUILDING WILL BE INSTALLED IN FULL COMPLIANCE WITH CHAPTER 7.
11. THE VENT PIPING FOR THE SANITARY DRAINAGE SYSTEM OF THE SUBJECT BUILDING WILL BE INSTALLED IN FULL COMPLIANCE WITH SECTION PC-702 AND CHAPTER 9.
12. THE STORM DRAINAGE SYSTEM OF THE SUBJECT BUILDING WILL BE INSTALLED IN FULL COMPLIANCE WITH CHAPTER 11.
13. GAS PIPING AND EQUIPMENT WILL BE INSTALLED IN FULL COMPLIANCE WITH THE NEW YORK CITY GAS CODE.
14. ALL TRENCHING SHALL BE DONE IN FULL COMPLIANCE WITH THE REQUIREMENTS OF SECTION PC-504.
15. TEMPORARY TAIL FACILITIES SHALL BE PROVIDED FOR WORKERS AS PER SECTION PC-311.
16. ROOFING SHALL BE DONE IN COMPLIANCE WITH SECTION PC-304.
17. CHANGES OR DEVIATIONS DURING PIPING SHALL BE MADE WITH APPROPRIATE USE OF A DEGRADE, LEAKS, LOW-SLOPES, SHORT SHIFTS, SLOTT, EIGHT OR SIXTEEN HOURS OR A COMBINATION OF THESE OR EQUIVALENT METHODS, FOR LIMITATIONS ON FITTINGS SEE SECTION PC-703 AND TABLE 706.3.
18. SANITARY TESTS WILL BE UTILIZED IN CONNECTIONS ONLY WHERE THE DIRECTION OF FLOW IS FROM THE EXISTING TO THE NEW OR FROM THE NEW TO THE EXISTING (SEE SECTION PC-703 AND TABLE 706.3).
19. SHORT TESTS AND QUANTITATIVE TESTS WILL BE PERMITTED IN DRAINAGE PIPING, TWO INCH OR LARGER FOR ANY OFFSETS OF EITHER HORIZONTAL OR VERTICAL, HORIZONTAL TO HORIZONTAL CONNECTIONS WILL BE PERMITTED FOR 1/2 INCH OR LARGER OR SMALLER TUBES OR DRIFTS SEE SECTION TABLE 706.3.
20. TO THE BEST OF THE APPLICANTS KNOWLEDGE, DESIGN AND PROFESSIONAL JUDGMENT, THESE PLANS ARE IN FULL COMPLIANCE WITH THE NEW YORK CITY ENGINEERING CONSENT DECISION.

SPECIAL INSPECTIONS

THE CONTRACTOR SHALL ENGAGE THE SERVICES OF A PROFESSIONAL ENGINEER TO PROVIDE THE REQUIRED SPECIAL INSPECTIONS AND TESTS, UNDER THE DIRECTION OF THE OWNER.

THE CONTRACTOR MUST NOTIFY THE SPECIAL INSPECTION AGENCY AT LEAST 72 HOURS BEFORE THEY ARE READY FOR INSPECTIONS TO BE PERFORMED.

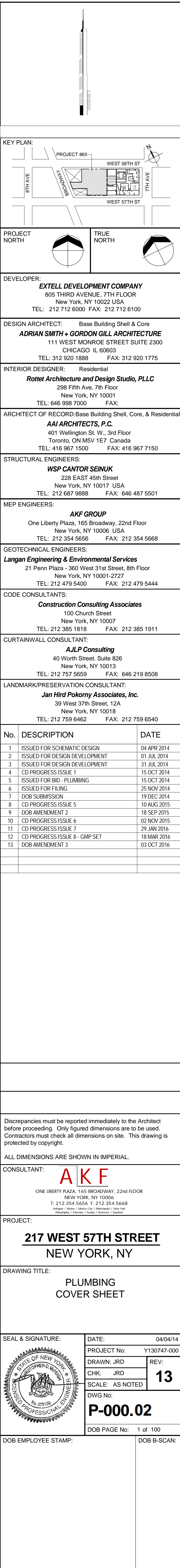
SPECIAL AND PROGRESS INSPECTIONS ARE REQUIRED IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE BUILDING CODE AS LISTED IN THE FOLLOWING TABLES.

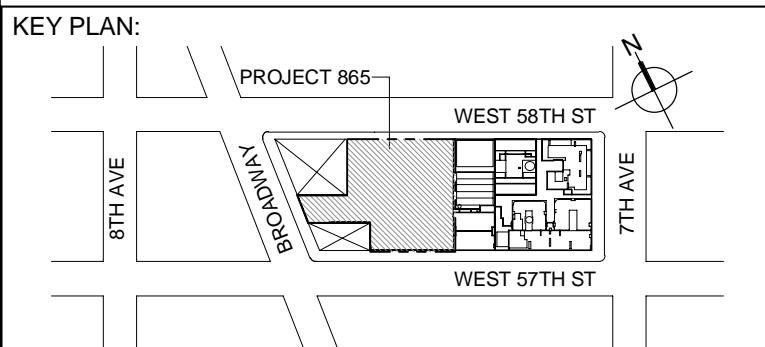
SPECIAL INSPECTION ITEMS

SPRAYED FIRE-RESISTANT MATERIALS	BC 1704.11
MECHANICAL SYSTEMS	BC 1704.15
SITE STORM DRAINAGE & DETENTION SYSTEMS	BC 1704.20
FIRE STOPPING	BC 1704.25
<u>PROGRESS INSPECTION ITEMS</u>	<u>CODE SECTION:</u>
ENERGY CODE COMPLIANCE INSPECTIONS	BC 109.3.5
FINAL INSPECTION	DIRECTIVE 14 - BY ARCHITECT

PLUMBING DRAWING LIST

DRAWING NO.	DRAWING TITLE
P-001	PUMPING COVER SHEET
P-001.00	PUMPING FLOOD MAP 2007
P-002	PUMPING FLOOD MAP 2007
P-002.00	PUMPING FLOOD MAP 2007
P-100	PUMPING SUB CELLAR 1 PLAN (MFD SUB CELLAR 1)
P-101	PUMPING SUB CELLAR 2 PLAN (MFD SUB CELLAR 2)
P-102	PUMPING SUB CELLAR 3 PLAN (MFD SUB CELLAR 3)
P-103	PUMPING SUB CELLAR 4 PLAN (MFD SUB CELLAR 4)
P-104	PUMPING GROUND FLOOR PLAN (MFD GROUND FLOOR)
P-105	PUMPING GROUND FLOOR INTERMEDIATE PLAN (MFD GROUND FLOOR INTERMEDIATE)
P-106	PUMPING 2nd FLOOR PLAN (MFD 2nd FLOOR)
P-107	PUMPING 3rd FLOOR PLAN (MFD 3rd FLOOR)
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P-205	PUMPING SUB CELLAR 6 UNDERGROUND PIPING PLAN (MFD SUB CELLAR 6)
P-206	PUMPING SUB CELLAR 7 UNDER





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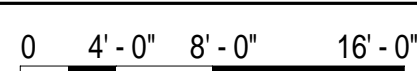
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 TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - PLUMBING	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 4	01 JUN 2015
8	CD PROGRESS ISSUE 5	10 AUG 2015
9	DOB AMENDMENT 2	18 SEP 2015
10	CD PROGRESS ISSUE 6	02 NOV 2015
11	CD PROGRESS ISSUE 7	29 JAN 2016
12	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
13	DOB AMENDMENT 3	03 OCT 2016



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ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: **A K F**

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*Atlanta / Boston / Miami City / Minneapolis / New York
Philadelphia / Phoenix / Portland / Sacramento / Seattle*


PROJECT:


217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

PLUMBING
SUB CELLAR 3 PLAN (MFD-SUB
CELLAR 3)

SEAL & SIGNATURE:	DATE:	04/04/14
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	CHK: JRD	

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DOB PAGE No: 4 of 100	
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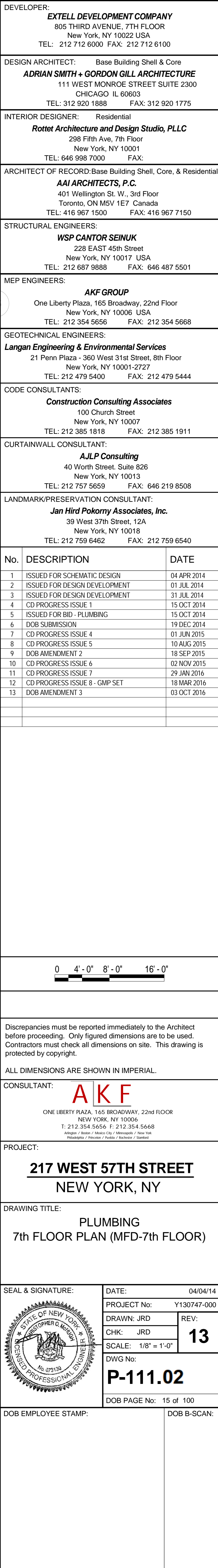
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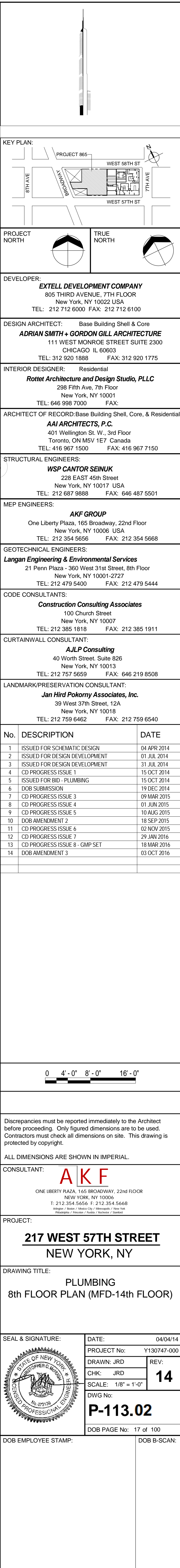
<p> $\frac{1}{2} \times \frac{1}{2} = \frac{1}{4}$ $\frac{1}{2} \times \frac{1}{4} = \frac{1}{8}$ $\frac{1}{4} \times \frac{1}{4} = \frac{1}{16}$ $\frac{1}{4} \times \frac{1}{8} = \frac{1}{32}$ $\frac{1}{8} \times \frac{1}{8} = \frac{1}{64}$ $\frac{1}{8} \times \frac{1}{16} = \frac{1}{128}$ $\frac{1}{16} \times \frac{1}{16} = \frac{1}{256}$ $\frac{1}{16} \times \frac{1}{32} = \frac{1}{512}$ $\frac{1}{32} \times \frac{1}{32} = \frac{1}{1024}$ $\frac{1}{32} \times \frac{1}{64} = \frac{1}{2048}$ $\frac{1}{64} \times \frac{1}{64} = \frac{1}{4096}$ $\frac{1}{64} \times \frac{1}{128} = \frac{1}{8192}$ $\frac{1}{128} \times \frac{1}{128} = \frac{1}{16384}$ $\frac{1}{128} \times \frac{1}{256} = \frac{1}{32768}$ $\frac{1}{256} \times \frac{1}{256} = \frac{1}{65536}$ $\frac{1}{256} \times \frac{1}{512} = \frac{1}{131072}$ $\frac{1}{512} \times \frac{1}{512} = \frac{1}{262144}$ $\frac{1}{512} \times \frac{1}{1024} = \frac{1}{524288}$ $\frac{1}{1024} \times \frac{1}{1024} = \frac{1}{1048576}$ 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1 SUB CELLAR 3 FLOOR PLAN
SCALE: 1/8" = 1'-0"



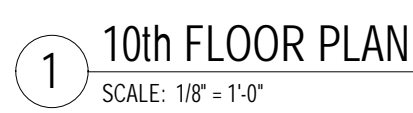




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	PROJECT No: Y130747-000	
	DRAWN: JRD	REV:
	CHK: JRD	14
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	DWG No: P-113.02	
DOB PAGE No: 17 of 100		
DOB EMPLOYEE STAMP:	DOB B-SCAN:	

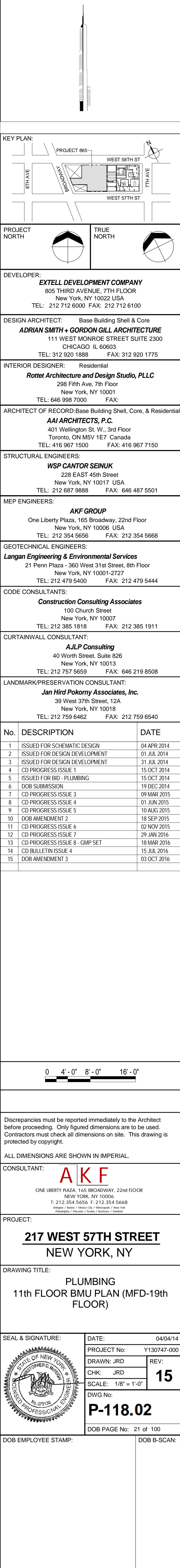


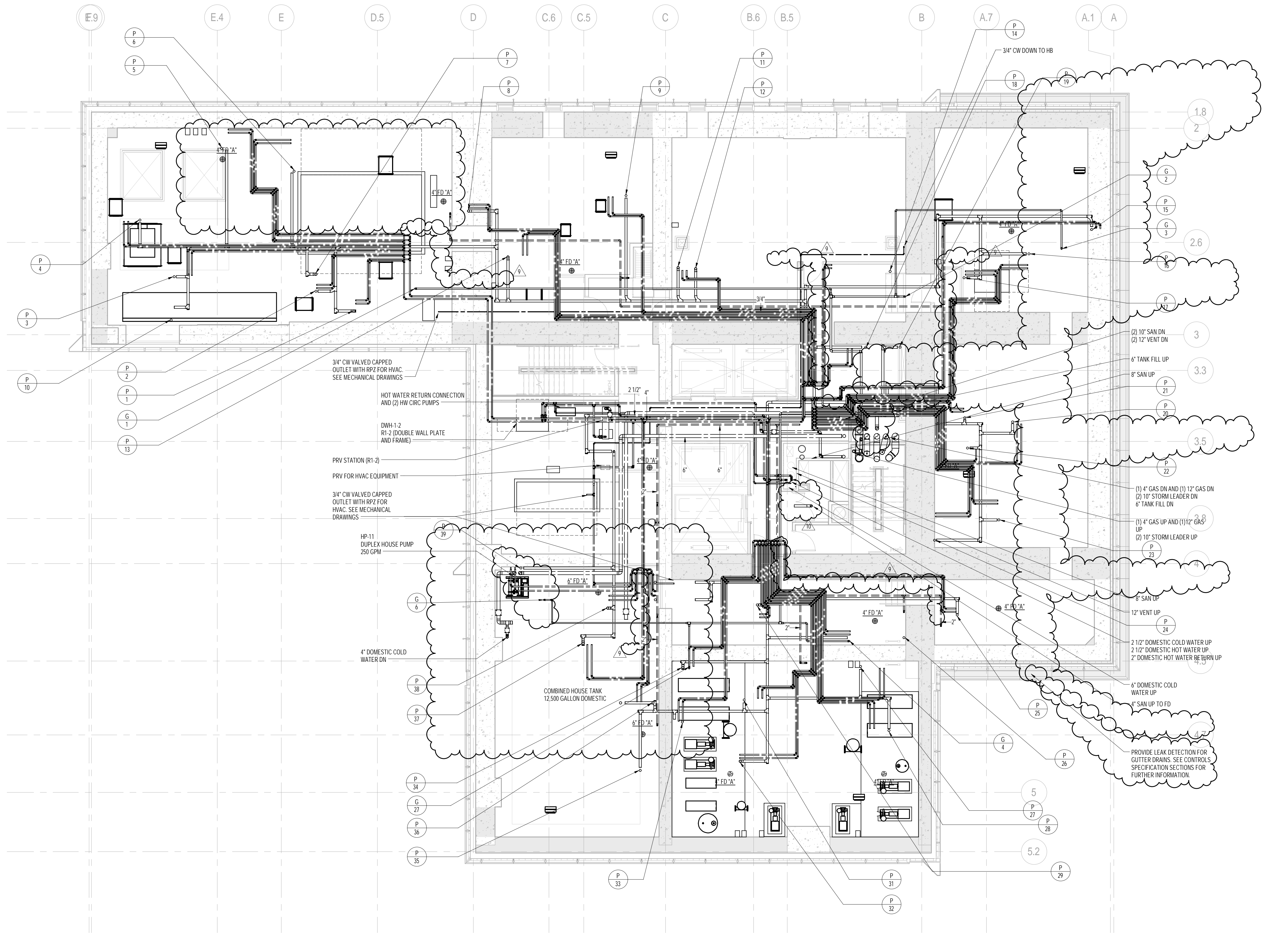
1 9th FLOOR PLAN
SCALE: 1/8" = 1'-0"



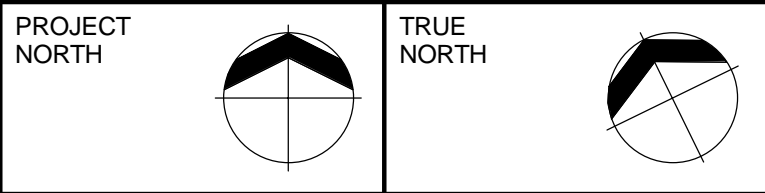
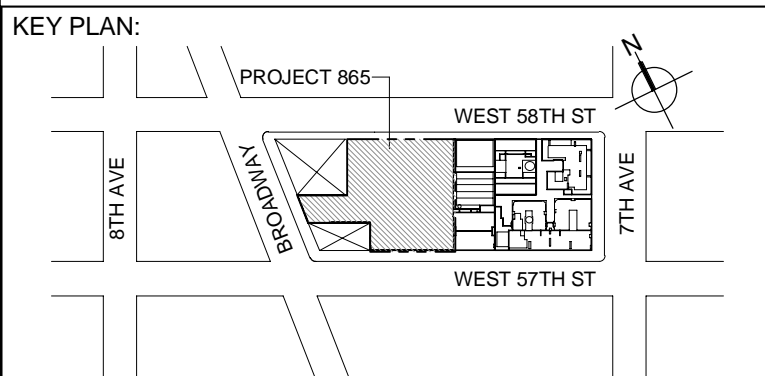
1 10th FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEY PLAN: PROJECT 865 WEST 57TH ST 7TH AVE WEST 57TH ST 7TH AVE			
 PROJECT NORTH		 TRUE NORTH	
DEVELOPER: EXTELL DEVELOPMENT COMPANY 905 THIRD AVENUE, 7TH FLOOR NEW YORK, NY 10022 USA TEL: 212 712 6000 FAX: 212 712 6100			
DESIGN ARCHITECT: Base Building Shell & Core ADRIAN SMITH + GORDON GILL ARCHITECTURE 111 WEST MONROE STREET SUITE 2300 CHICAGO IL 60663 TEL: 416 920 1888 FAX: 312 920 1775			
INTERIOR DESIGNER: Residential Rotet Architecture and Design Studio, PLLC 236 Fifth Ave, 7th Floor New York, NY 10001 TEL: 646 998 7000 FAX: 212 416 967 1500			
ARCHITECT OF RECORD: Base Building Shell, Core, & Residential AKI ARCHITECTS, P.C. 401 Wellington St. W., 3rd Floor Toronto, ON M5V 1E7 Canada TEL: 416 967 1500 FAX: 416 967 7150			
STRUCTURAL ENGINEERS: WSP CANADIAN SEINUK 228 EAST 45th Street New York, NY 10017 USA TEL: 617 697 9888 FAX: 646 487 5501			
MEP ENGINEERS: AKF GROUP One Liberty Plaza, 165 Broadway, 22nd Floor New York, NY 10006 USA TEL: 212 354 6656 FAX: 212 354 5666			
GEOTECHNICAL ENGINEERS: Largan Engineering & Environmental Services 21 Penn Plaza - 360 West 31st Street, 8th Floor New York, NY 10001-2727 TEL: 212 479 5400 FAX: 212 479 5444			
CODE CONSULTANTS: Construction Consulting Associates 100 Church Street New York, NY 10007 TEL: 212 385 1818 FAX: 212 385 1911			
CURTAINWALL CONSULTANT: AJLP Consulting 40 Worth Street, Suite 826 New York, NY 10013 TEL: 212 757 5059 FAX: 646 219 8508			
LANDMARK/PRESERVATION CONSULTANT: Jan Hird Pokorny Associates, Inc. 39 West 37th Street, 12A New York, NY 10018 TEL: 212 759 6462 FAX: 212 759 6540			
No.	DESCRIPTION	DATE	
1	ISSUED FOR SCHEMATIC DESIGN	04 APRIL 2014	
2	ISSUED FOR DESIGN DEVELOPMENT	01 JULIL 2014	
3	ISSUED FOR DESIGN DEVELOPMENT	31 JULIL 2014	
4	ISSUED FOR DESIGN DEVELOPMENT	15 OCTIL 2014	
5	ISSUED FOR DB - PLUMBING	15 OCTIL 2014	
6	DOB SUBMISSION	19 DECIL 2014	
7	CD PROGRESS ISSUE 1	09 MARIL 2015	
8	CD PROGRESS ISSUE 4	01 JUNIL 2015	
9	CD PROGRESS ISSUE 5	10 AUGIL 2015	
10	DOB AMENDMENT 1	18 SEPIL 2015	
11	CD PROGRESS ISSUE 6	02 NOVIL 2015	
12	CD PROGRESS ISSUE 7	29 JANIL 2016	
13	CD PROGRESS ISSUE 8 - GMP SET	18 MARIL 2016	
14	CD BULLETIN ISSUE 7	14 SEPTIL 2016	
15	DOB AMENDMENT 3	03 OCTIL 2016	
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CONSULTANT: <div style="text-align: center;"> ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR NEW YORK, NY 10006 T: 212 354 5666 F: 212 354 5668 <small>AKF is an Equal Opportunity Employer. Minorities and Women are encouraged to apply.</small> </div>			
PROJECT: <div style="text-align: center;"> 217 WEST 57TH STREET NEW YORK, NY </div>			
DRAWING TITLE: <div style="text-align: center;"> PLUMBING 10th FLOOR PLUMB (MFD-16th Floor) </div>			
SEAL & SIGNATURE: 		DATE: 04/04/14 PROJECT No: Y130747-000 DRAWN: JRD CHKD: URD SCALE: 1/8" = 1'-0" DWG No: P-115.02 DOB PAGE No: 19 of 100	
DOB EMPLOYEE STAMP:		DOB B-SCAN:	





1 12th FLOOR PLAN
SCALE: 1/8" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
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DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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GEOTECHNICAL ENGINEERS:
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CODE CONSULTANTS:
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CURTAINWALL CONSULTANT:
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	DOB SUBMISSION	19 DEC 2014
2	CD PROGRESS ISSUE 3	09 MAR 2015
3	CD PROGRESS ISSUE 4	01 JUN 2015
4	CD PROGRESS ISSUE 5	10 AUG 2015
5	DOB AMENDMENT 2	18 SEP 2015
6	CD PROGRESS ISSUE 6	02 NOV 2015
7	CD PROGRESS ISSUE 7	02 JAN 2016
8	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
9	CD BULLETIN ISSUE 3	25 MAY 2016
10	CD BULLETIN ISSUE 4	15 JUL 2016
11	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
WWW.AKF.COM

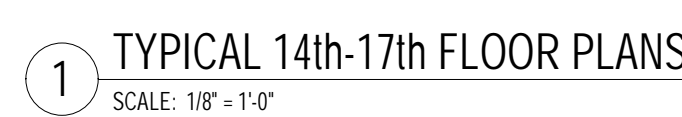
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

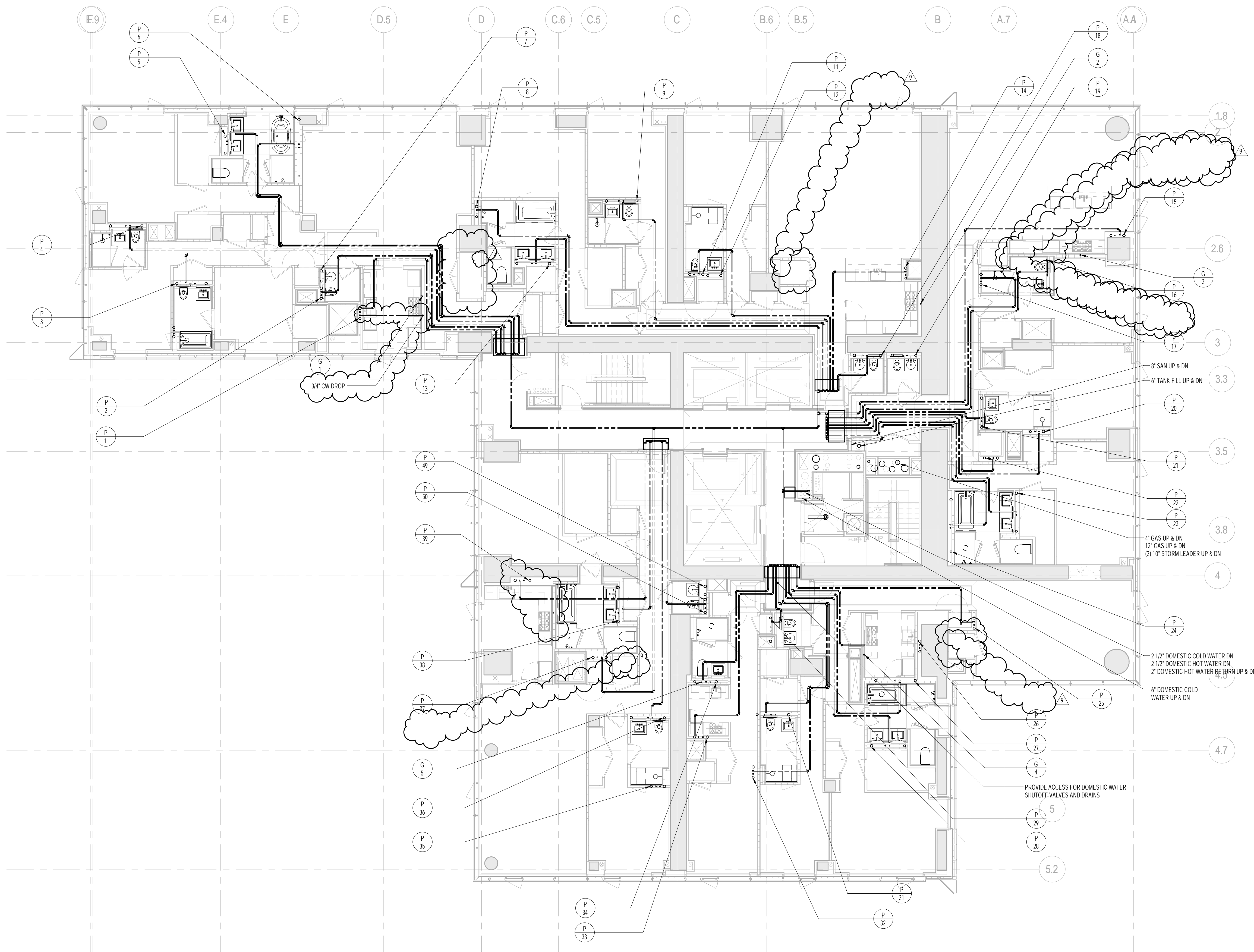
DRAWING TITLE:
PLUMBING
12th FLOOR PLAN (MFD-20th FLOOR)

SEAL & SIGNATURE:	DATE: 12/08/14
	PROJECT No: Y130747-000
	DRAWN: JRD
	CHK: JRD
	SCALE: 1/8" = 1'-0"
DWG No:	11
DOB PAGE No: 22 of 100	P-119.02

DOB EMPLOYEE STAMP: DOB 6-SCAN:







2 18th FLOOR PLAN
SCALE: 1/8" = 1'-0"

DEPT OF BLDGS

217-000-MFD-37th Floor

217-000-MFD-37th Floor

217-000-MFD-37th Floor

KEY PLAN

PROJECT 005 - WEST 57TH ST
7TH AVE
WEST 57TH ST
WEST 58TH ST

PROJECT NORTH

TRUE NORTH

DEVELOPER

EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT

Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60663
TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER

Residential
Rottet Architecture and Design Studio, PLLC
238 Fifth Ave, 7th Floor
New York, NY 10001
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ARCHITECT OF RECORD

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AJA ARCHITECTS, P.C.
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STRUCTURAL ENGINEERS

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MEP ENGINEERS

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GEOTECHNICAL ENGINEERS

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21 Penn Plaza - 360 West 37th Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS

Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT

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40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT

Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No. DESCRIPTION DATE

1 CD PROGRESS ISSUE 1 15 OCT 2014

2 ISSUED FOR BID - PLUMBING 15 OCT 2014

3 DOB SUBMISSION 19 OCT 2014

4 CD PROGRESS ISSUE 4 31 JUN 2015

5 CD PROGRESS ISSUE 5 10 AUG 2015

6 DOB AMENDMENT 2 18 SEP 2015

7 CD PROGRESS ISSUE 6 30 NOV 2015

8 DOB AMENDMENT 3 18 MAR 2016

9 CD BULLETIN ISSUE 3 25 MAY 2016

10 DOB AMENDMENT 3 30 OCT 2016

0 4'-0" 8'-0" 16'-0"

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CONSULTANT:

AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
WWW.AKF.COM

PROJECT:

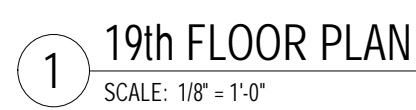
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

PLUMBING
18th FLOOR PLAN (MFD-37th FLOOR)

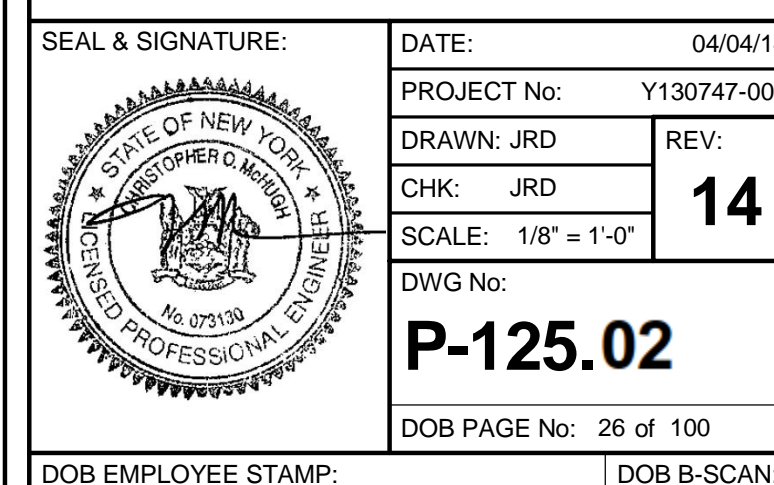
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PROJECT No: Y130747-000
DRAWN: JRD REV: 10
CHK: JRD
SCALE: 1/8" = 1'-0"
DWG No: **P-124.02**
DOB PAGE No: 25 of 100
DOB EMPLOYEE STAMP: DOB S-SCAN:



19th FLOOR PLAN
SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"





1 20th FLOOR
SCALE: 1/8" = 1'-0"

PROJECT NORTH		TRUE NORTH	
---------------	--	------------	--

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
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228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

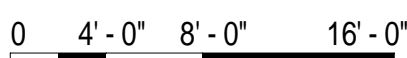
GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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100 Church Street
New York, NY 10007
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CURTAINWALL CONSULTANT:
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40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - PLUMBING	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	CD PROGRESS ISSUE 5	10 AUG 2015
10	DOB AMENDMENT 2	18 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
13	CD BULLETIN ISSUE 3	25 MAY 2016
14	DOB AMENDMENT 3	03 OCT 2016



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CONSULTANT: **A K F**
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
T: 212.354.5656 F: 212.354.5668
Atlanta / Boston / Chicago / Dallas / Denver / New York
Philadelphia / Portland / Raleigh / Rochester / Seattle


PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

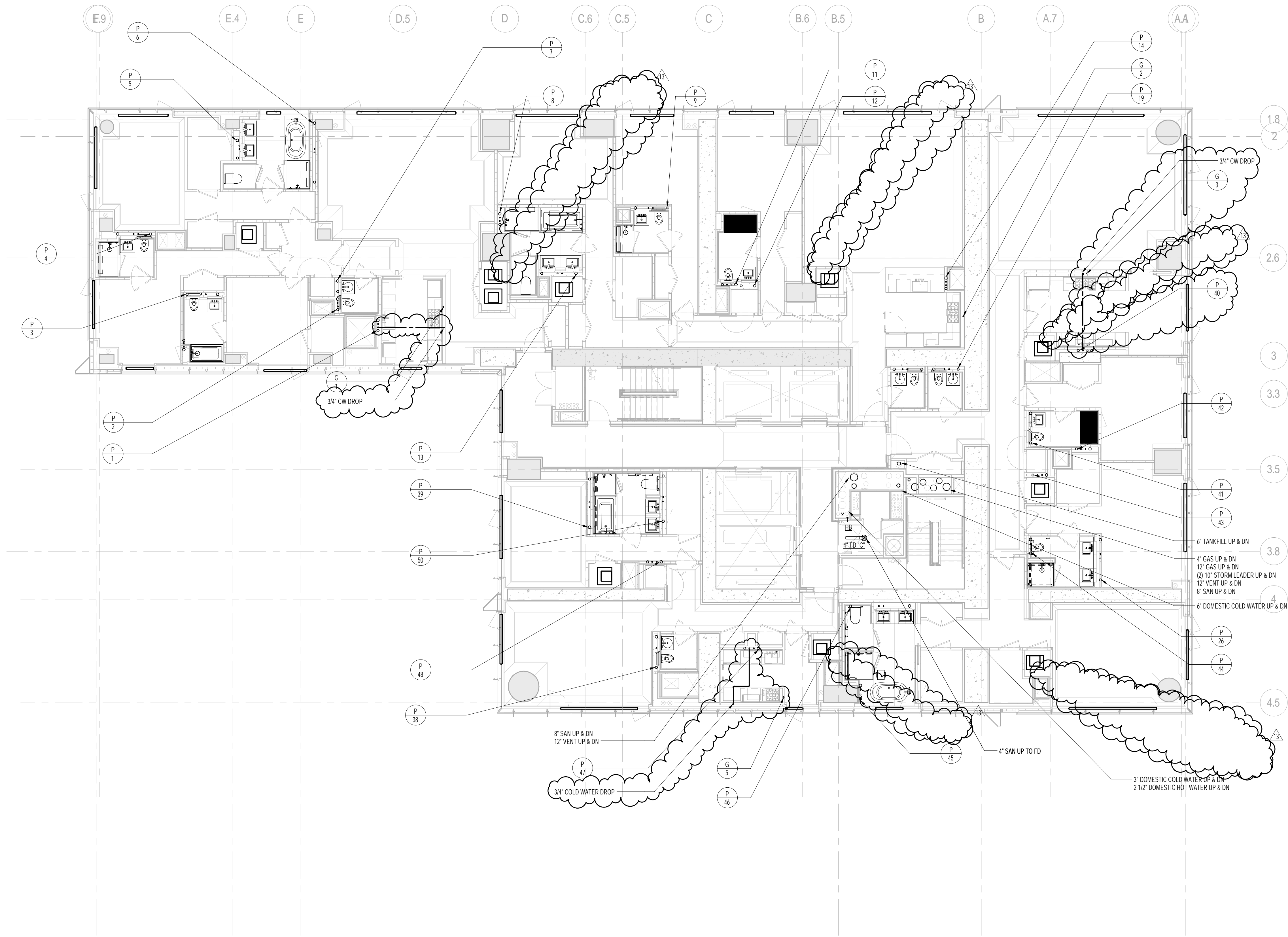
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PLUMBING

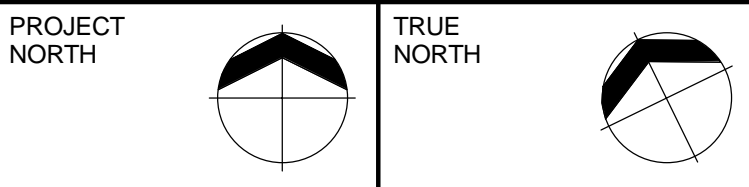
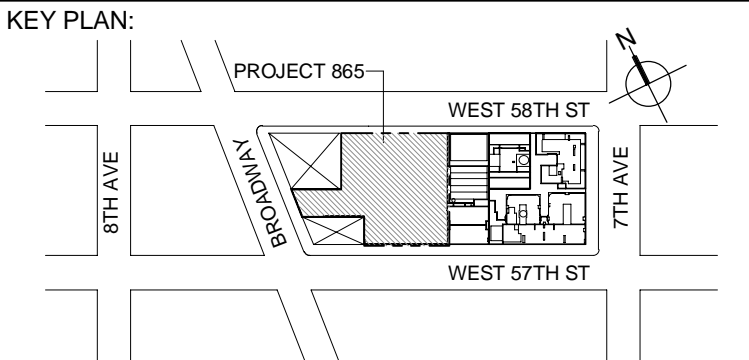
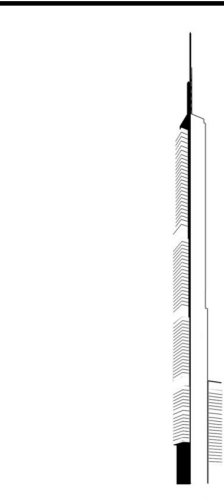
20th FLOOR PLAN (MFD-39th FLOOR)

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	PROJECT No:	Y130747-000
	DRAWN: JRD	REV:
	CHK: JRD	14
	SCALE: 1/8" = 1'-0"	
DWG No:		P-126.02

DOB PAGE No: 27 of 100	
DOB EMPLOYEE STAMP:	DOB B-SCAN:



1 TYPICAL 21st-24th FLOOR PLANS
SCALE: 1/8" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
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New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
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TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
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MEP ENGINEERS:
AKF GROUP
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GEOTECHNICAL ENGINEERS:
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21 Penn Plaza - 360 West 37th Street, 8th Floor
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TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
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New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - PLUMBING	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	CD PROGRESS ISSUE 5	10 AUG 2015
10	DOB AMENDMENT 2	15 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 8 - CMP SET	18 MAR 2016
13	CD BULLETIN ISSUE 3	05 MAY 2016
14	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
www.akfgroup.com

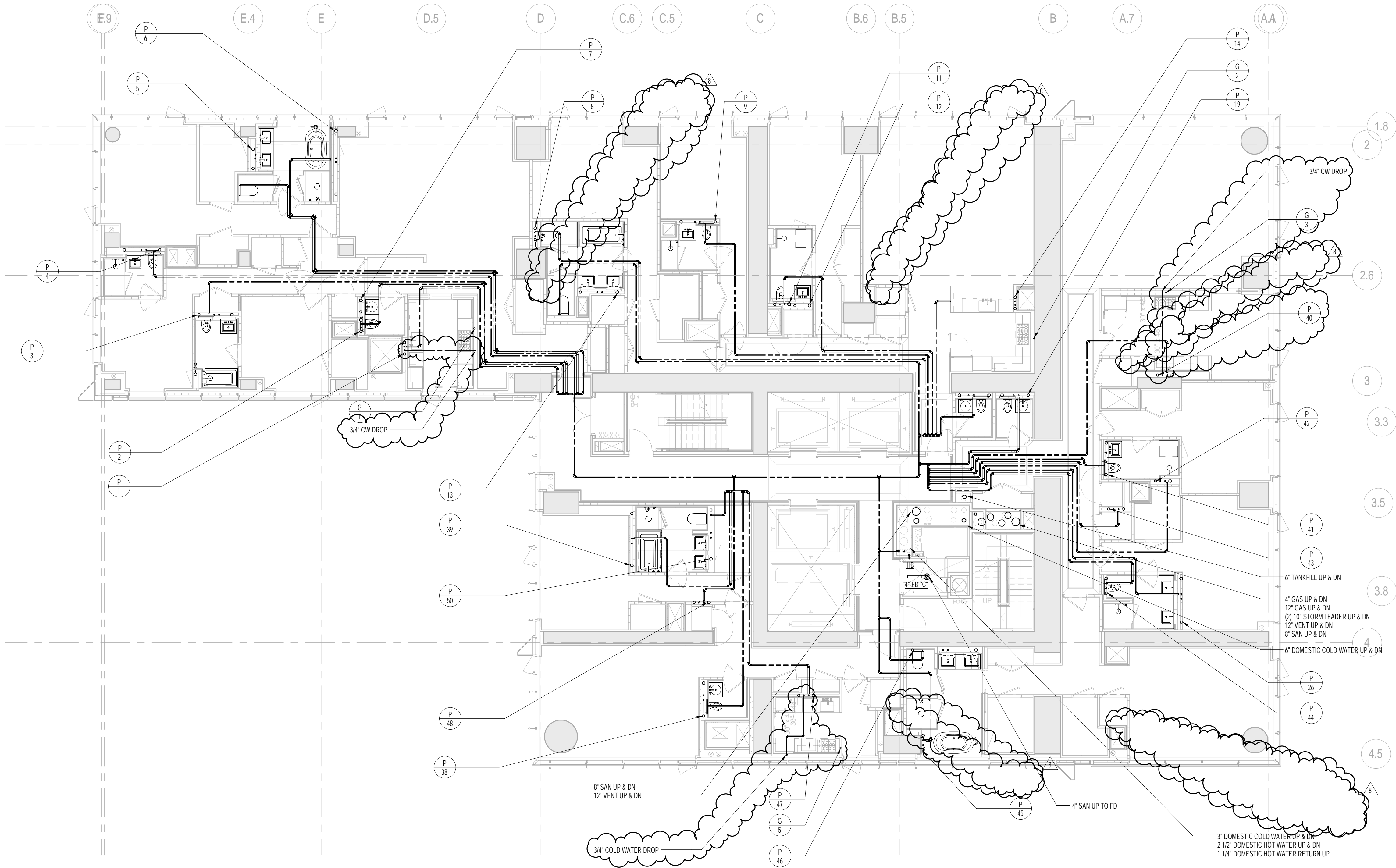
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
PLUMBING
21st FLOOR PLAN (TYPICAL 21st-24th FLOORS) (MFD-43rd-47th FLOOR)

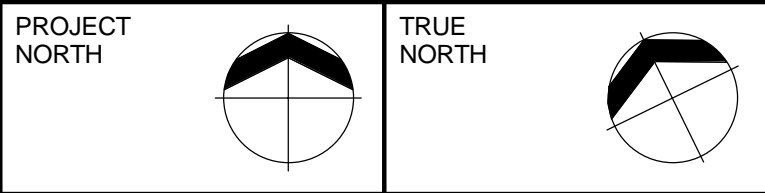
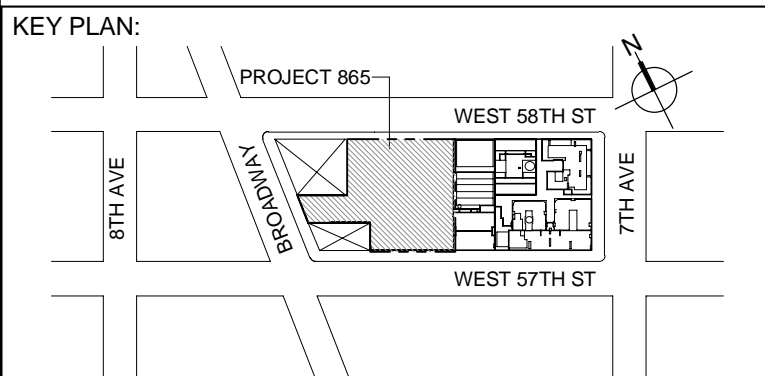
SEAL & SIGNATURE:	DATE:	04/04/14
	PROJECT No:	Y130747-000
	DRAWN: JRD	REV:
	CHK: JRD	14
	SCALE: 1/8" = 1'-0"	
DWG No:	P-127.02	

DOB PAGE No: 28 of 100

DOB EMPLOYEE STAMP: DOB S-SCAN:



1 25th FLOOR PLAN
SCALE: 1/8" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 697 9888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 37th Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
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TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	DOB SUBMISSION	19 DEC 2014
2	CD PROGRESS ISSUE 3	09 MAR 2015
3	CD PROGRESS ISSUE 4	01 JUN 2015
4	CD PROGRESS ISSUE 5	10 AUG 2015
5	DOB AMENDMENT 2	18 SEP 2015
6	CD PROGRESS ISSUE 6	02 NOV 2015
7	CD PROGRESS ISSUE B: CAMP SET	18 MAR 2016
8	CD BULLETIN ISSUE 3	25 MAY 2016
9	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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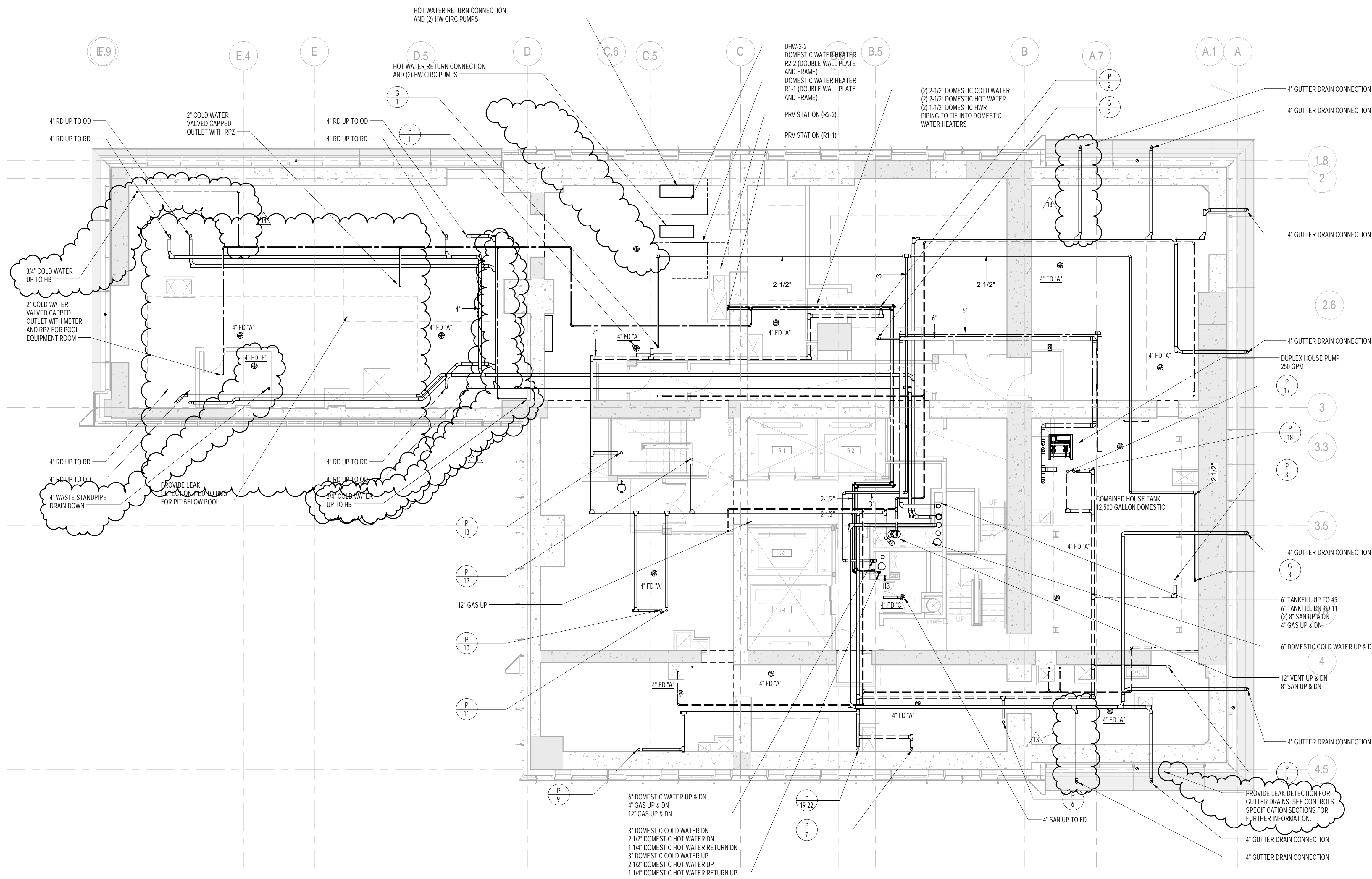
CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd Floor
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
Website: www.akfgroup.com

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

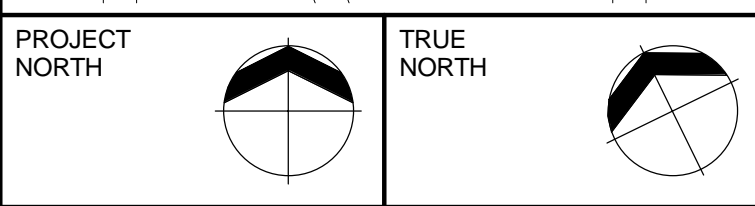
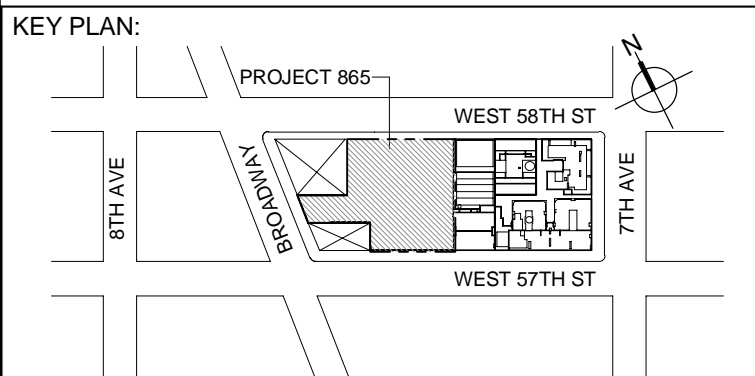
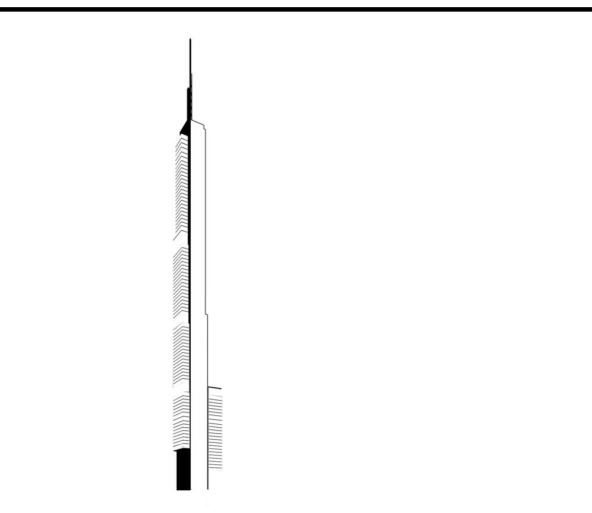
DRAWING TITLE:
PLUMBING
25th FLOOR PLAN (MFD-48th FLOOR)

SEAL & SIGNATURE:	DATE: 12/16/14
	PROJECT No: Y130747-000
	DRAWN: JRD
	CHK: JRD
	SCALE: 1/8" = 1'-0"
DWG No:	P-131.02
DOB PAGE No: 29 of 100	

DOB EMPLOYEE STAMP: DOB 6-SCAN:



1 27th FLOOR PLAN
SCALE: 1/8" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
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TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
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TEL: 416 967 1500 FAX: 416 967 7150

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WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
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MEP ENGINEERS:
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One Liberty Plaza, 165 Broadway, 22nd Floor
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GEOTECHNICAL ENGINEERS:
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21 Penn Plaza - 360 West 37th Street, 8th Floor
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CODE CONSULTANTS:
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
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5	ISSUED FOR BID - PLUMBING	15 OCT 2014
6	CD PROGRESS ISSUE 2	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	CD PROGRESS ISSUE 5	10 AUG 2015
10	DOB AMENDMENT 2	15 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE B - CAMP SET	18 MAR 2016
14	CD BULLETIN ISSUE 7	14 SEPT 2016
15	DOB AMENDMENT 3	03 OCT 2016

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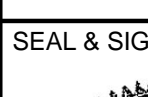
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ONE LIBERTY PLAZA, 165 BROADWAY, 22nd Floor
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
Website: www.akfgroup.com

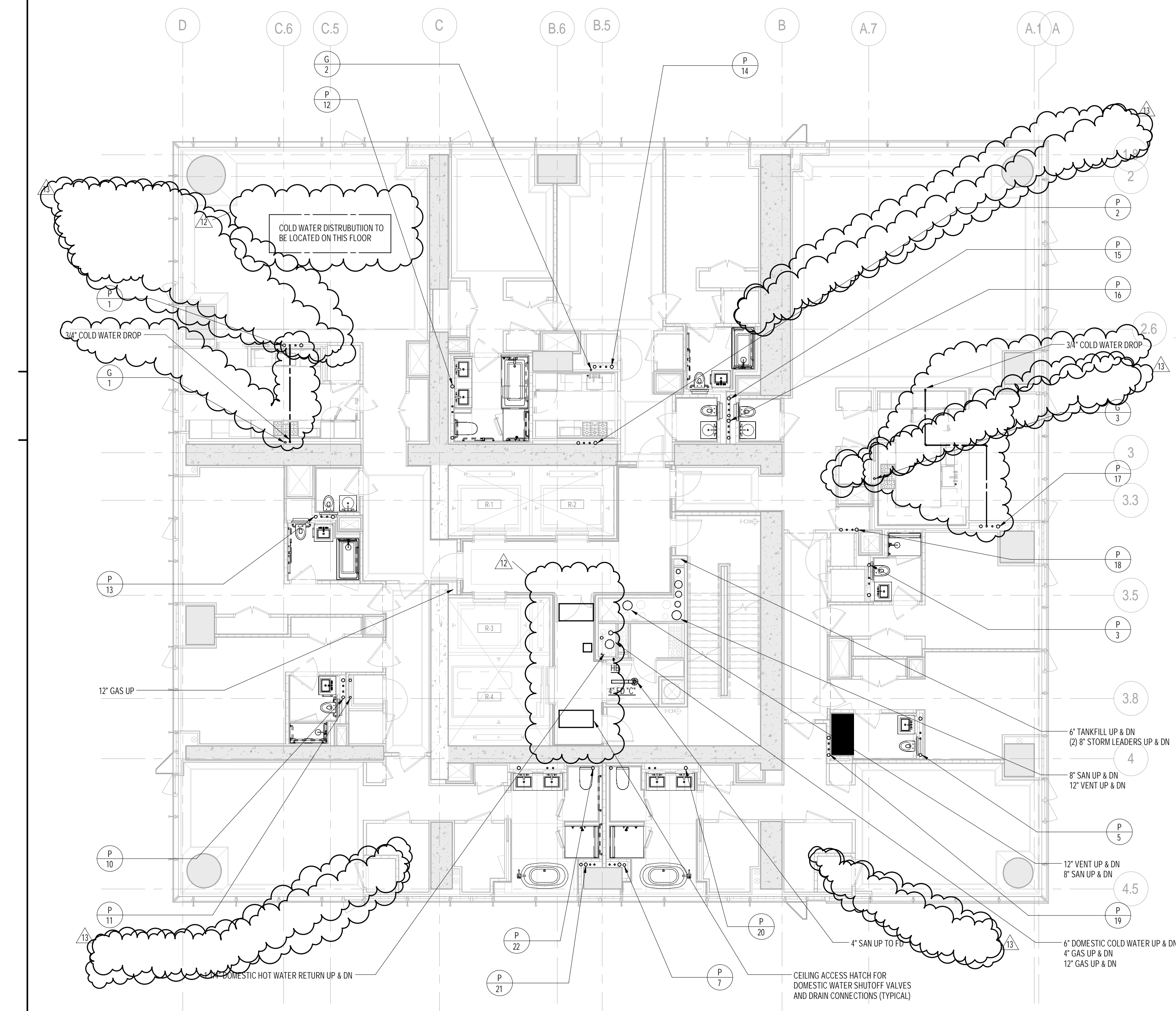
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
PLUMBING
27th FLOOR PLAN (MFD-50th FLOOR)

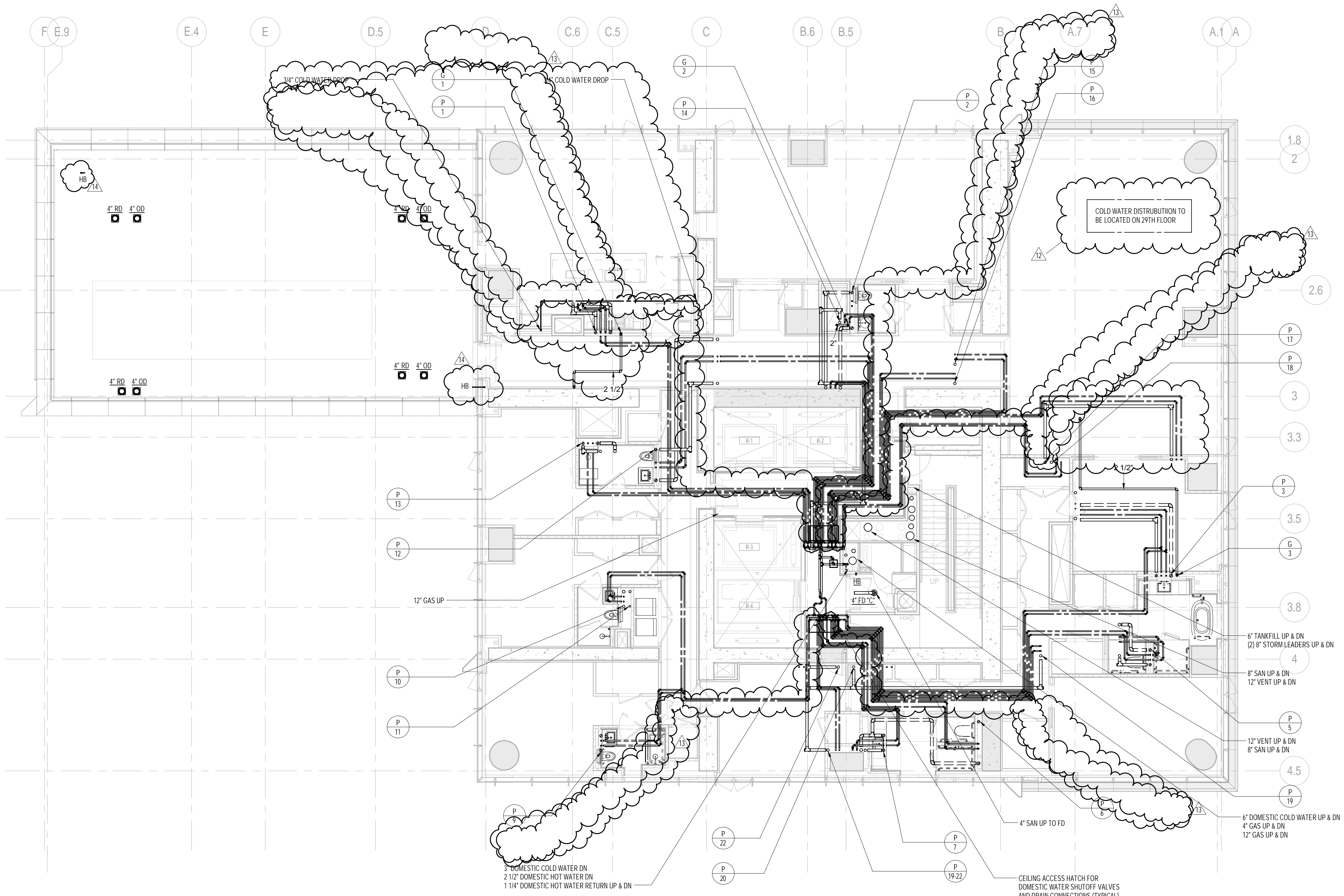
SEAL & SIGNATURE:	DATE: 04/04/14	
	PROJECT No: Y130747-000	
	DRAWN: JRD	REV: 15
	CHK: JRD	
	SCALE: 1/8" = 1'-0"	
	DWG No:	P-133.02

DOB PAGE No: 31 of 100

DOB EMPLOYEE STAMP: DOB S-SCAN:



2 TYPICAL 29th-33rd FLOOR PLANS
SCALE: 1/8" = 1'-0"



1 28th FLOOR PLAN
SCALE: 1/8" = 1'-0"

KEY PLAN:
PROJECT M55
WEST 57TH ST
WEST 58TH ST
7TH AVE
7TH AVE

PROJECT NORTH
TRUE NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:
Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 212 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER:
Residential
Rotter Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 East 45th Street
New York, NY 10017 USA
TEL: 212 657 8588 FAX: 646 487 5501

MEP ENGINEERS:
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One Liberty Plaza, 165 Broadway, 22nd Floor
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Langan Engineering & Environmental Services
21 Penn Plaza - 380 West 37th Street, 8th Floor
New York, NY 10001-2727
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CODE CONSULTANTS:
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100 Church Street
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CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	01 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	21 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - PLUMBING	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	CD PROGRESS ISSUE 5	10 AUG 2015
10	DOB AMENDMENT 2	15 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 8 - CAMP SET	18 MAR 2016
13	CD BULLETIN ISSUE 3	26 MAY 2016
14	CD BULLETIN ISSUE 7	14 SEPT 2016
15	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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ONE LIBERTY PLAZA, 165 BROADWAY, 22nd Floor
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
Website: www.akfgroup.com Email: info@akfgroup.com

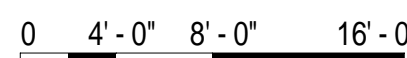
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
PLUMBING
28th and 29th FLOOR PLANS
(TYPICAL 29th-33rd FLOORS)
(MFD-53rd FLOOR and MFD-54th-58th FLOOR)

SEAL & SIGNATURE:

JEFFREY R. D'AMICO
Professional Engineer
License No. 130747-000
State of New York
Mechanical Engineering

DATE: 04/04/14
PROJECT No: Y130747-000
DRAWN: JRD
CHK: JRD
SCALE: 1/8" = 1'-0"
DWG No: **P-134.02**
DOB PAGE No: 32 of 100
DOB EMPLOYEE STAMP: DOB S-SCAN:



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CONSULTAN

ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
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Atlanta / Boston / Chicago / Dallas / Denver / Detroit / Fort Worth / Houston / Los Angeles / Miami / Minneapolis / New York / Philadelphia / Phoenix / Portland / San Francisco / Seattle / Tampa / Washington, DC

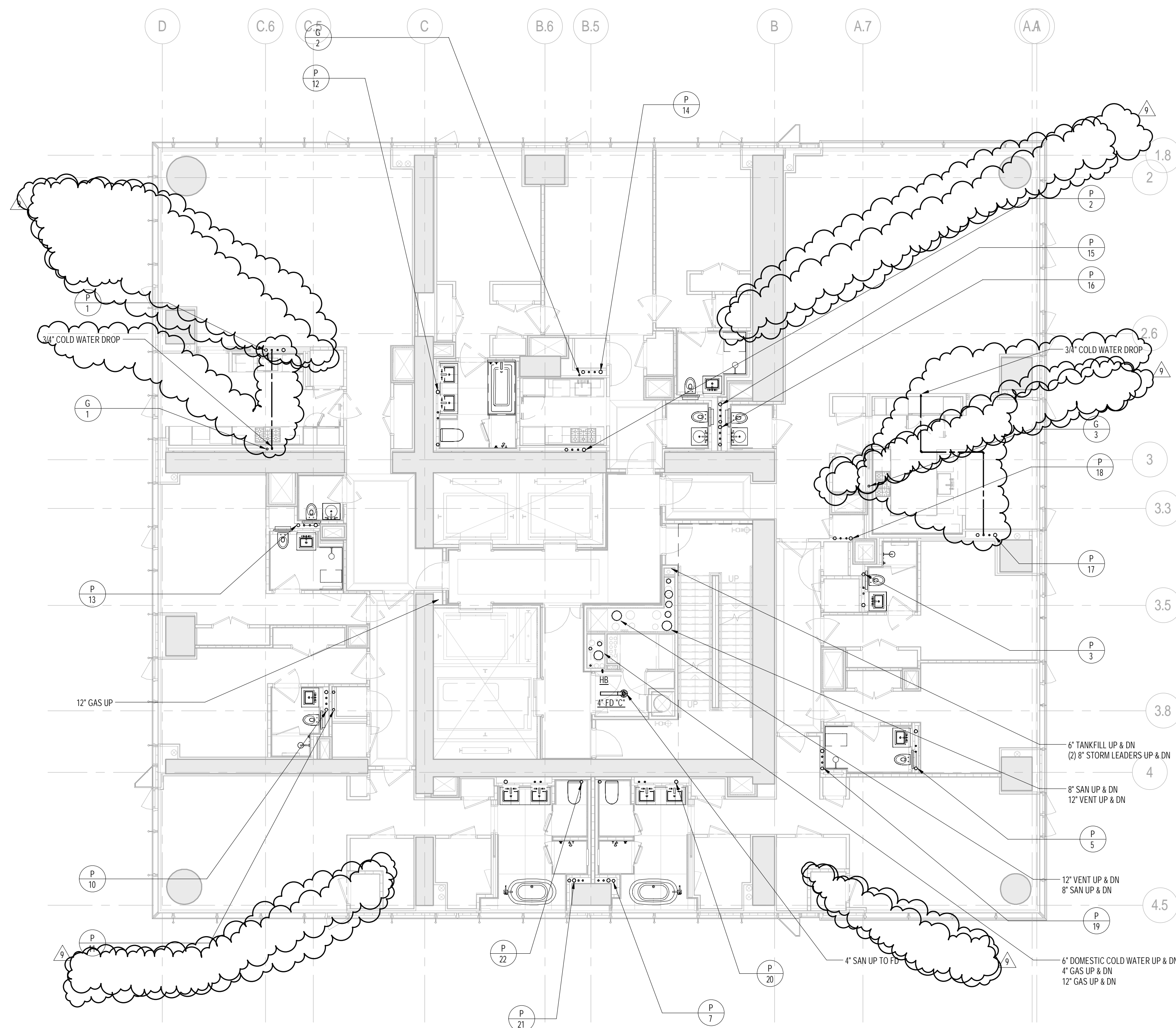
PROJECT: 217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

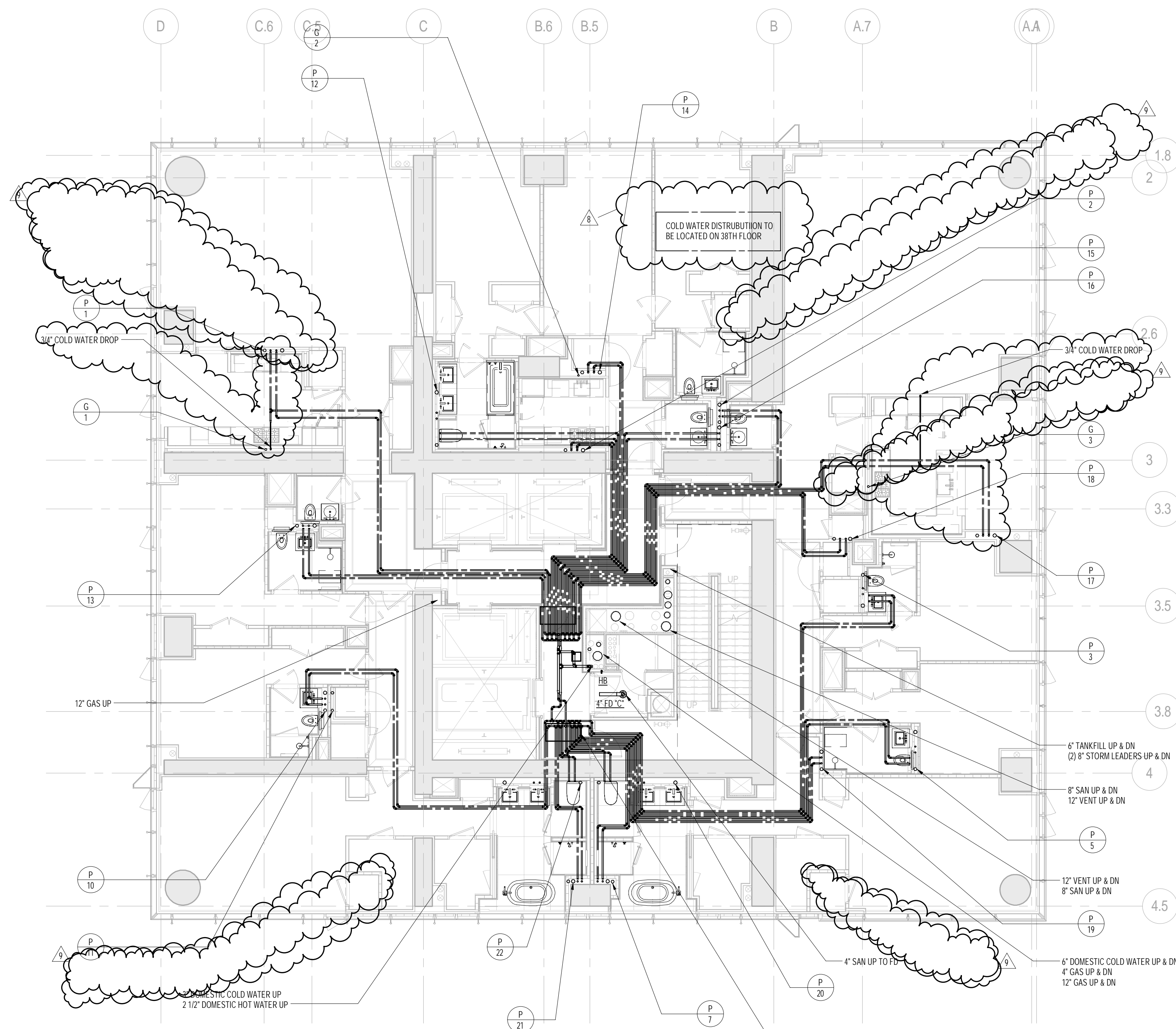
PLUMBING
34th and 35th FLOOR PLANS
(MFD-59th-60th FLOOR)

	DATE: 10/01/14	
	PROJECT No: Y130747-000	
	DRAWN: JRD	REV:
	CHK: JRD	10
	SCALE: 1/8" = 1'-0"	
DWG No:		

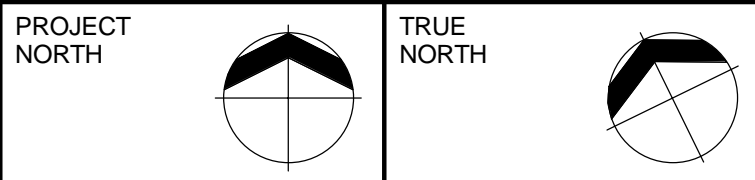
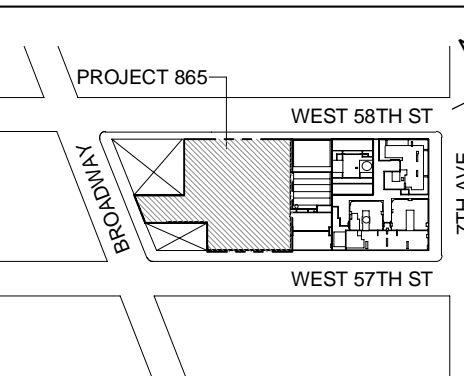
DOB PAGE NO: 33 of 100	
DOB EMPLOYEE STAMP:	DOB B-SCAN:



1 36th FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 37th FLOOR PLAN
SCALE: 1/8" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
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DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotter Architecture and Design Studio, PLLC
258 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
VSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 697 9588 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 37th Street, 9th Floor
New York, NY 10011-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
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TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 2014
2	ISSUED FOR BID - PLUMBING	15 OCT 2014
3	DOB SUBMISSION	19 DEC 2014
4	CD PROGRESS ISSUE 3	09 MAR 2015
5	CD PROGRESS ISSUE 4	01 JUN 2015
6	DOB AMENDMENT 2	18 SEP 2015
7	CD PROGRESS ISSUE 6	02 NOV 2015
8	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
9	CD BULLETIN ISSUE 3	25 MAY 2016
10	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"


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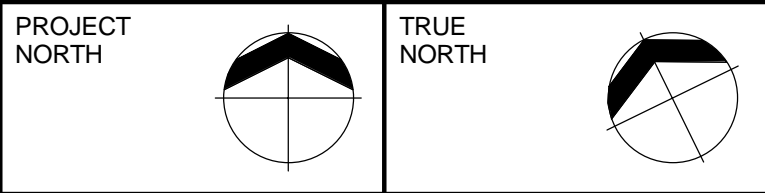
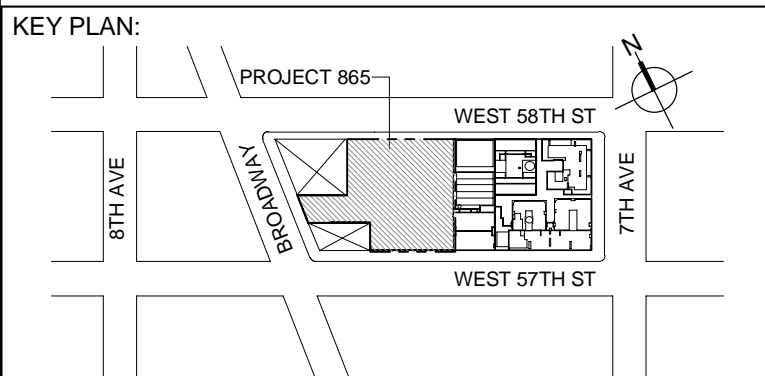
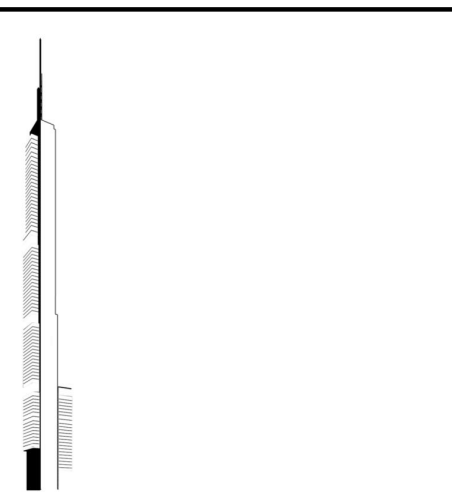
CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
www.akfgroup.com

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
PLUMBING
36th and 37th FLOOR PLANS
(MFD-61st-62nd FLOOR)

SEAL & SIGNATURE:	DATE: 10/01/14	
	PROJECT No: Y130747-000	
	DRAWN: JRD	REV:
	CHK: JRD	10
	SCALE: 1/8" = 1'-0"	
	DWG No:	P-138.02

DOB PAGE No: 34 of 100
DOB EMPLOYEE STAMP: DOB 6-SCAN:



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
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TEL: 646 998 7000 FAX:

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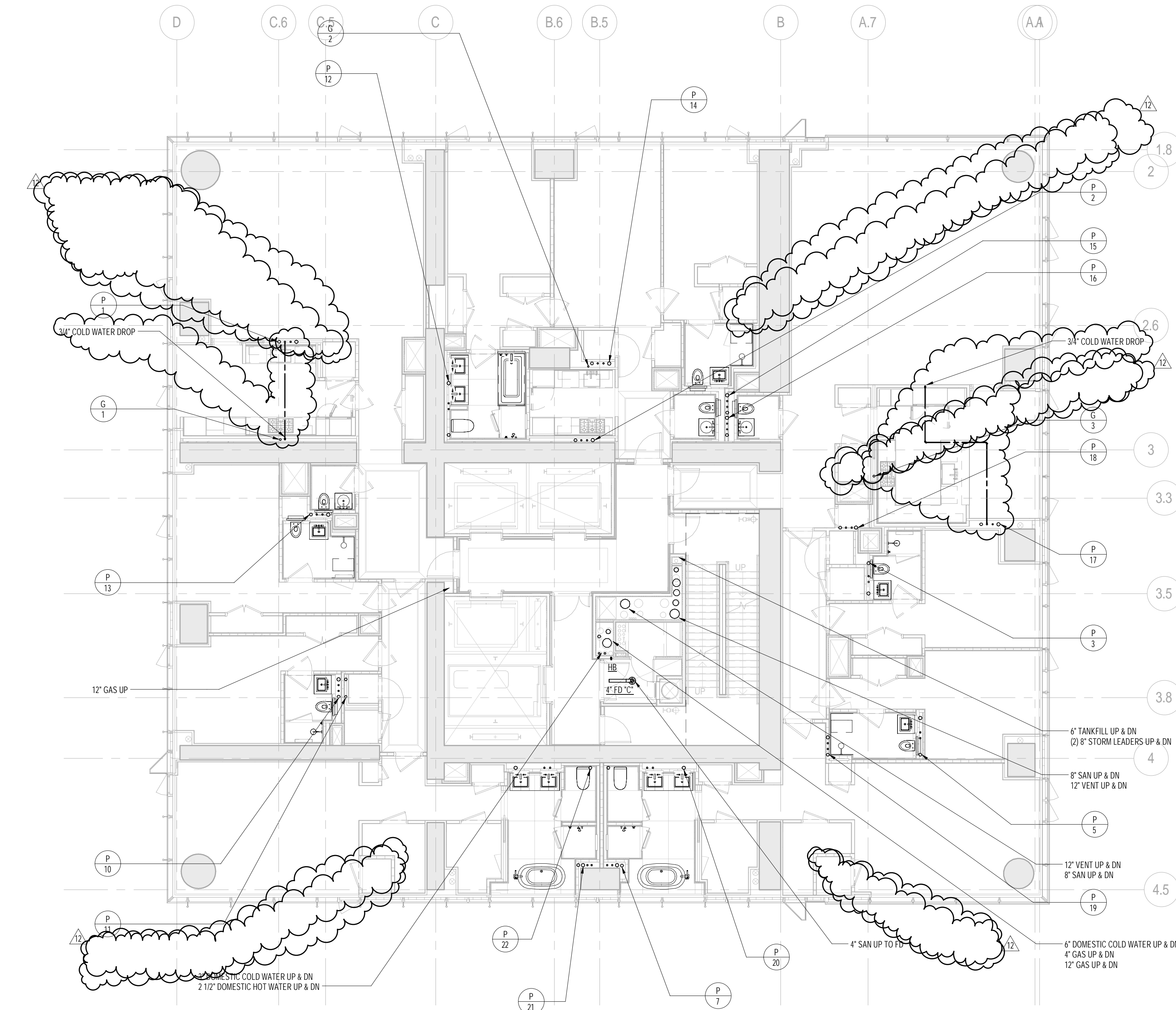
GEOTECHNICAL ENGINEERS:
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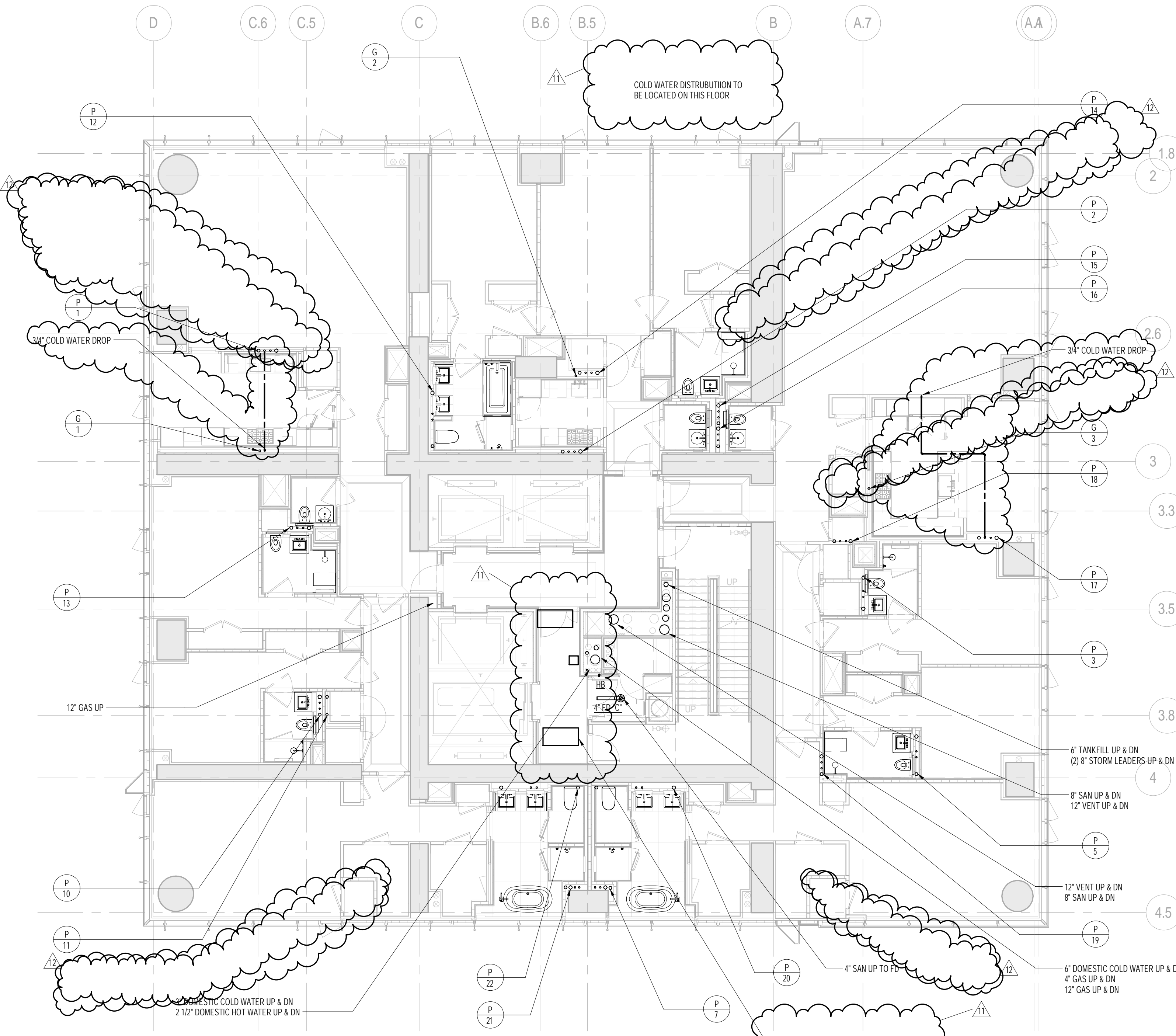
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7	CD PROGRESS ISSUE 2	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	DOB AMENDMENT 2	18 SEP 2015
10	CD PROGRESS ISSUE 6	30 NOV 2015
11	CD PROGRESS ISSUE B - CMP SET	18 MAR 2016
12	CD BULLETIN ISSUE 3	25 MAY 2016
13	DOB AMENDMENT 3	20 OCT 2016



2 TYPICAL 39th-43rd FLOOR PLANS
SCALE: 1/8" = 1'-0"



1 38th FLOOR PLAN
SCALE: 1/8" = 1'-0"

0 4'-0" 8'-0" 16'-0"


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CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd Floor
NEW YORK, NY 10006
TEL: 212 354 5656 F: 212 354 5668
Website: www.akfgroup.com

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

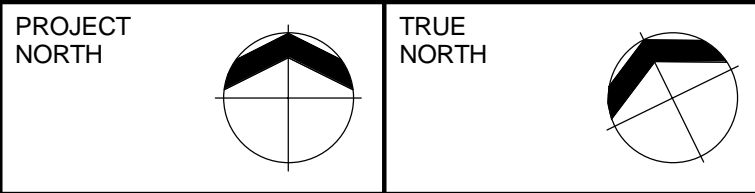
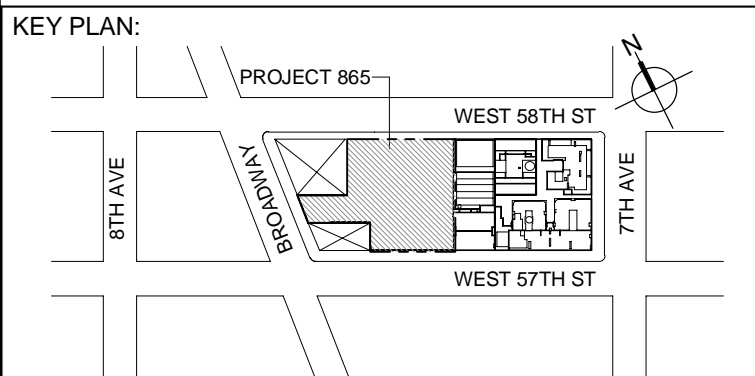
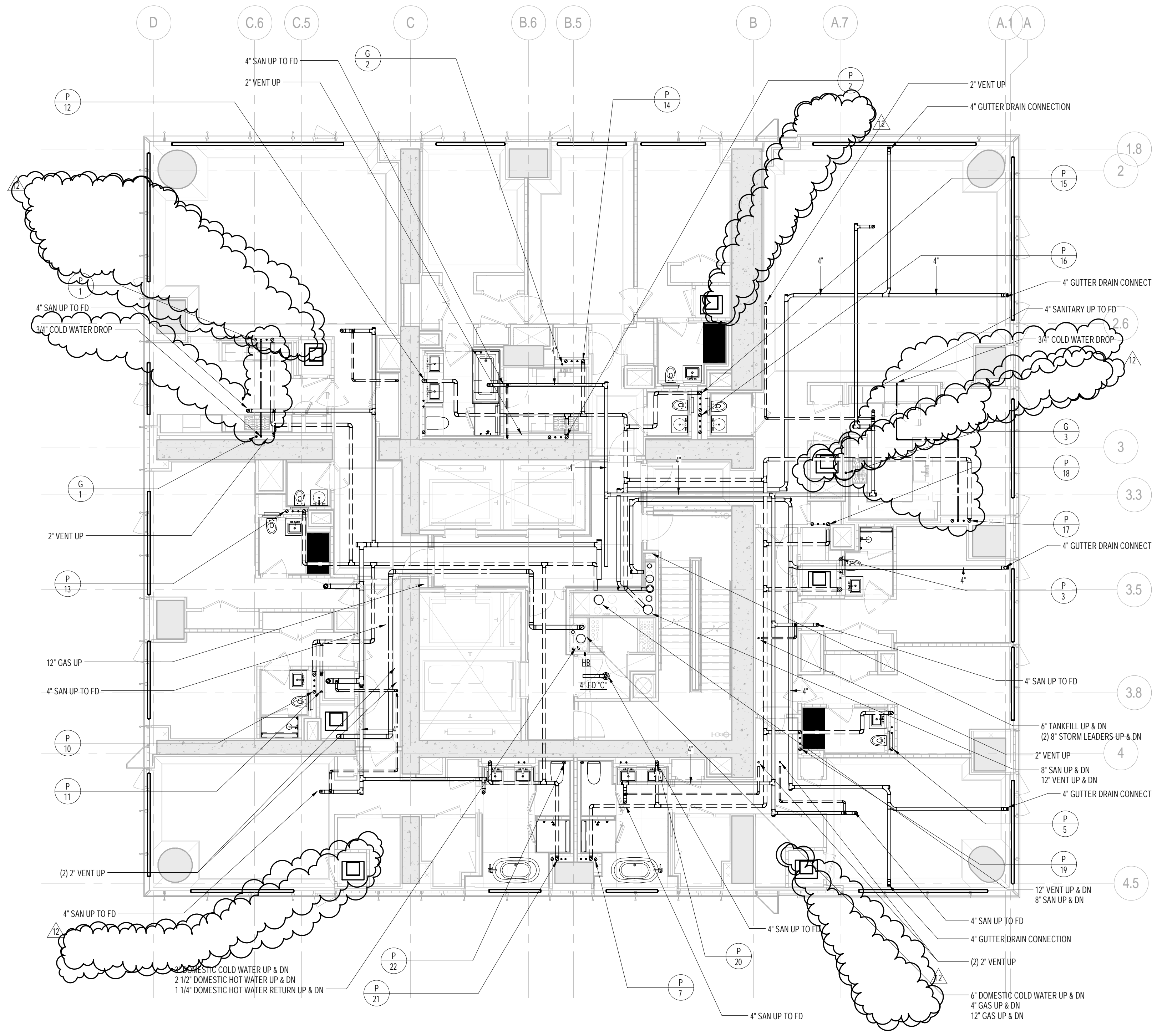
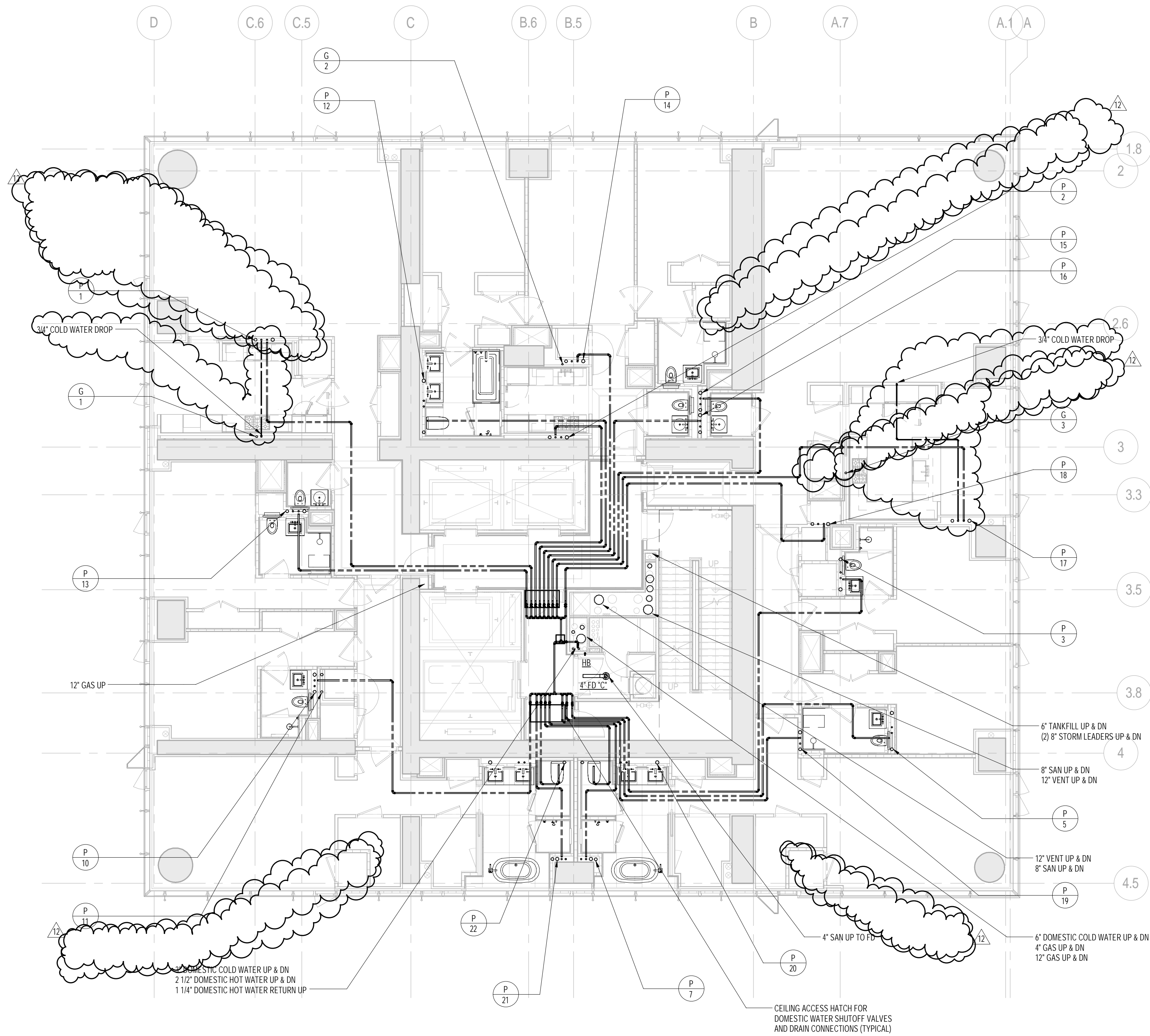
DRAWING TITLE:
PLUMBING
38th and 39th FLOOR PLANS
(TYPICAL 39th-43rd FLOORS)
(MFD-63rd FLOOR and MFD-64th-68th FLOOR)

SEAL & SIGNATURE:	DATE: 04/04/14	
	PROJECT No: Y130747-000	
	DRAWN: JRD	REV:
	CHK: JRD	13
	SCALE: 1/8" = 1'-0"	
	DWG No:	
	P-139.02	

DOB PAGE No: 35 of 100

DOB EMPLOYEE STAMP: DOB 5-SCAN:

GUTTER DRAINAGE
PIPING FOR GUTTER DRAINAGE TO BE STAINLESS STEEL
FROM THE GUTTER OUTLET THRU THE EXTERIOR SHEAR WALL.
PROVIDE SELECTRIC FITTING FOR TRANSITION FROM SS TO
STANDARD STORM DRAINAGE PIPING.



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
CHICAGO, IL 60603
111 WEST MONROE STREET SUITE 2300
TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
401 Wellington St., W., 3rd Floor
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GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 37th Street, 8th Floor
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TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Conservation Consulting Associates
100 Church Street
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TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	21 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - PLUMBING	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	DOB AMENDMENT 2	18 SEP 2015
10	CD PROGRESS ISSUE 6	30 NOV 2015
11	CD PROGRESS ISSUE B - CMP SET	18 MAR 2016
12	CD BULLETIN ISSUE 3	25 MAY 2016
13	DOB AMENDMENT 3	20 OCT 2016

0 4'-0" 8'-0" 16'-0"

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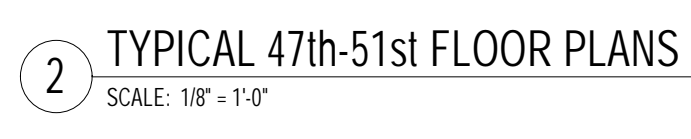
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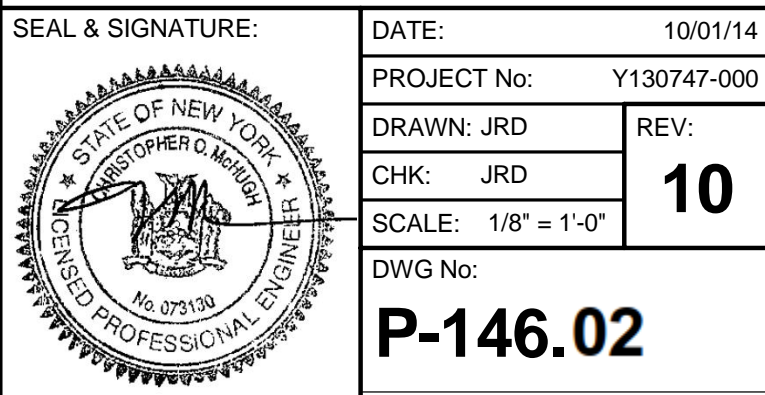
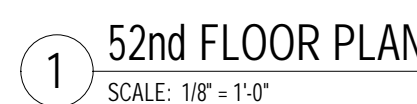
CONSULTANT: **AKF**
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd Floor
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
Website: www.akfgroup.com Email: info@akfgroup.com

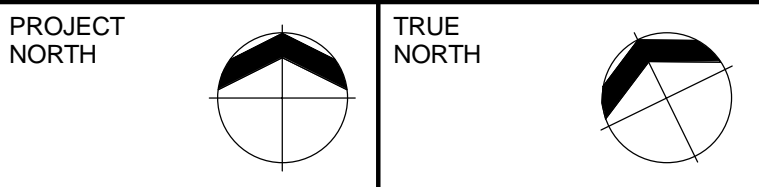
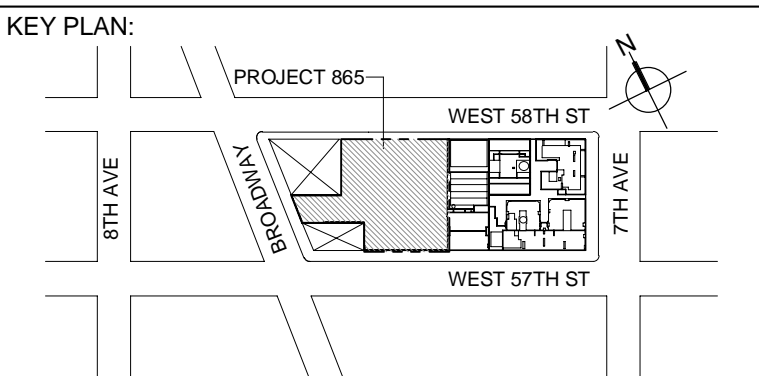
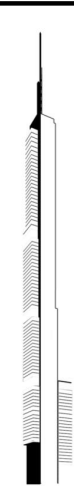
PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE: **PLUMBING**
44th and 45th FLOOR PLANS
(MFD-69th-70th FLOOR)

SEAL & SIGNATURE:
DATE: 04/04/14
PROJECT No: Y130747-000
DRAWN: JRD
CHK: JRD
SCALE: 1/8" = 1'-0"
DWG No: **P-142.02**
DOB PAGE No: 36 of 100
DOB EMPLOYEE STAMP:
DOB S-SCAN:







DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
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TEL: 312 925 1888 FAX: 312 920 1775

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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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Jan Hind Pokorny Associates, Inc.
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New York, NY 10018
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No.	DESCRIPTION	DATE
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8	CD PROGRESS ISSUE 4	01 JUN 2015
9	JOB AMENDMENT 2	18 SEP 2015
10	CD PROGRESS ISSUE 6	30 NOV 2015
11	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
12	CD BULLETIN ISSUE 3	25 MAY 2016
13	JOB AMENDMENT 3	30 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

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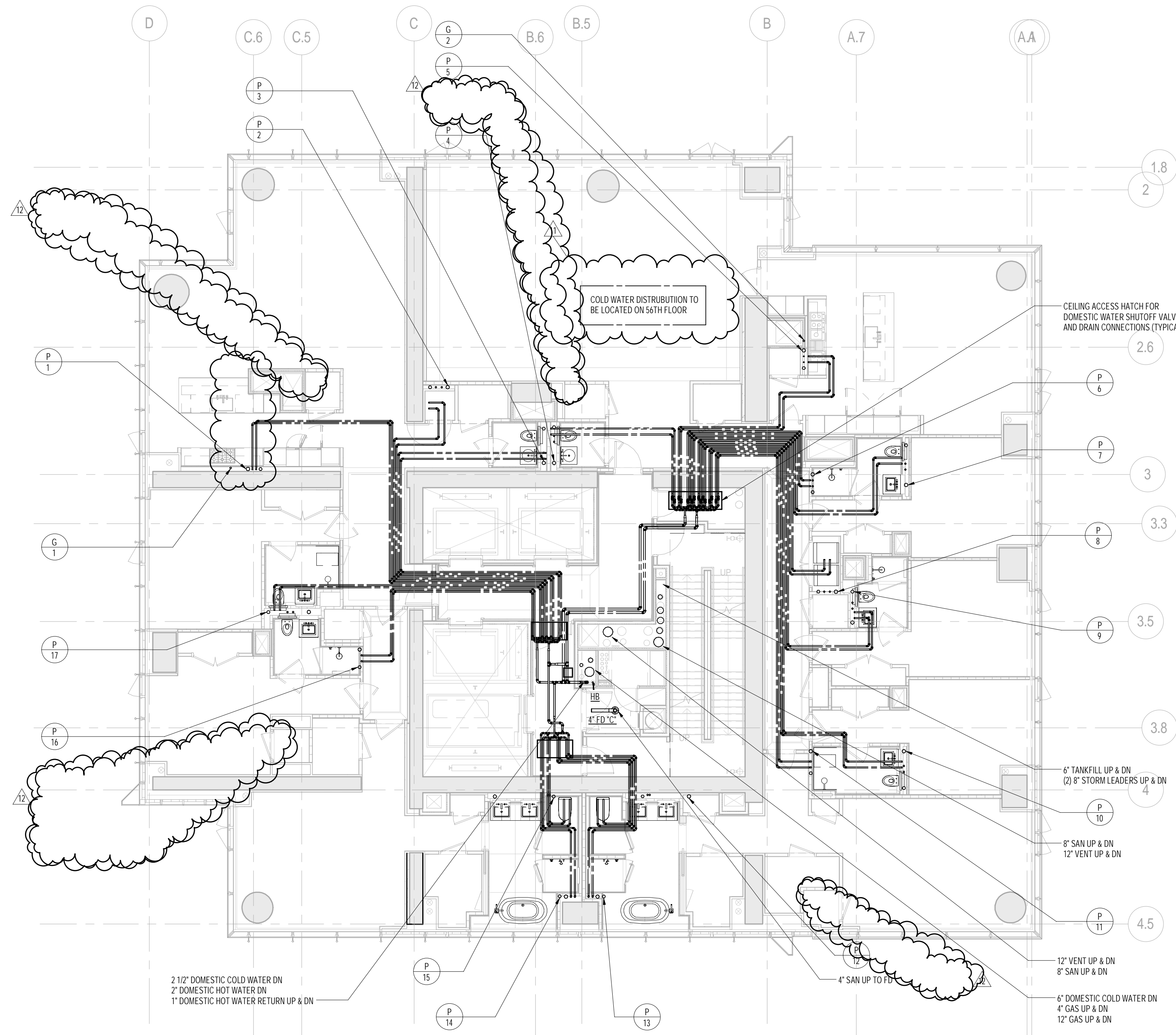
CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
WWW.AKF.COM

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

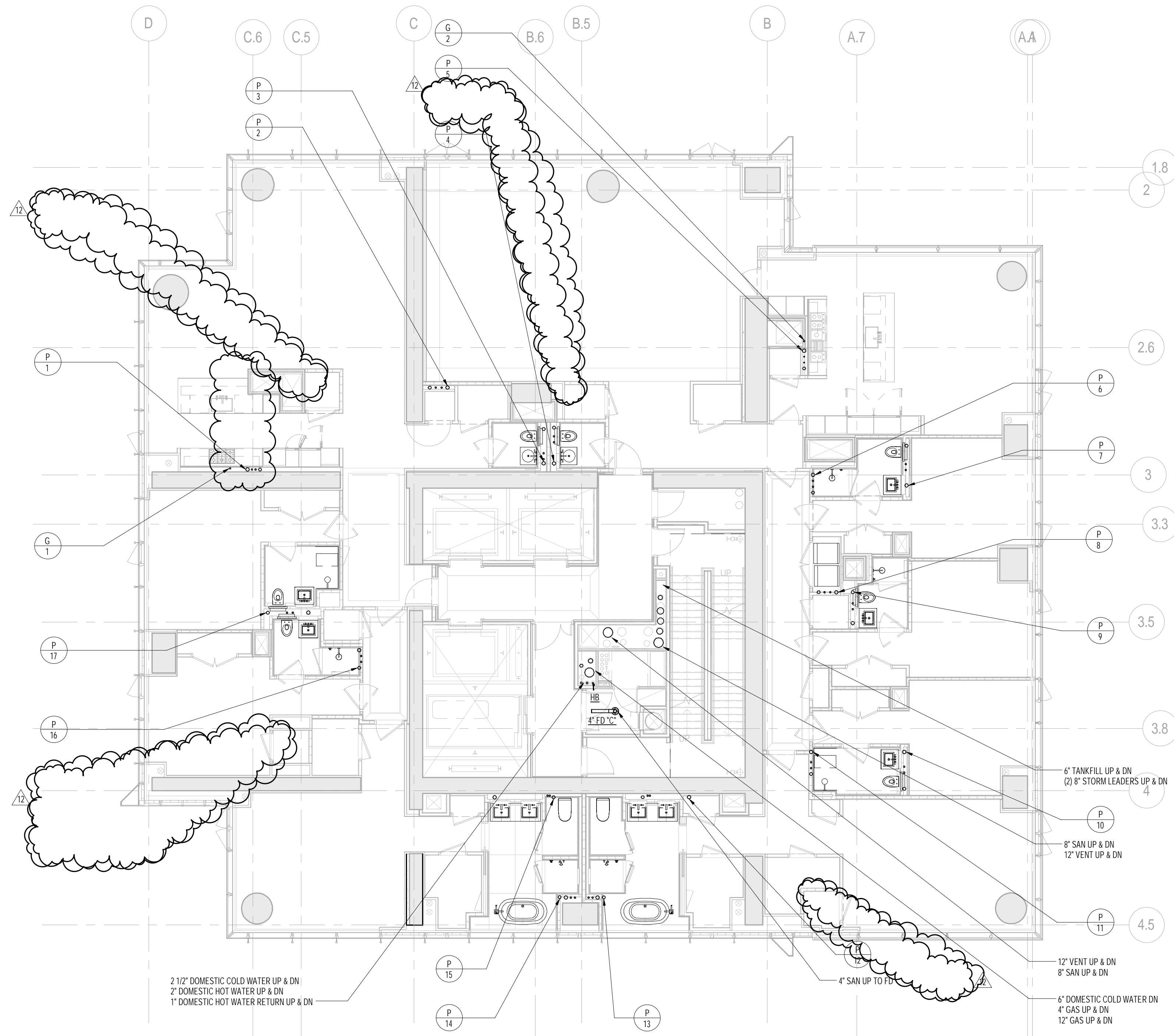
DRAWING TITLE:
PLUMBING
54th and 55th FLOOR PLANS
(MFD-84th-85th FLOOR)

SEAL & SIGNATURE:	DATE:	04/04/14
	PROJECT No:	Y130747-000
	DRAWN: JRD	REV:
	CHK: JRD	13
	SCALE: 1/8" = 1'-0"	
DWG No:	P-147.02	

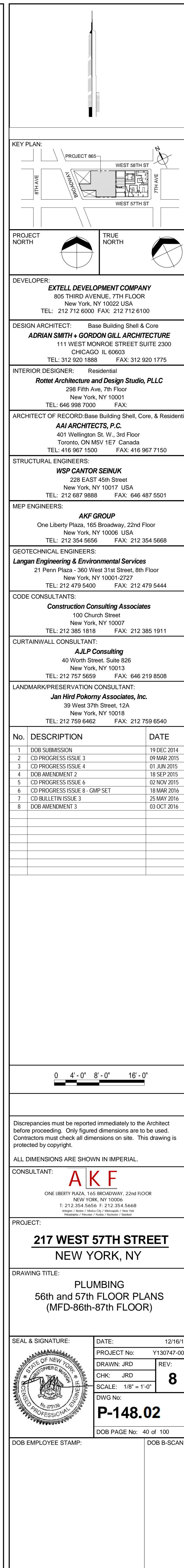
DOB PAGE No: 39 of 100
DOB EMPLOYEE STAMP: DOB S-SCAN:

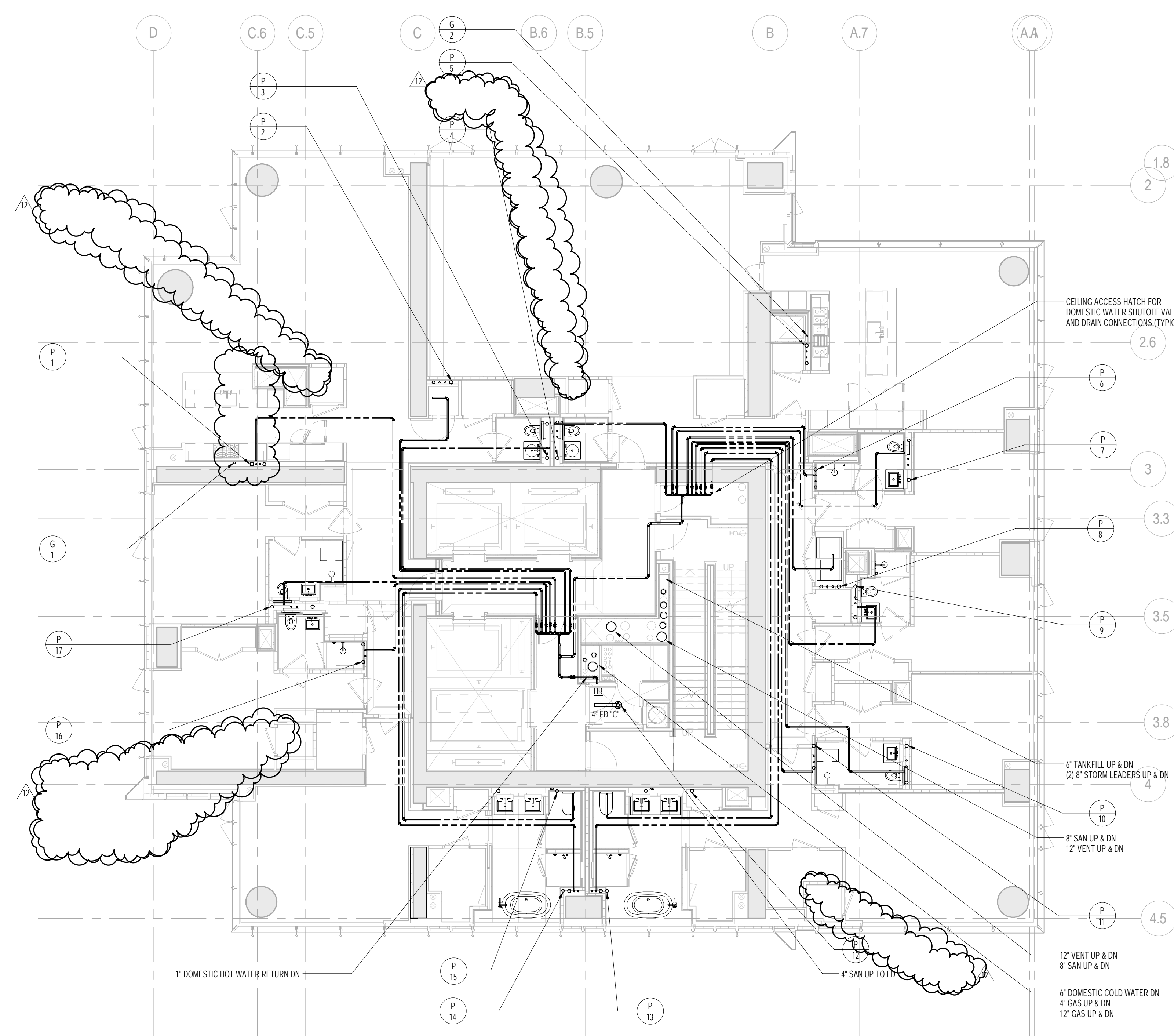


2 55th FLOOR PLAN
SCALE: 1/8" = 1'-0"

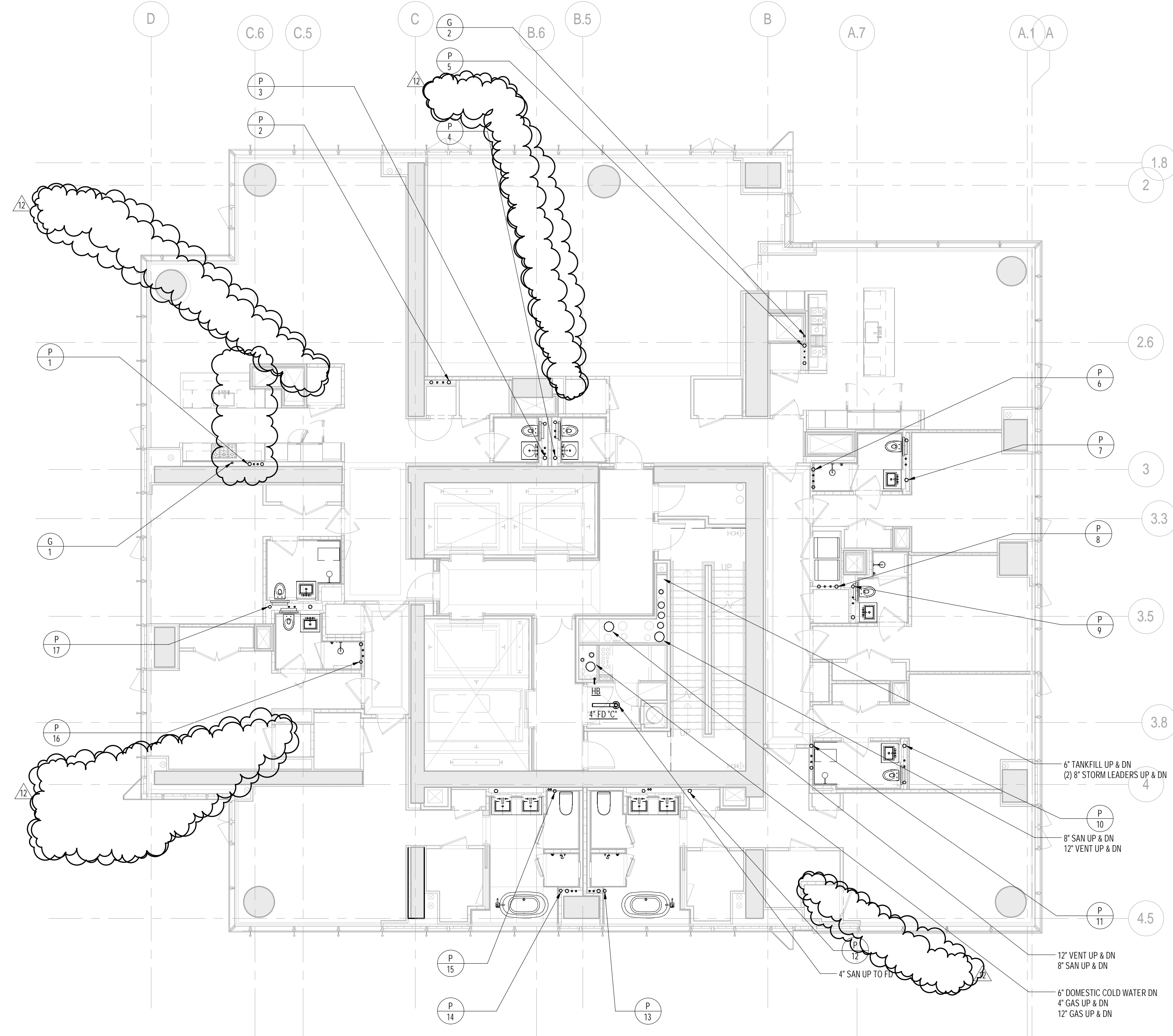


1 54th FLOOR PLAN
SCALE: 1/8" = 1'-0"

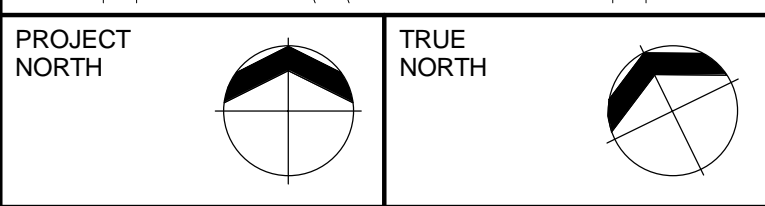
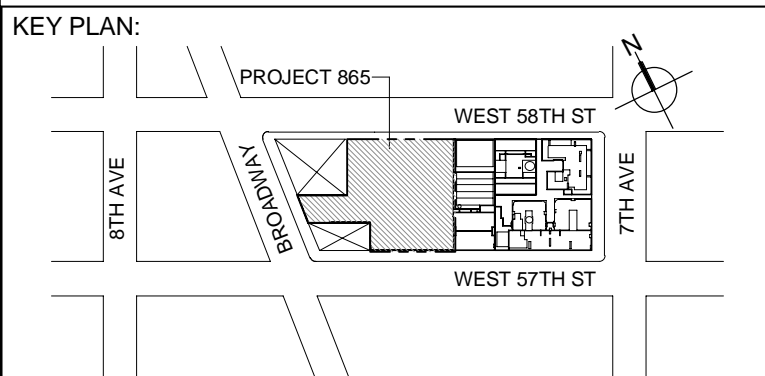




1 58th FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 59th FLOOR PLAN
SCALE: 1/8" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
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TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
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CURTAINWALL CONSULTANT:
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LANDMARK/PRESERVATION CONSULTANT:
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New York, NY 10018
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No.	DESCRIPTION	DATE
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9	DOB AMENDMENT 2	18 SEP 2015
10	CD PROGRESS ISSUE 6	30 NOV 2015
11	CD PROGRESS ISSUE B - CMP SET	18 MAR 2016
12	CD BULLETIN ISSUE 3	25 MAY 2016
13	DOB AMENDMENT 3	01 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

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CONSULTANT:
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ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
Website: www.akf.com Email: info@akf.com

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**PLUMBING
58th and 59th FLOOR PLANS
(MFD-88th-89th FLOOR)**

SEAL & SIGNATURE:	DATE:	04/04/14
	PROJECT No:	Y130747-000
	DRAWN: JRD	REV:
	CHK: JRD	13
	SCALE: 1/8" = 1'-0"	
DWG No:	P-149.02	

DOB PAGE No: 41 of 100

DOB EMPLOYEE STAMP: DOB S-SCAN:



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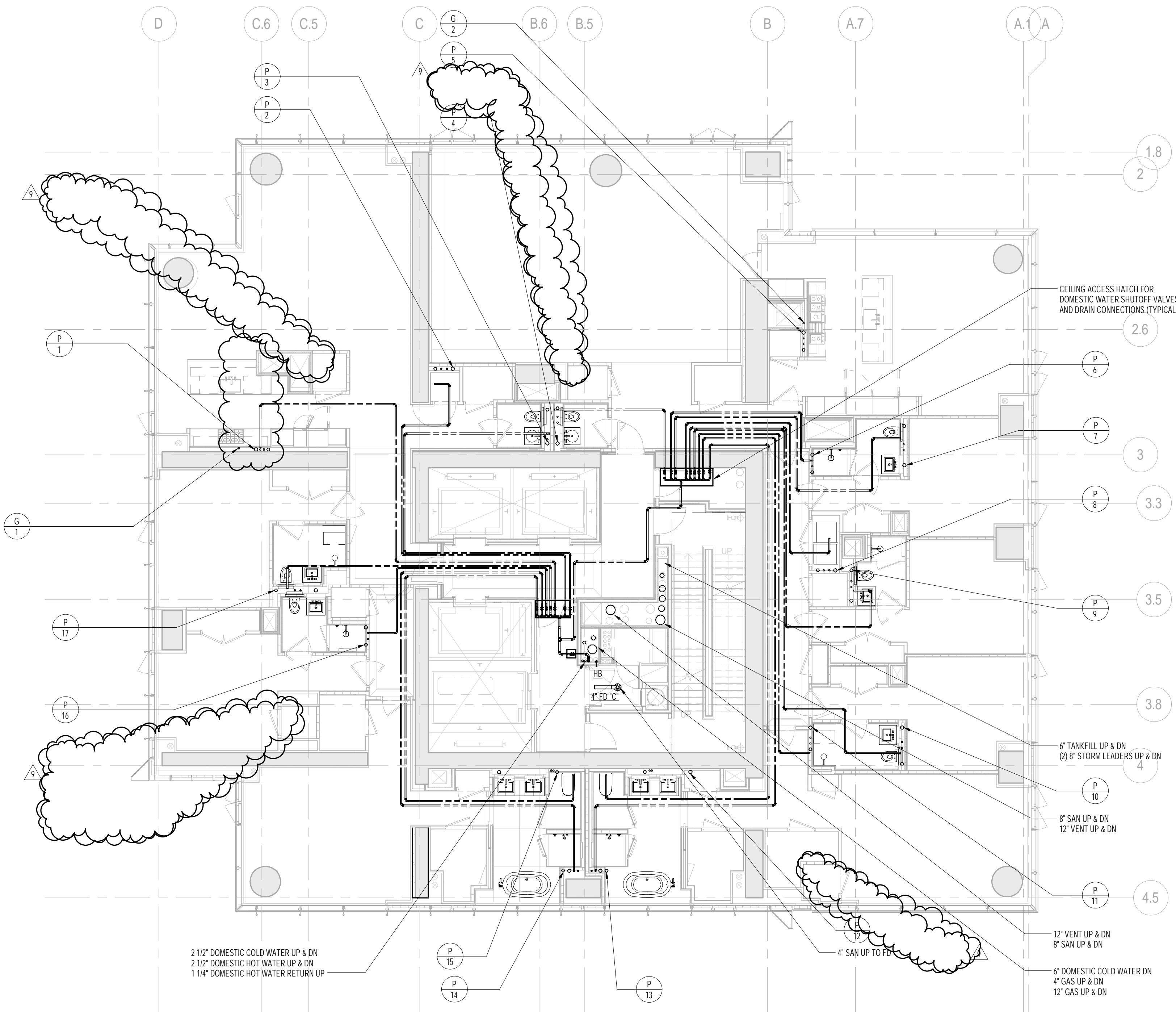
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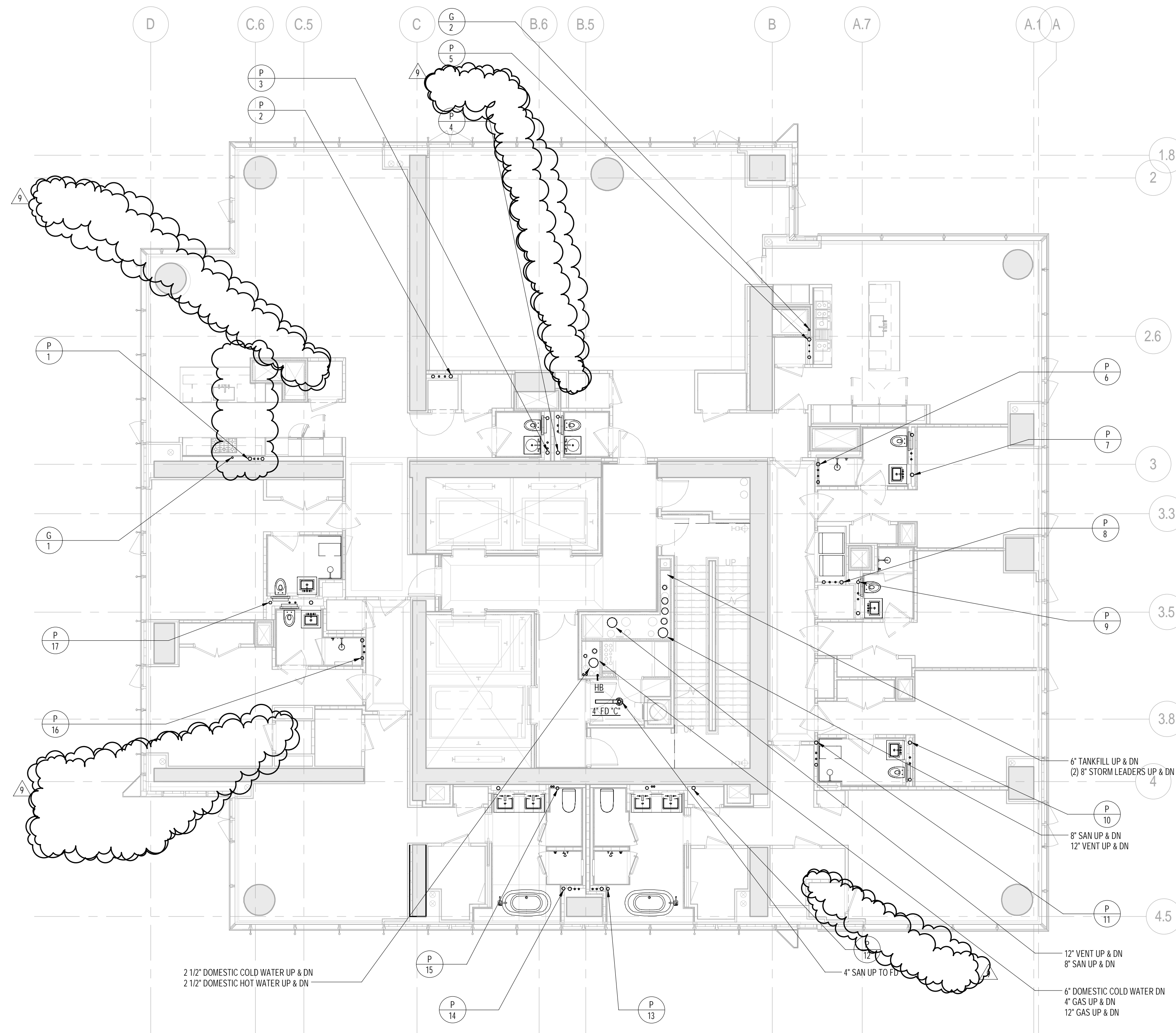
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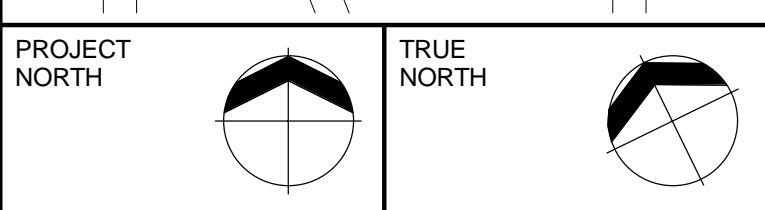
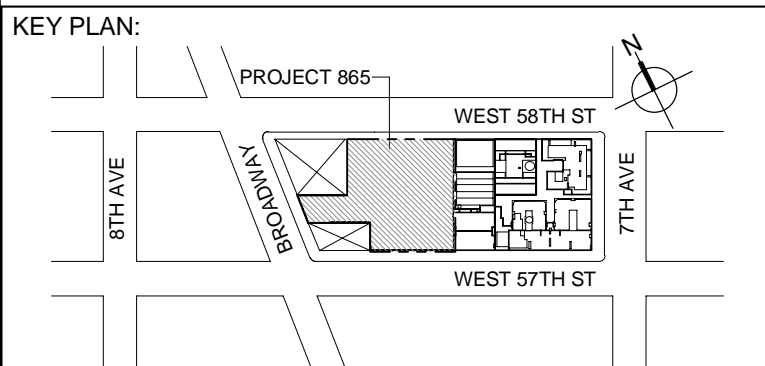
DB P



2 65th FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 64th FLOOR PLAN
SCALE: 1/8" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
NEW YORK, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
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7	CD PROGRESS ISSUE 6	30 NOV 2015
8	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
9	CD BULLETIN ISSUE 3	25 MAY 2016
10	DOB AMENDMENT 3	30 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

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CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
WWW.AKF.COM

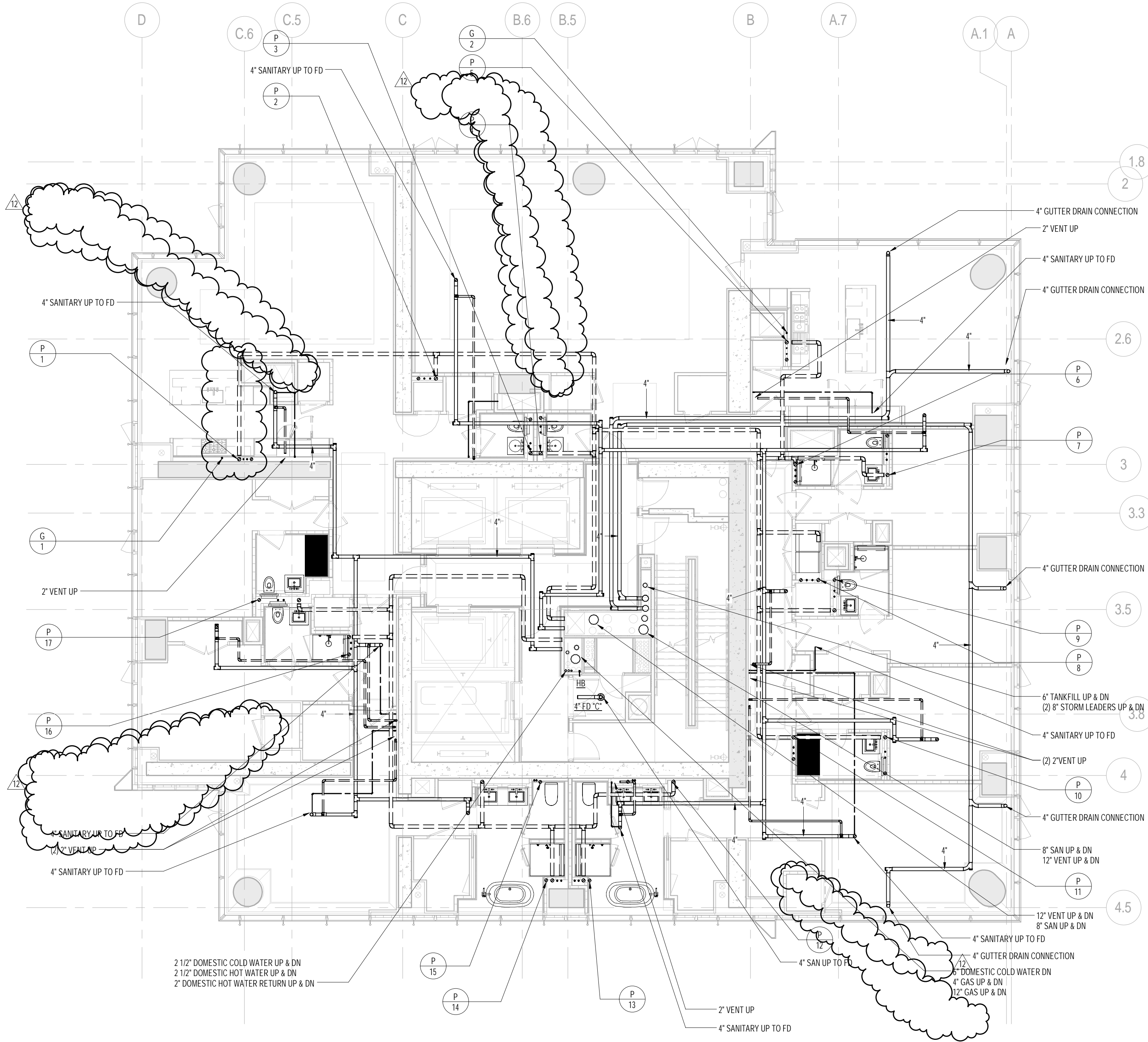
PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**PLUMBING
64th and 65th FLOOR PLANS
(MFD-94th-95th FLOOR)**

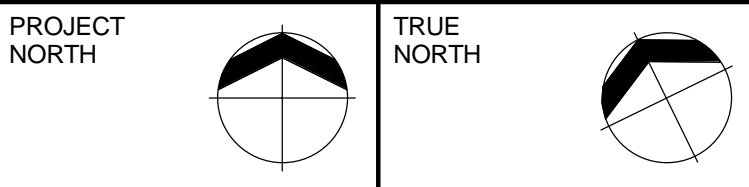
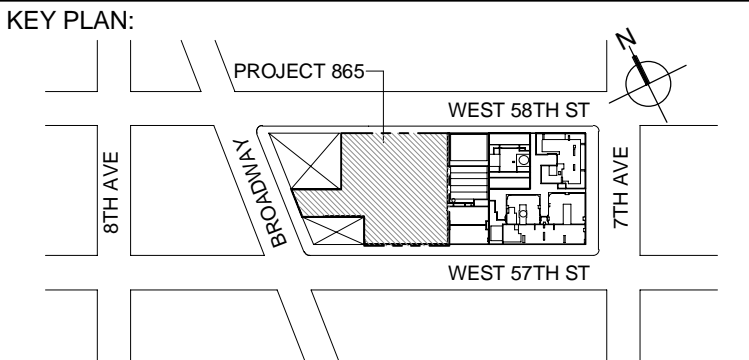
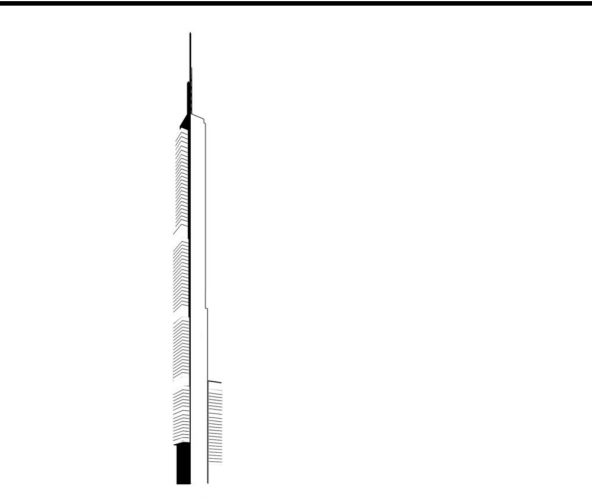
SEAL & SIGNATURE:	DATE: 10/15/14
	PROJECT No: Y130747-000
	DRAWN: JRD
	CHK: JRD
	SCALE: 1/8" = 1'-0"
DWG No:	REV: 10
DOB PAGE No: 43 of 100	P-152.02

DOB EMPLOYEE STAMP: DOB 6-SCAN:

GUTTER DRAINAGE:
PIPING FOR GUTTER DRAINAGE TO BE STAINLESS STEEL
FROM THE GUTTER OUTLET THRU THE EXTERIOR SHEAR WALL
PROVIDE ELECTRIC FITTING FOR TRANSITION FROM SS TO
STANDARD STORM DRAINAGE PIPING



1 66th FLOOR PLAN
SCALE: 1/8" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
238 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
TEL: 212 697 9588 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 37th Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - PLUMBING	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	DOB AMENDMENT 2	18 SEP 2015
10	CD PROGRESS ISSUE 6	30 NOV 2015
11	CD PROGRESS ISSUE B - GMP SET	18 MAR 2016
12	CD BULLETIN ISSUE 3	25 MAY 2016
13	DOB AMENDMENT 3	20 OCT 2016

0 4'-0" 8'-0" 16'-0"

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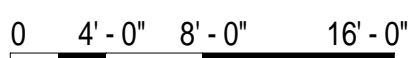
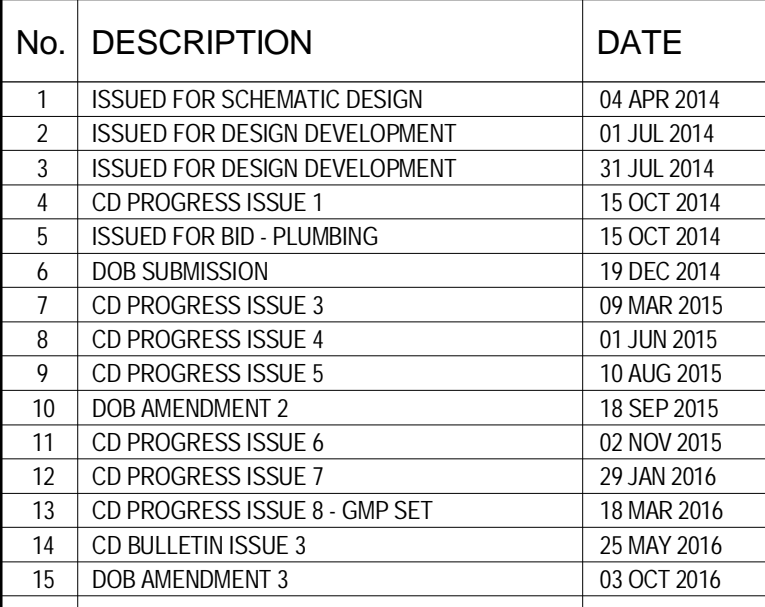
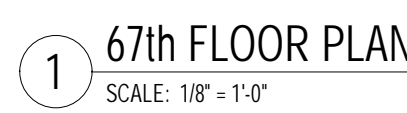
CONSULTANT:
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NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
Website: www.akfgroup.com Email: info@akfgroup.com

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
PLUMBING
66th FLOOR PLAN (MFD-96th FLOOR)

SEAL & SIGNATURE:	DATE: 04/04/14
	PROJECT No: Y130747-000
	DRAWN: JRD REV: 13
	CHK: JRD SCALE: 1/8" = 1'-0"
	DWG No: P-153.02

DOB PAGE No: 44 of 100
DOB EMPLOYEE STAMP: DOB 6-SCAN:



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T: 212.354.5666 F: 212.354.5668
Atlanta / Boston / Chicago / Dallas / Denver / New York
Philadelphia / Phoenix / Portland / Rochester / Seattle


PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

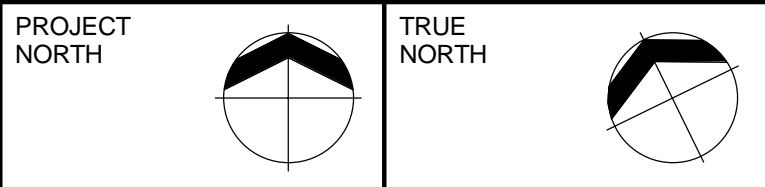
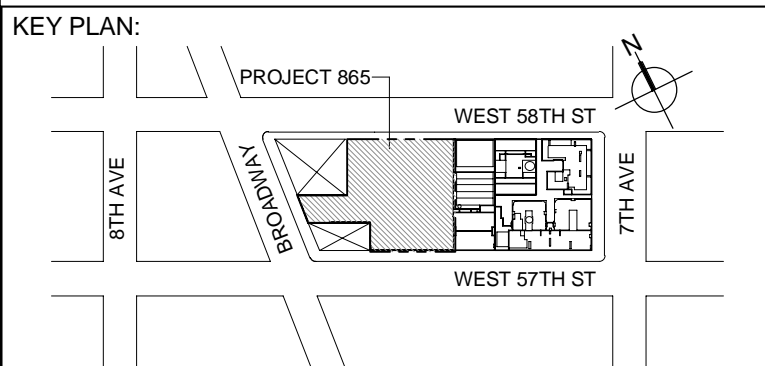
DRAWING TITLE:

PLUMBING

67th and 67th FLOOR INTERMEDIATE
PLANS (MFD-97th-98th FLOOR)

SEAL & SIGNATURE:	DATE: 04/04/14
	PROJECT No: Y130747-000
	DRAWN: JRD
	CHK: JRD
	REV: 15
	SCALE: 1/8" = 1'-0"
	DWG No: P-154.02
	DOB PAGE No: 45 of 100

DOB EMPLOYEE STAMP:		DOB B-SCAN:
---------------------	--	-------------



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60663
TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

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WSP CANTOR SEINUK
228 EAST 45th Street
New York, NY 10017 USA
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MEP ENGINEERS:
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One Liberty Plaza, 165 Broadway, 22nd Floor
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21 Penn Plaza - 360 West 37th Street, 8th Floor
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CODE CONSULTANTS:
Construction Consulting Associates
100 Church Street
New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
J.L.P. Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	21 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - PLUMBING	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 5	10 AUG 2015
9	DOB AMENDMENT 2	18 SEP 2015
10	CD PROGRESS ISSUE 6	30 NOV 2015
11	CD PROGRESS ISSUE 7	29 JAN 2016
12	CD PROGRESS ISSUE 8 - CMP SET	18 MAR 2016
13	CD BULLETIN ISSUE 1	25 MAY 2016
14	CD BULLETIN ISSUE 7	14 SEPT 2016
15	DOB AMENDMENT 3	03 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"


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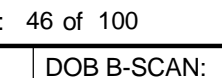
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

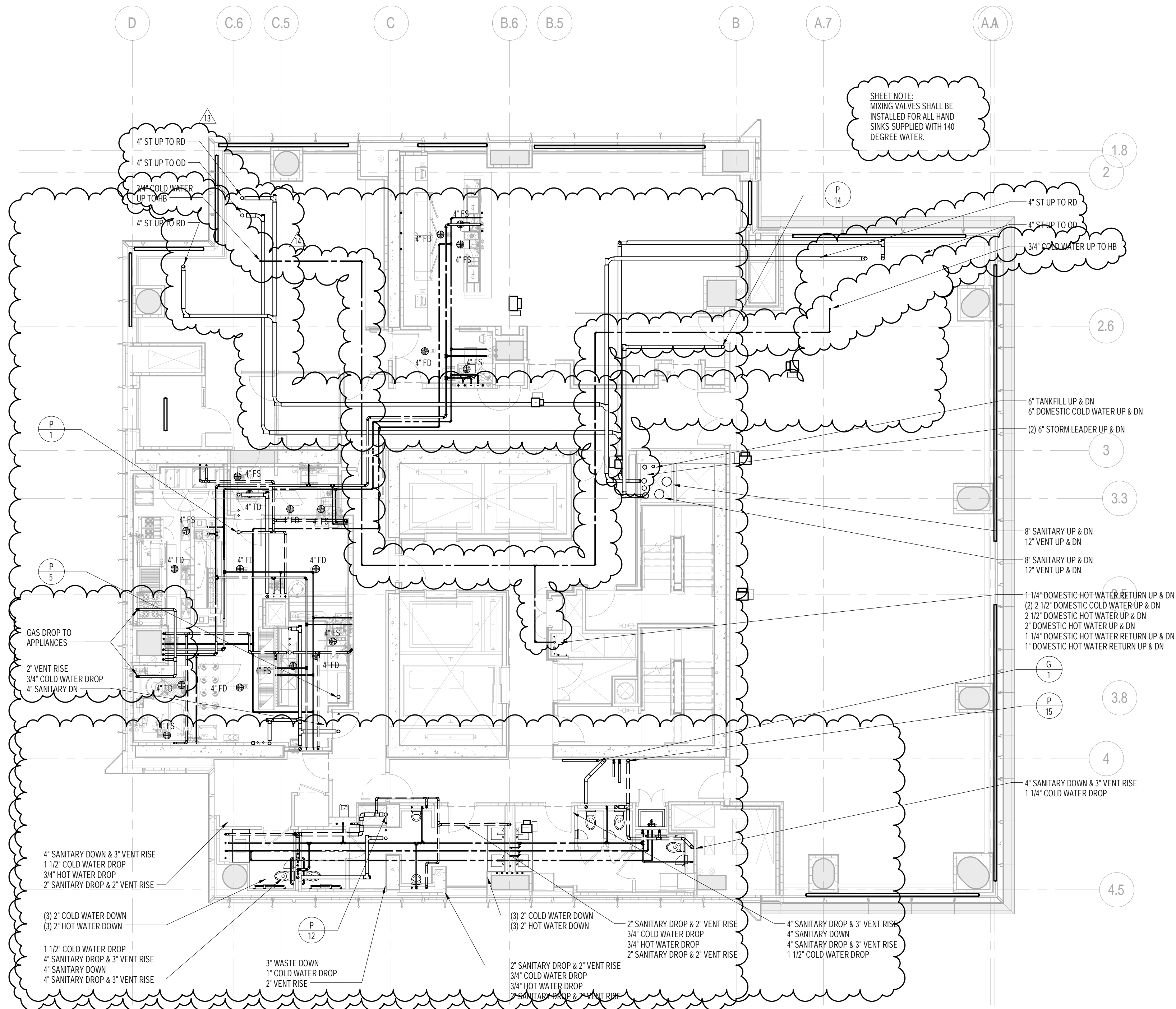
CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd Floor
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
Website: www.akfgroup.com Email: info@akfgroup.com

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

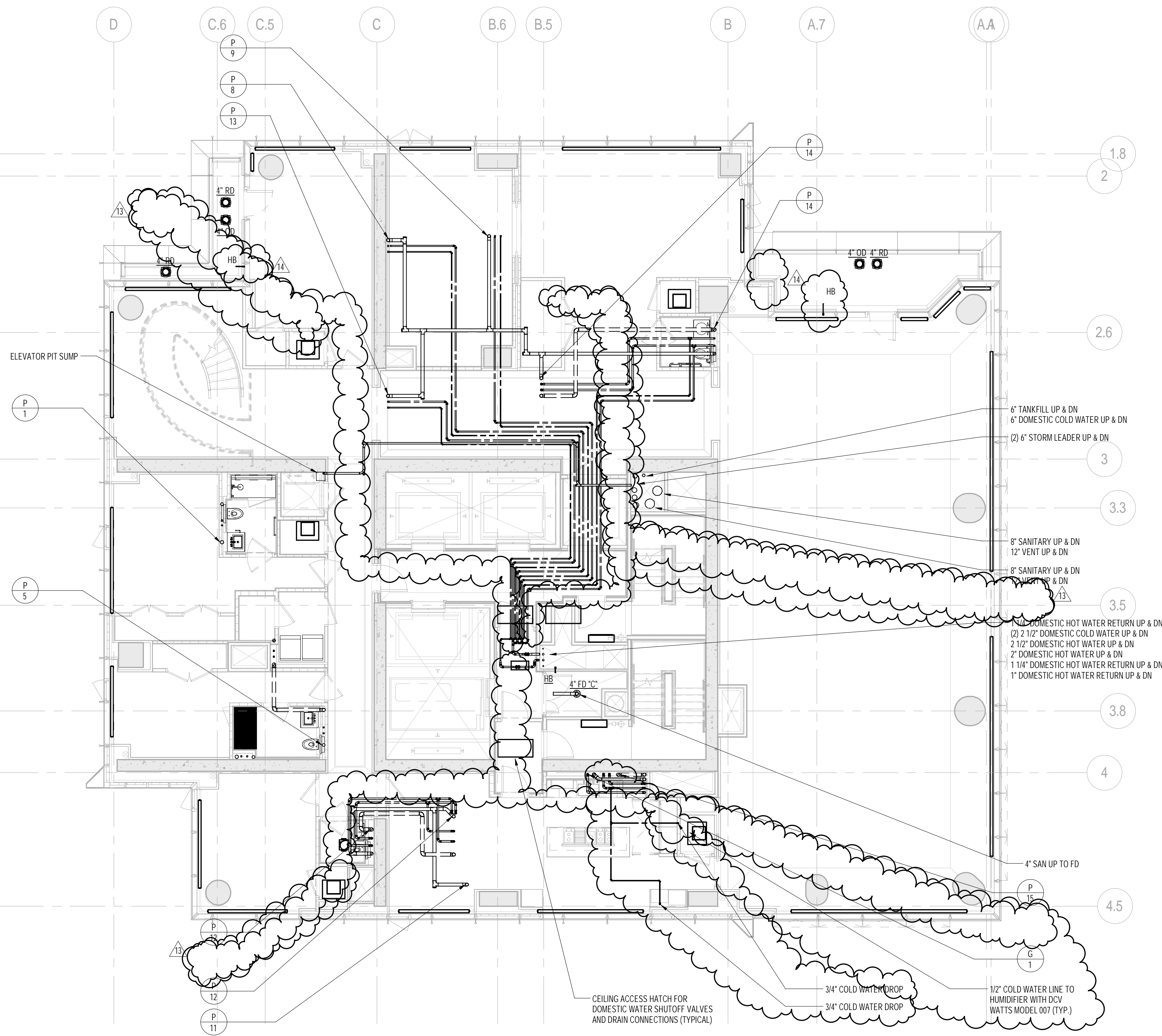
DRAWING TITLE:
PLUMBING
68th FLOOR PLAN (MFD-100th FLOOR)

SEAL & SIGNATURE:  DATE: 08/06/16
PROJECT No: Y130747-000
DRAWN: JRD REV: 15
CHK: JRD
SCALE: 1/8" = 1'-0"
DWG No: **P-155.02**

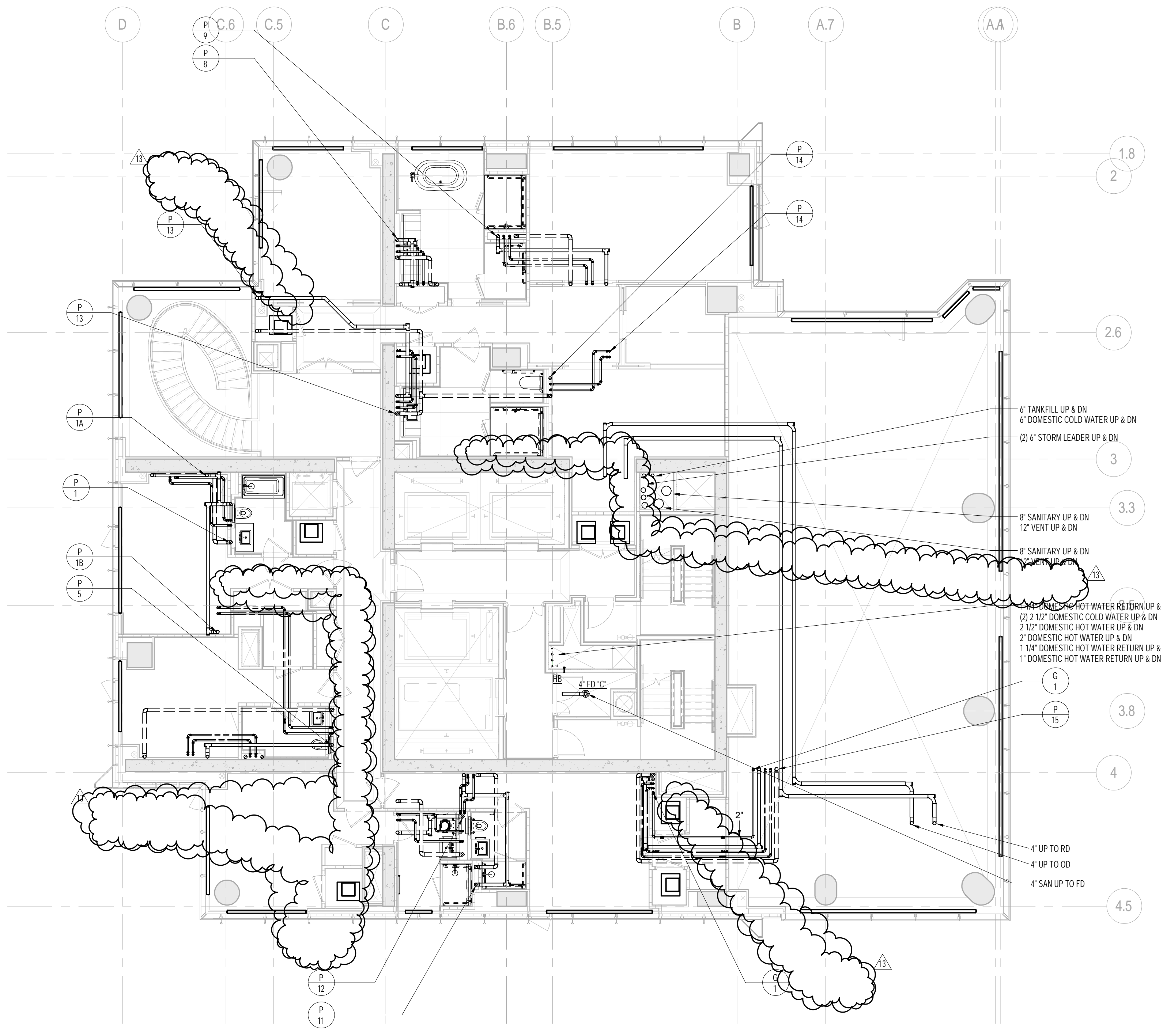
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DOB EMPLOYEE STAMP:  DOB 6-SCAN:



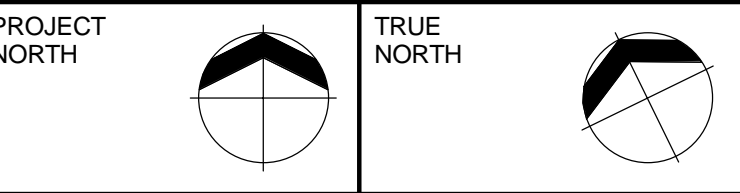
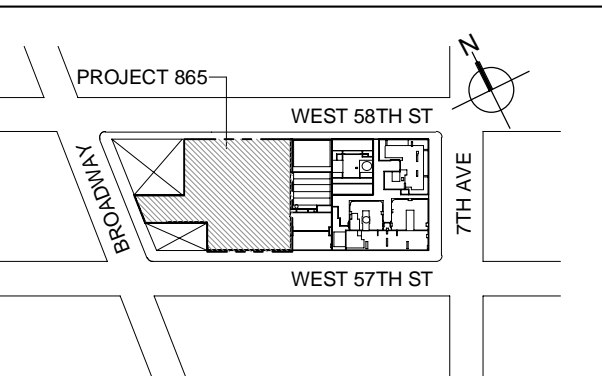
1 68th FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 69th FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 70th FLOOR PLAN
SCALE: 1/8" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
401 Wellington St., W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SENUK
228 EAST 45th Street
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AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
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TEL: 212 354 5656 FAX: 212 354 5668

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Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 37th Street, 8th Floor
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CODE CONSULTANTS:
Conservation Consulting Associates
100 Church Street
New York, NY 10007
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CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 6659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	01 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	21 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - PLUMBING	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 5	10 MAR 2015
9	DOB AMENDMENT 2	18 SEP 2015
10	CD PROGRESS ISSUE 6	30 NOV 2015
11	CD PROGRESS ISSUE 7	29 JAN 2016
12	CD PROGRESS ISSUE 8 - CMP SET	18 MAR 2016
13	CD BULLETIN ISSUE 3	25 MAY 2016
14	CD BULLETIN ISSUE 7	14 SEPT 2016
15	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
Website: www.akfgroup.com Email: info@akfgroup.com

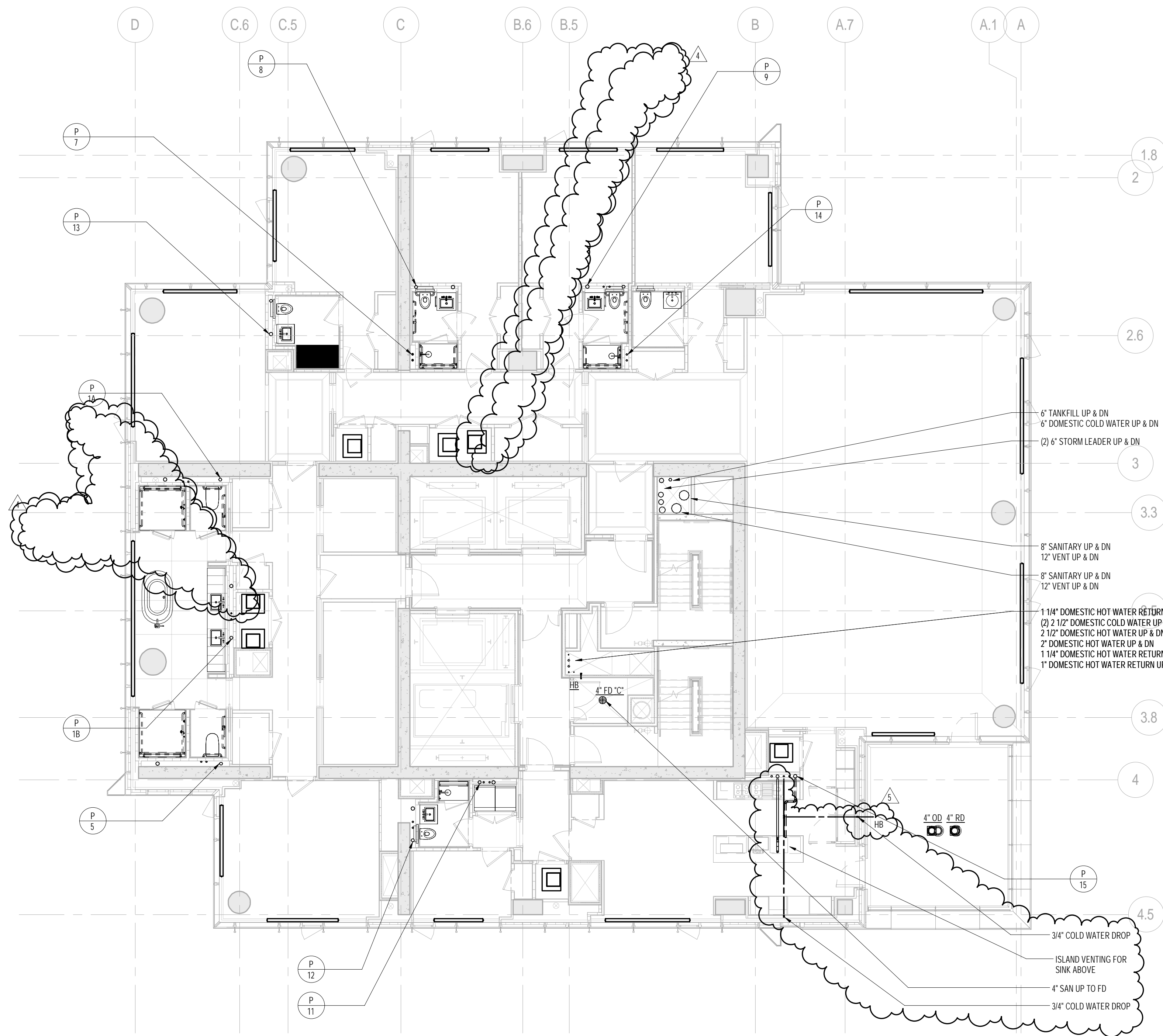
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
PLUMBING
69th and 70th FLOOR PLANS
(MFD-107th-108th FLOOR)

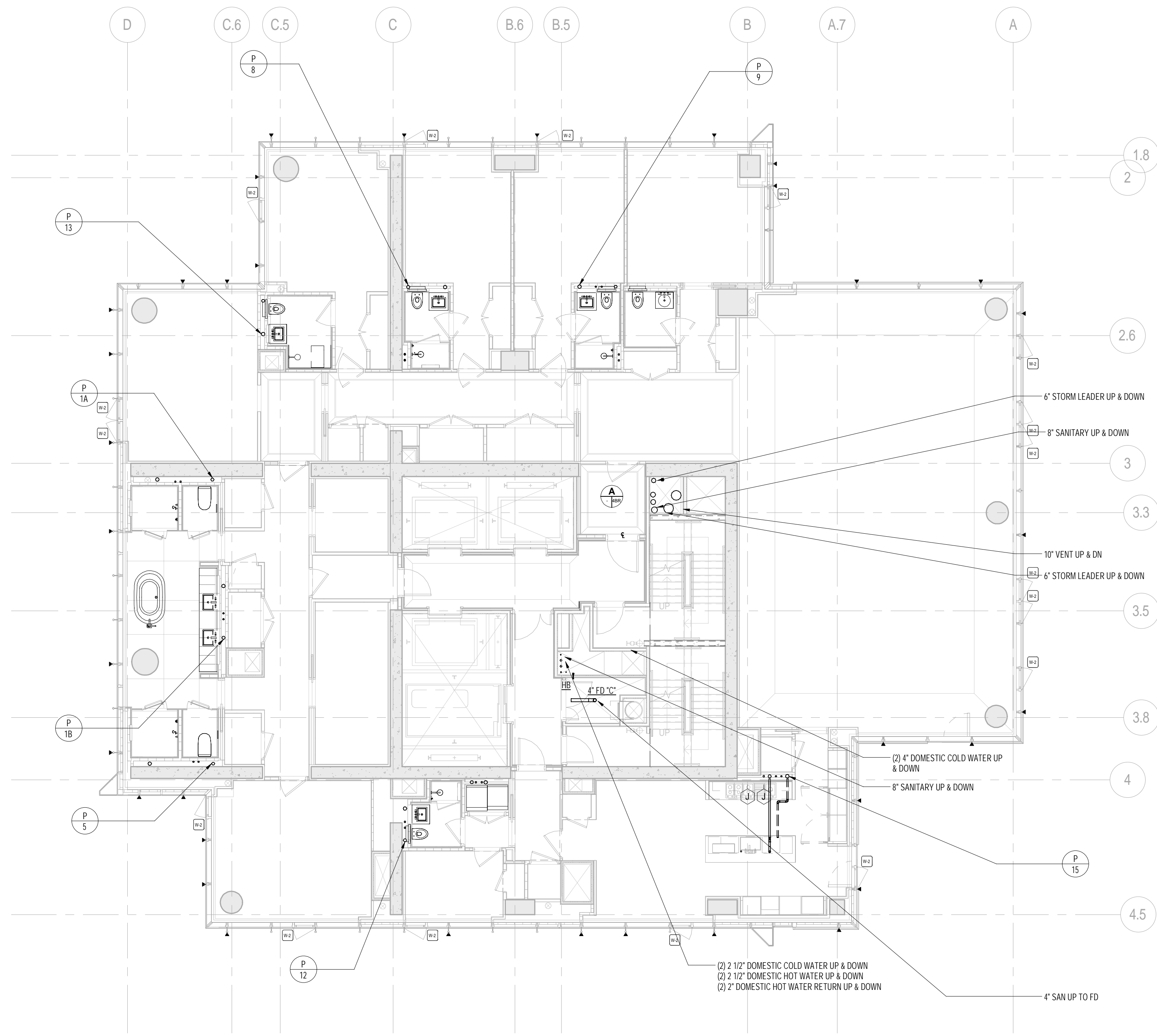
SEAL & SIGNATURE:	DATE:	04/04/14
	PROJECT No:	Y130747-000
	DRAWN: JRD	REV:
	CHK: JRD	15
	SCALE: 1/8" = 1'-0"	
DWG No:	P-156.02	

DOB PAGE No: 47 of 100

DOB EMPLOYEE STAMP: DOB S-SCAN:



2 70th FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 TYPICAL 71st-87th FLOOR PLANS
SCALE: 1/8" = 1'-0"

KEY PLAN

PROJECT NORTH

TRUE NORTH

DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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401 Wellington St. W., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 1750

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228 EAST 45th Street
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TEL: 212 657 8588 FAX: 646 487 5501

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One Liberty Plaza, 165 Broadway, 22nd Floor
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TEL: 212 354 5656 FAX: 212 354 5668

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21 Penn Plaza - 360 West 37th Street, 8th Floor
New York, NY 10001-2727
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40 Worth Street, Suite 826
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LANDMARK/PRESERVATION CONSULTANT: **Jan Hind Pokorny Associates, Inc.**
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 3	09 MAR 2015
2	CD PROGRESS ISSUE 6	02 NOV 2015
3	CD PROGRESS ISSUE 8 - CMP SET	18 MAR 2016
4	CD BULLETIN ISSUE 3	15 MAY 2016
5	CD BULLETIN ISSUE 7	14 SEPT 2016
6	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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CONSULTANT: **AKF**
ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
Website: www.akfgroup.com Email: info@akfgroup.com

PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

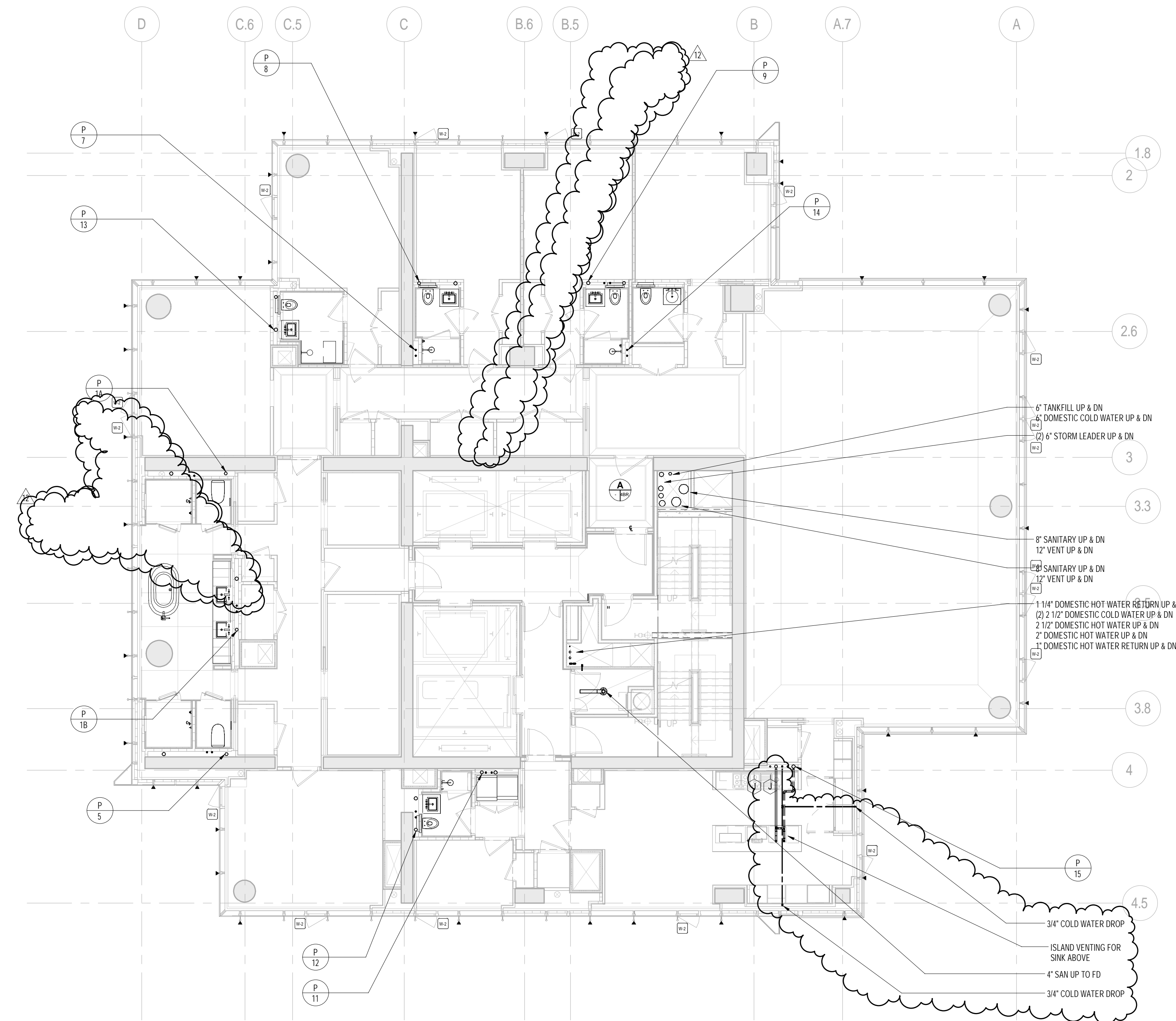
DRAWING TITLE: **PLUMBING
71st and 72nd FLOOR PLANS
(TYPICAL 72nd-88th FLOORS)
(MFD-109th FLOOR and
MFD-110th-126th FLOOR)**

SEAL & SIGNATURE:	DATE:
	PROJECT No: Y130747-000
	DRAWN: JRD
	CHK: JRD
	SCALE: 1/8" = 1'-0"

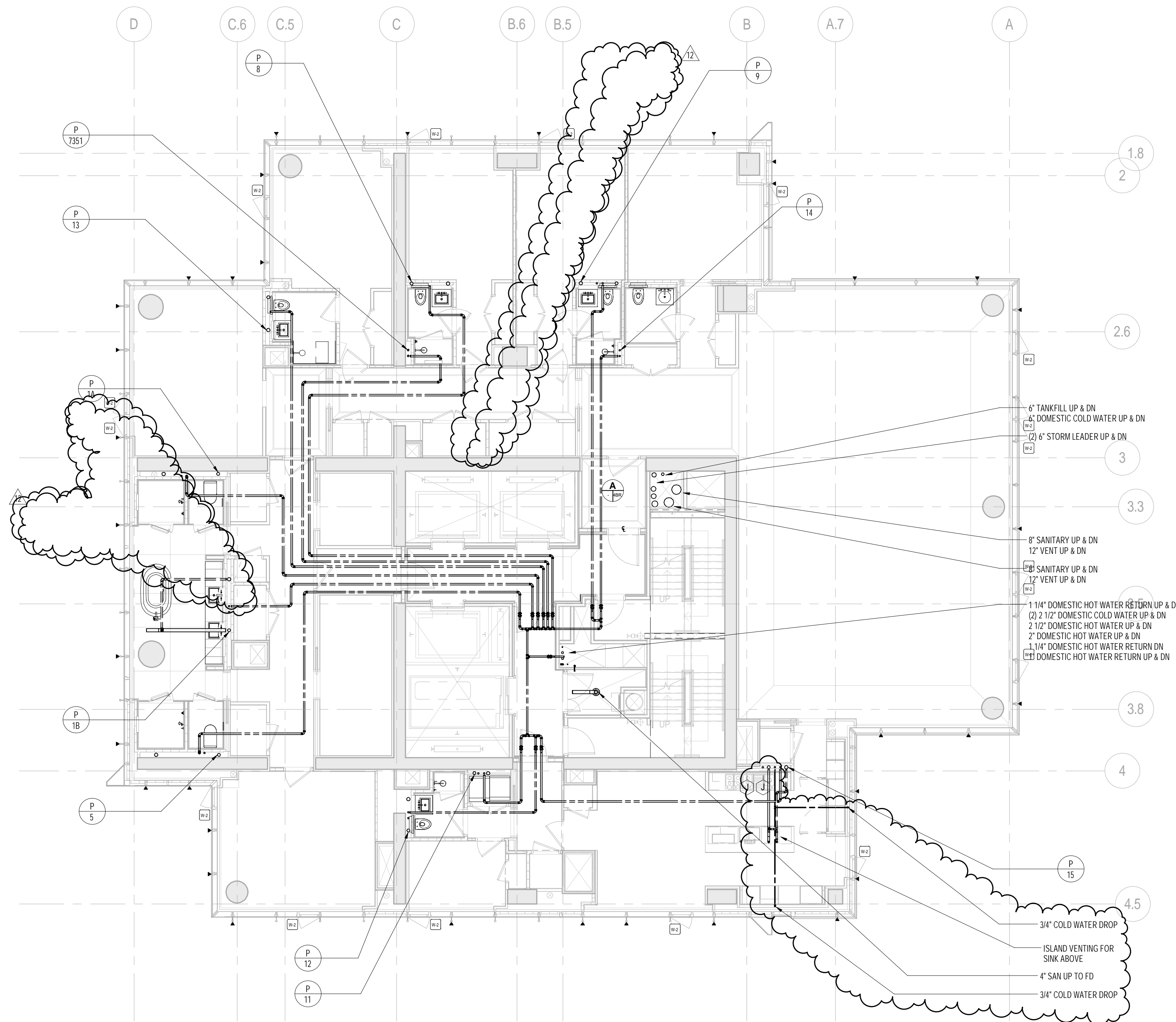
DWG No: **P-157.00**

DOB PAGE No: 48 of 100

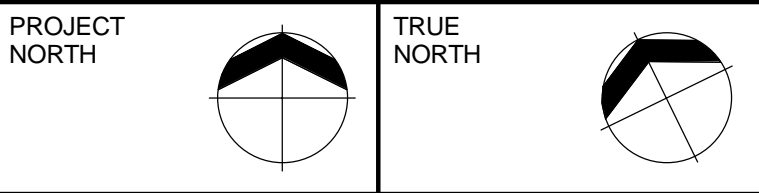
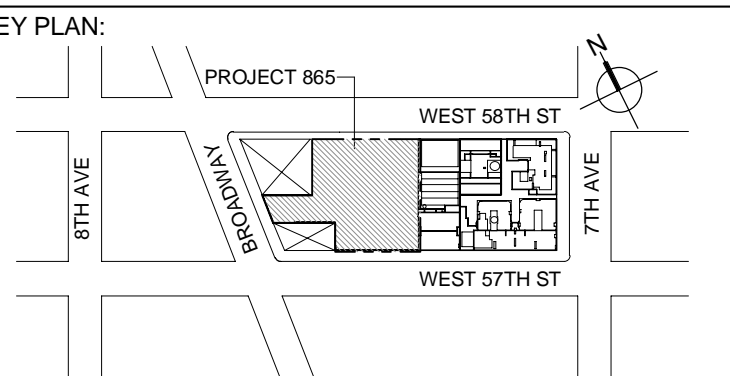
DOB EMPLOYEE STAMP: DOB 6-SCAN:



2 74th FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 73rd FLOOR PLAN
SCALE: 1/8" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
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TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
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TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
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TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
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MEP ENGINEERS:
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Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
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TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
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8	CD PROGRESS ISSUE 5	10 AUG 2015
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10	CD PROGRESS ISSUE 6	30 NOV 2015
11	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
12	CD BULLETIN ISSUE 3	25 MAY 2016
13	DOB AMENDMENT 3	31 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

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ONE LIBERTY PLAZA, 165 BROADWAY, 22nd Floor
NEW YORK, NY 10006
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Website: www.akfgroup.com Email: info@akfgroup.com

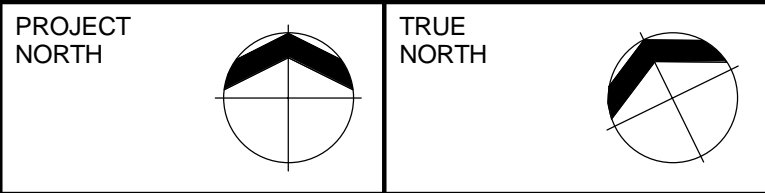
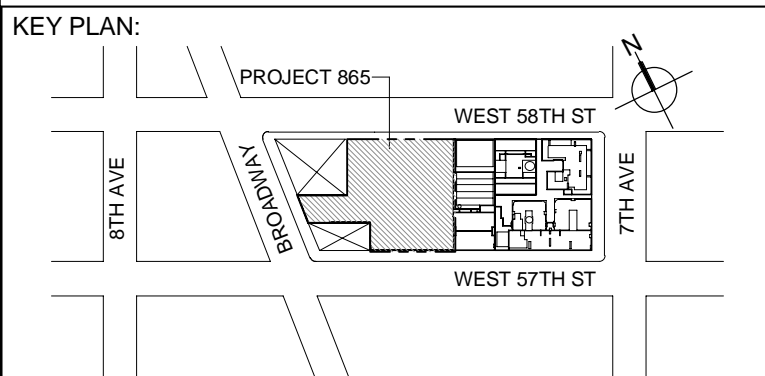
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:
PLUMBING
73rd and 74th FLOOR PLANS
(MFD-111th-112th FLOOR)

SEAL & SIGNATURE:	DATE:	08/06/15
	PROJECT No:	Y130747-000
	DRAWN: JRD	REV:
	CHK: JRD	13
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DWG No:	P-158.02	

DOB PAGE No: 49 of 100

DOB EMPLOYEE STAMP: DOB 5-SCAN:



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60663
TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
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Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
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228 EAST 45th Street
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TEL: 212 697 8888 FAX: 646 487 5501

MEP ENGINEERS:
AKF GROUP
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New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 37th Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - PLUMBING	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 5	10 AUG 2015
9	DOB AMENDMENT 2	18 SEP 2015
10	CD PROGRESS ISSUE 6	30 NOV 2015
11	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
12	CD BULLETIN ISSUE 3	25 MAY 2016
13	DOB AMENDMENT 3	20 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

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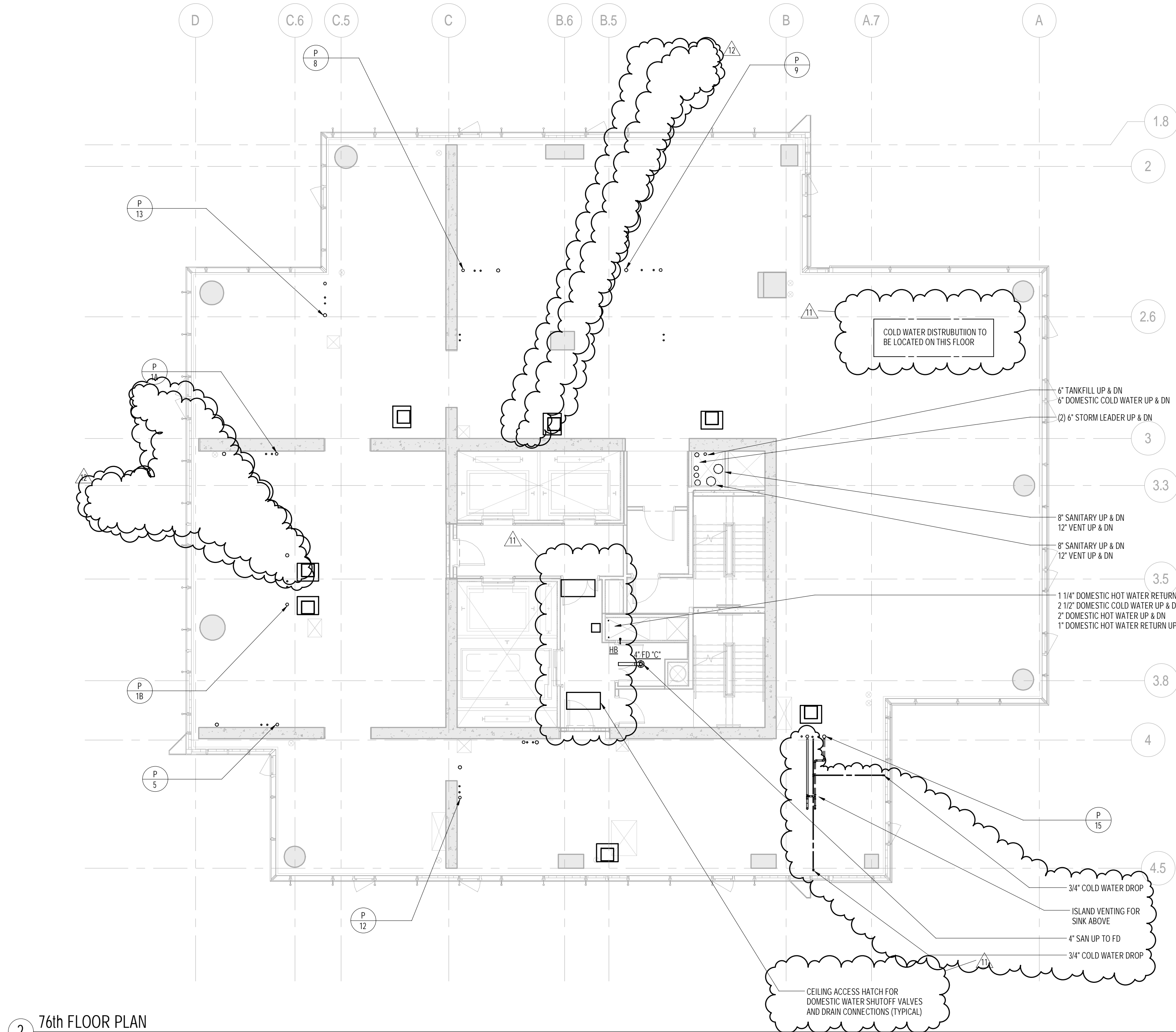
CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd Floor
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
Website: www.akfgroup.com Email: info@akfgroup.com

PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

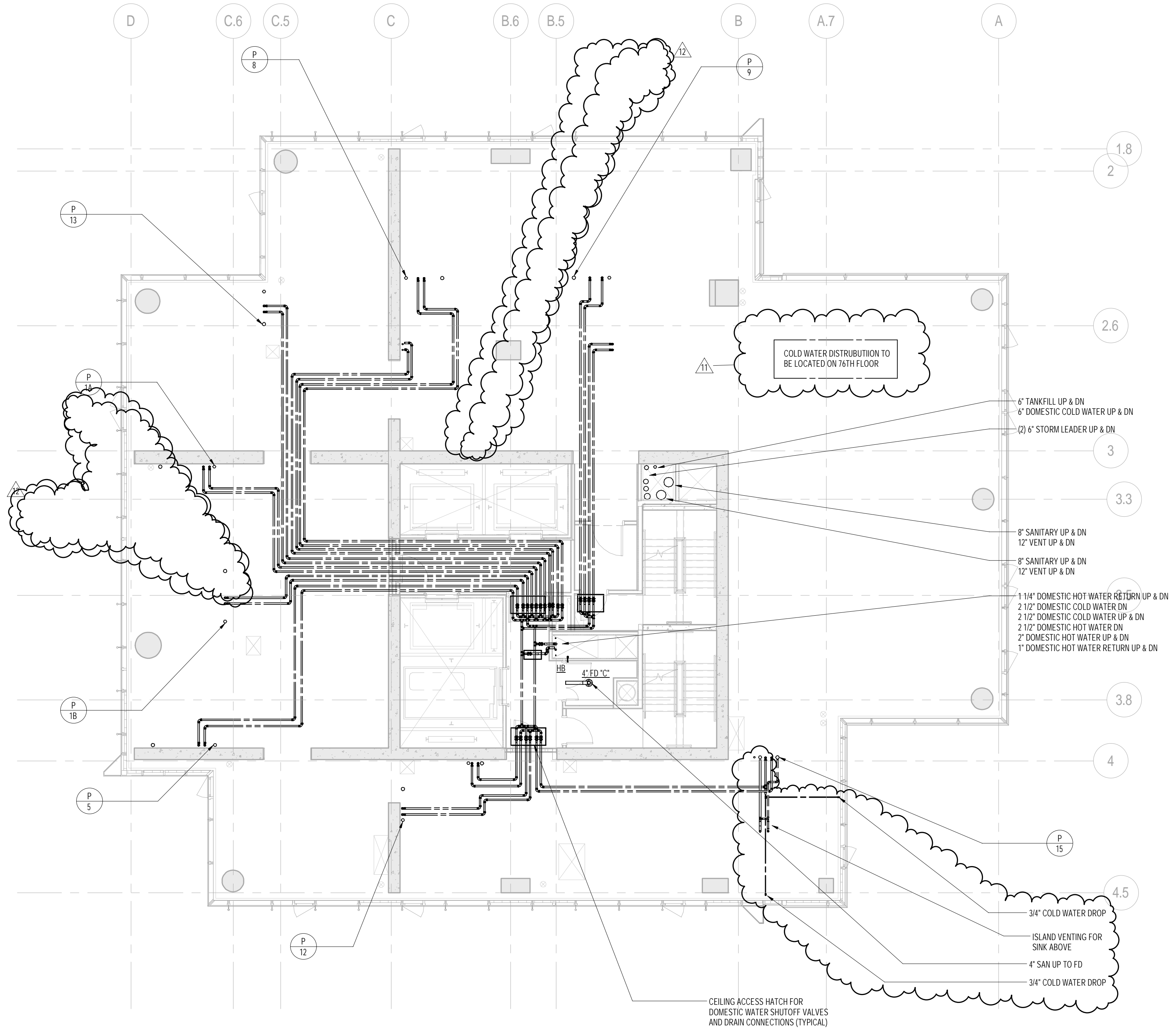
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PLUMBING
75th and 76th FLOOR PLANS
(MFD-113th-114th FLOOR)

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	CHK: JRD SCALE: 1/8" = 1'-0"
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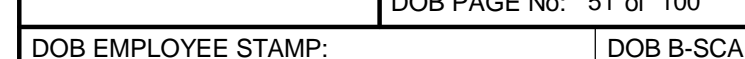
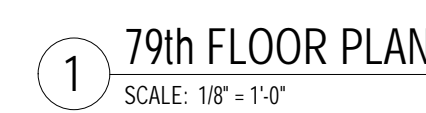
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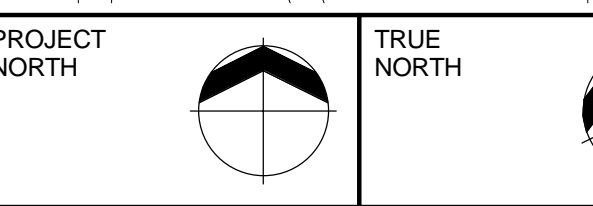


2 76th FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 75th FLOOR PLAN
SCALE: 1/8" = 1'-0"





DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECT
111 WEST MONROE STREET SUITE 200
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1889

ARCHITECT OF RECORD: Base Building Shell, Core,
AAI ARCHITECTS, P.C.
401 Wellington St. W., 3rd Floor
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TEL: 416 967 1500 FAX: 416 967

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CODE CONSULTANTS:
Construction Consulting Associates
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TEL: 212 385 1818 FAX: 212 385

TEL: 212 757 5659 FAX: 646 219-
LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018


2	ISSUED FOR DESIGN DEVELOPMENT	07/15/2015
3	ISSUED FOR DESIGN DEVELOPMENT	3/15/2015
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
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13	DOB AMENDMENT 3	03/

CONSULTANT: **A K F**
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006

211 WEST 87TH STREET
NEW YORK, NY

DRAWING TITLE:
PLUMBING

SEAL & SIGNATURE: 	DATE:
	PROJECT No:
	DRAWN: JDD

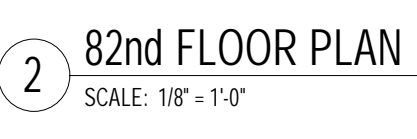


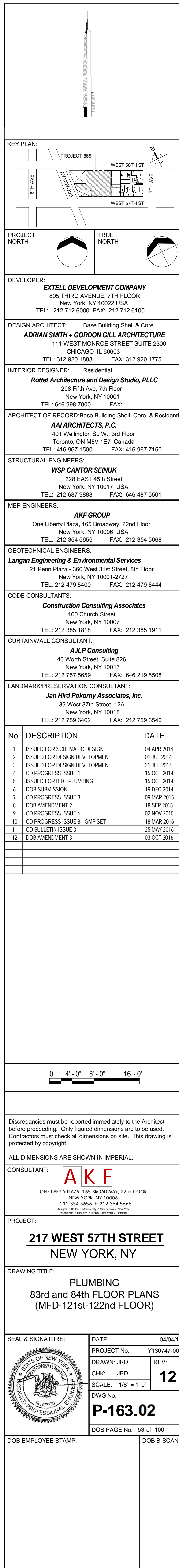
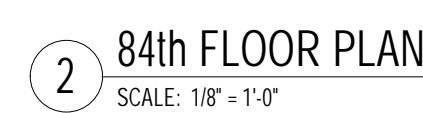
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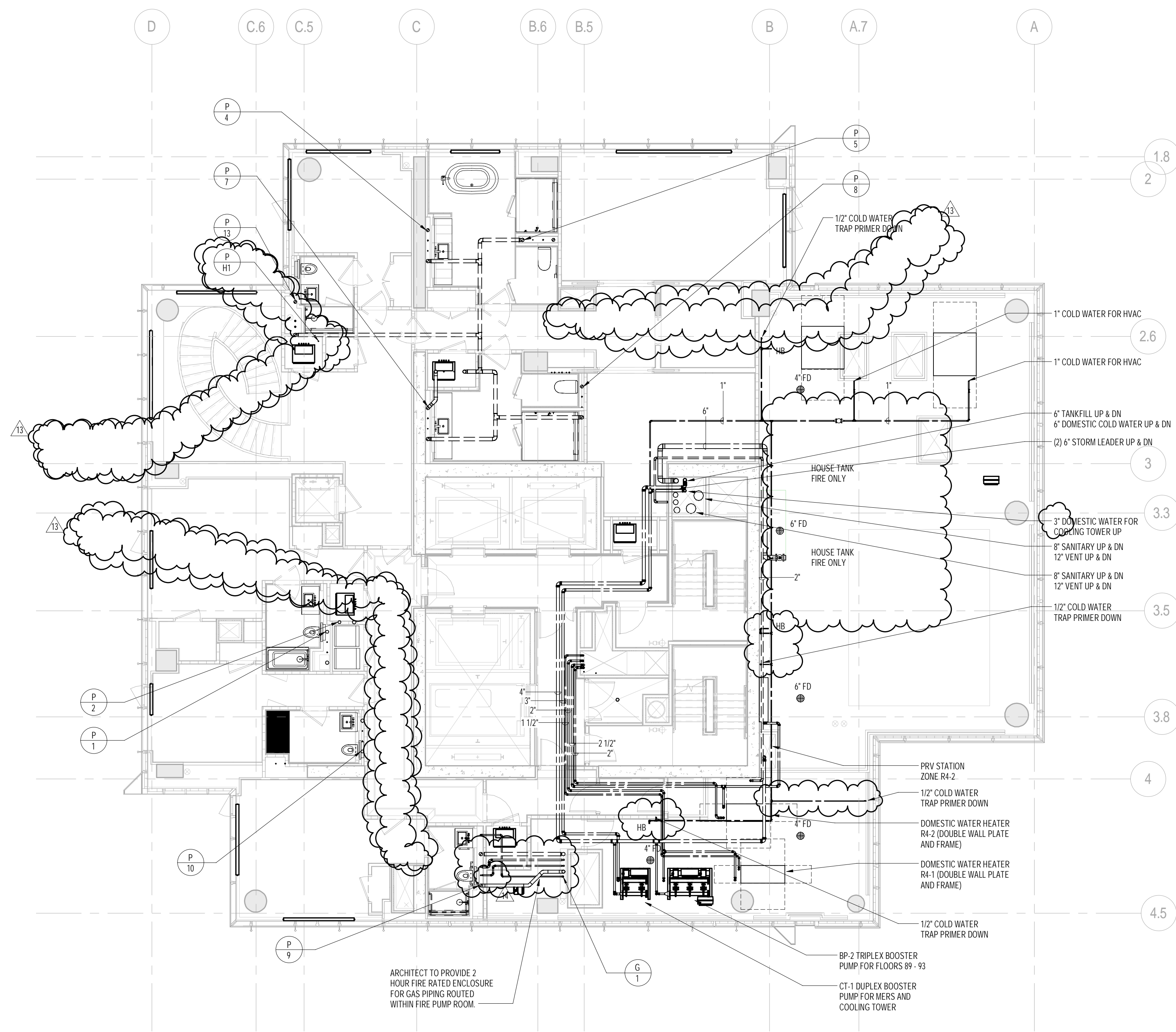
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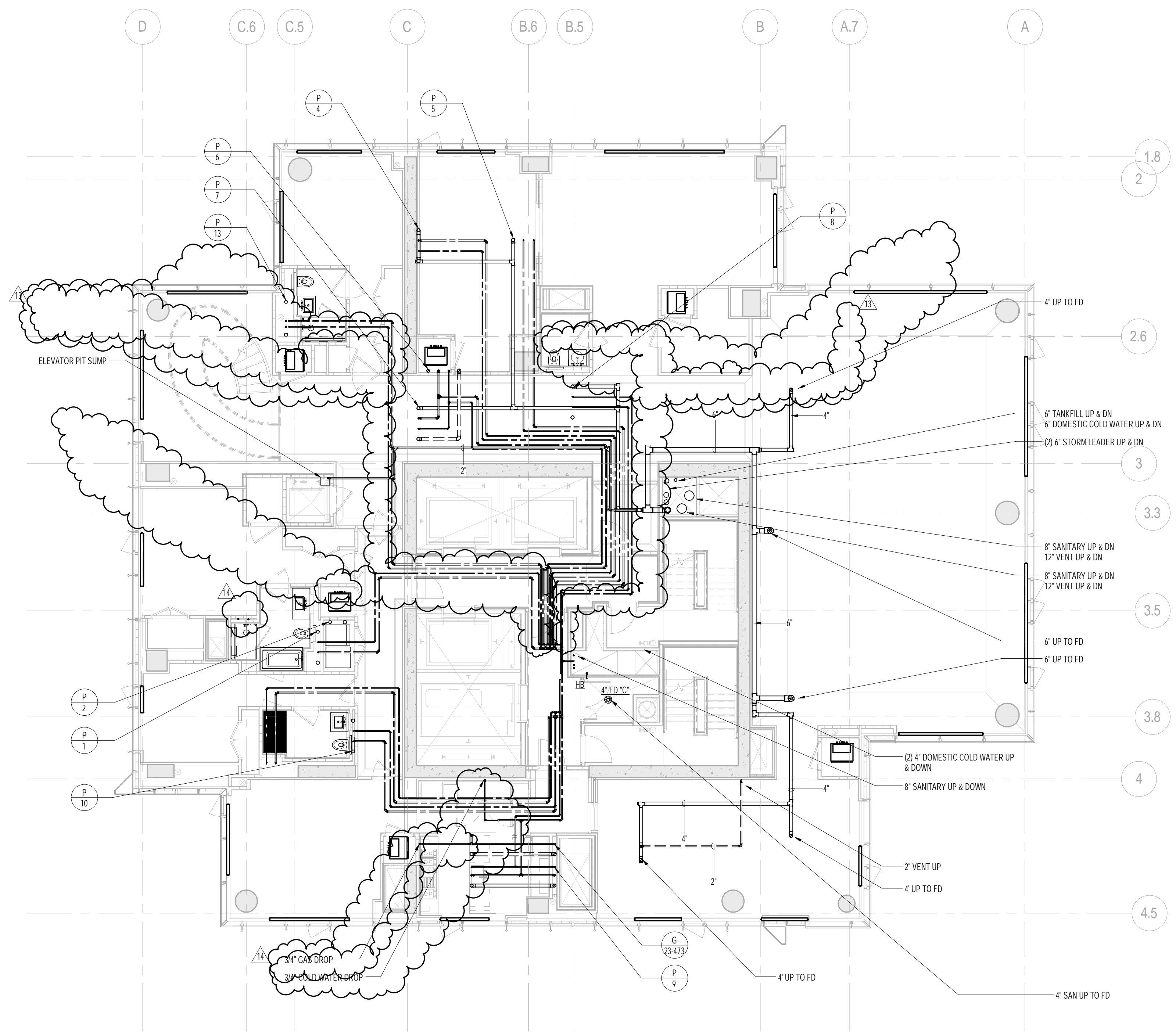
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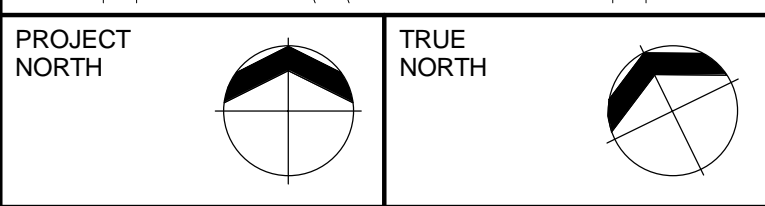
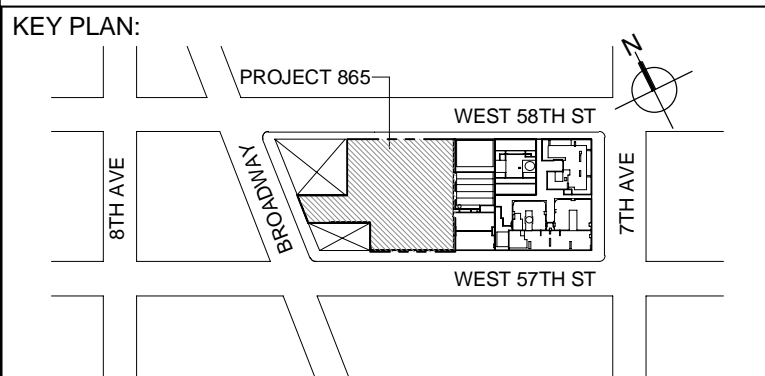




2 90th FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 89th FLOOR PLAN
SCALE: 1/8" = 1'-0"



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
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111 WEST MONROE STREET SUITE 2300
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INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJA ARCHITECTS, P.C.
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STRUCTURAL ENGINEERS:
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MEP ENGINEERS:
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One Liberty Plaza, 165 Broadway, 22nd Floor
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LANDMARK/PRESERVATION CONSULTANT:
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39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	21 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - PLUMBING	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	29 MAR 2015
8	CD PROGRESS ISSUE 5	10 AUG 2015
9	DOB AMENDMENT 2	18 SEP 2015
10	CD PROGRESS ISSUE 6	30 NOV 2015
11	CD PROGRESS ISSUE 7	29 JAN 2016
12	CD PROGRESS ISSUE 8 - CMP SET	18 MAR 2016
13	CD BULLETIN ISSUE 3	25 MAY 2016
14	CD BULLETIN ISSUE 7	14 SEPT 2016
15	DOB AMENDMENT 3	03 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

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CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
Website: www.akfgroup.com

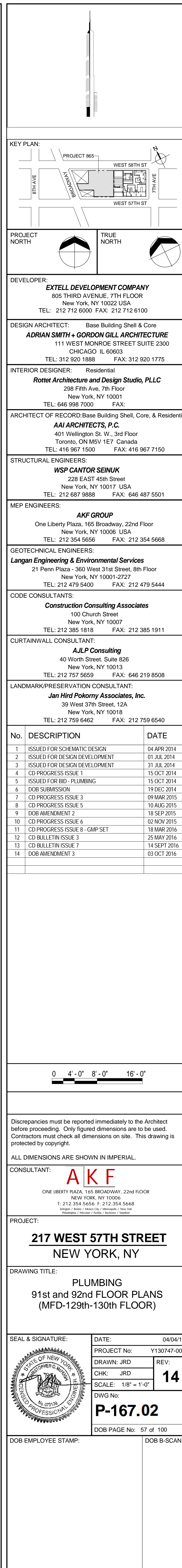
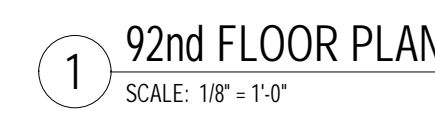
PROJECT:
217 WEST 57TH STREET
NEW YORK, NY

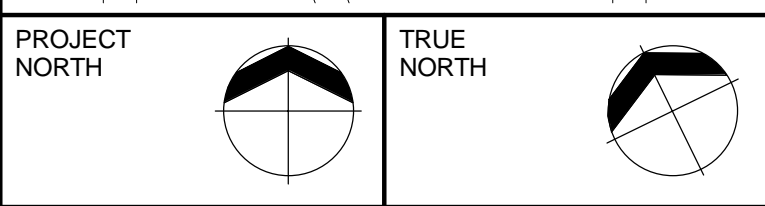
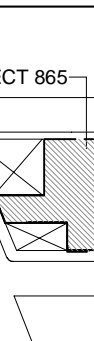
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PLUMBING
89th and 90th FLOOR PLANS
(MFD-127th-128th FLOOR)

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	DRAWN: JRD	REV:
	CHK: JRD	15
	SCALE: 1/8" = 1'-0"	
DWG No:	P-166.02	

DOB PAGE No: 56 of 100

DOB EMPLOYEE STAMP: DOB S-SCAN:





DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

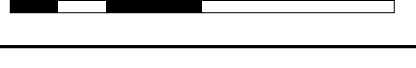
ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAJ ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

MEP ENGINEERS:

AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
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TEL: 212 354 5656 FAX: 212 354 5668

CODE CONSULTANTS:
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New York, NY 10007
TEL: 212 385 1818 FAX: 212 385 1911

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540




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CONSULTANT: **AKF**

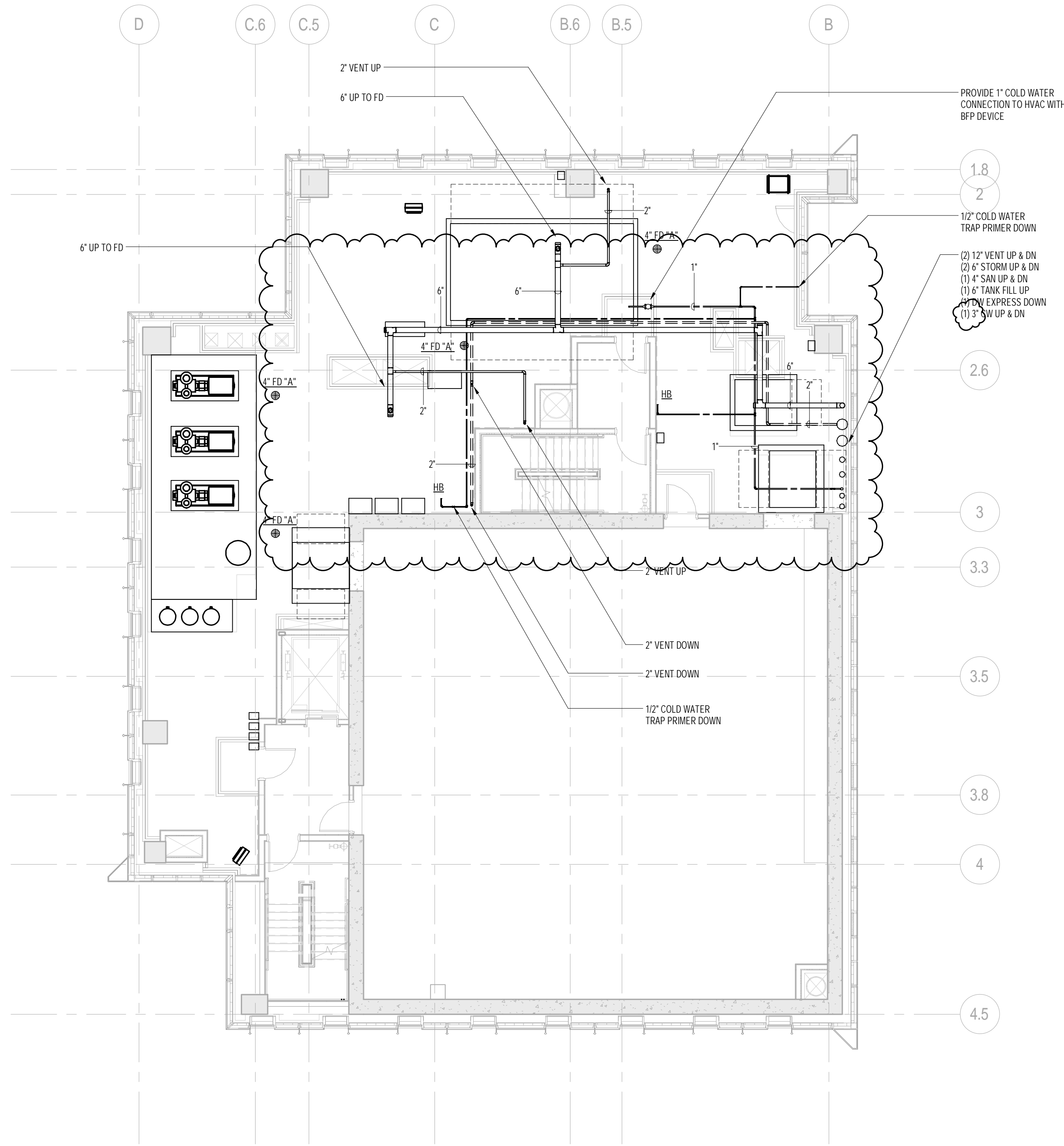
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

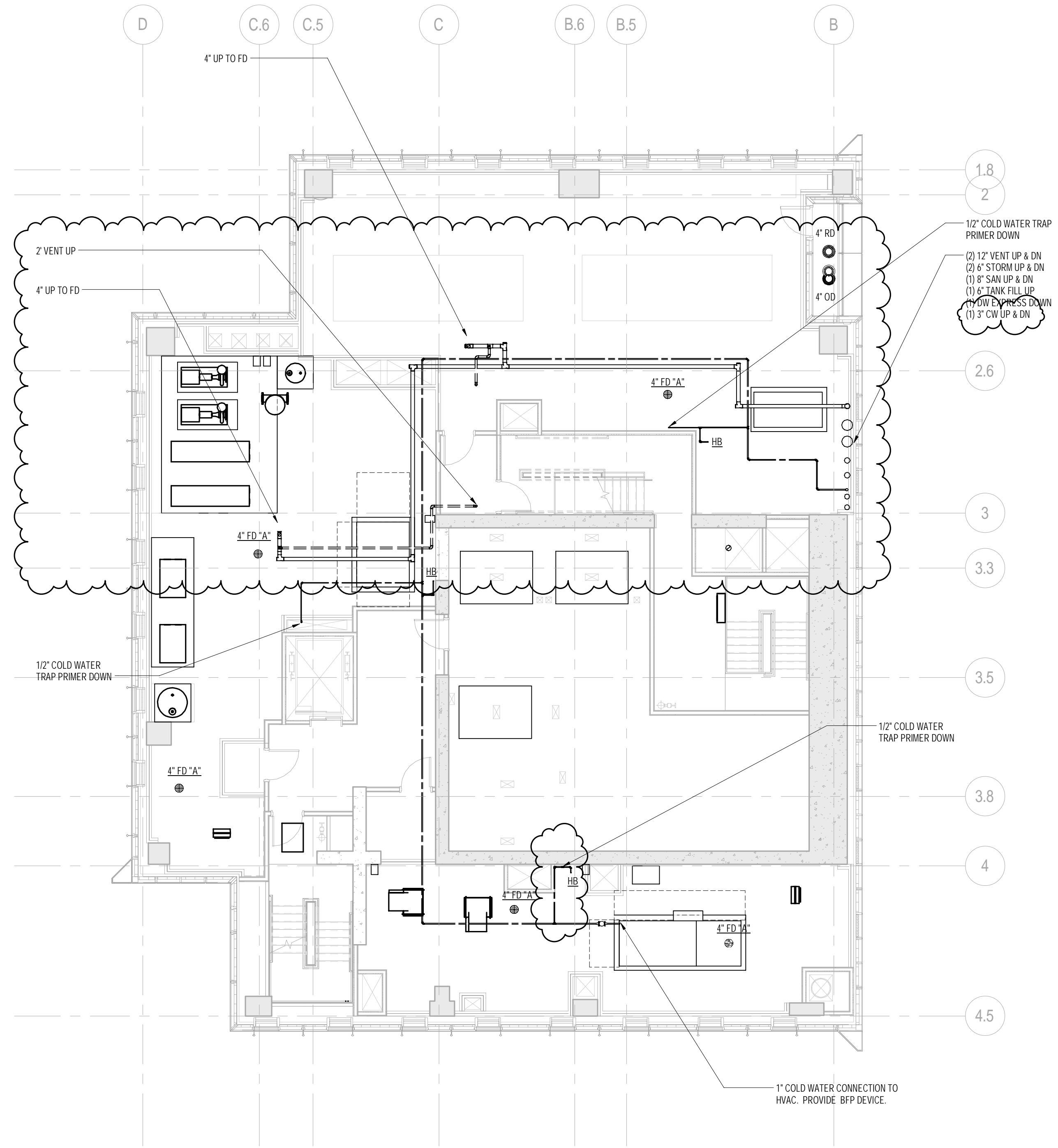
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	PROJECT No: Y130747-000

DOB PAGE No: 58 of 100	
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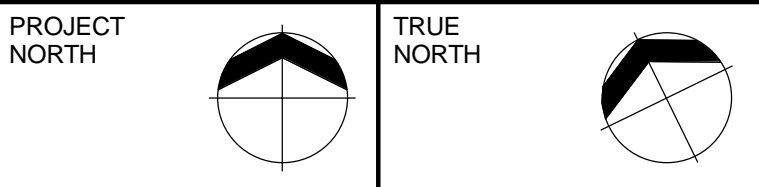
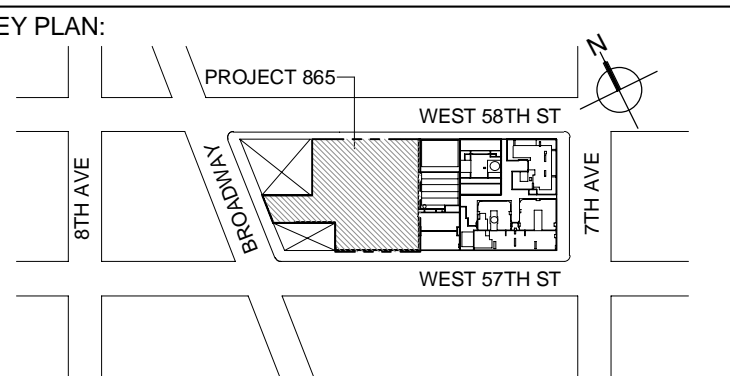
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2 96th FLOOR PLAN
SCALE: 1/8" = 1'-0"



1 95th FLOOR PLAN
SCALE: 1/8" = 1'-0"



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60603
TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
238 Fifth Ave, 7th Floor
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TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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401 Wellington St., W., 3rd Floor
Toronto, ON M5V 1E7 Canada
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No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - PLUMBING	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 5	10 AUG 2015
8	DOB AMENDMENT 2	18 SEP 2015
9	CD PROGRESS ISSUE 6	02 NOV 2015
10	CD PROGRESS ISSUE B: CMP SET	18 MAR 2016
11	DOB AMENDMENT 3	03 OCT 2016

0 4' - 0" 8' - 0" 16' - 0"

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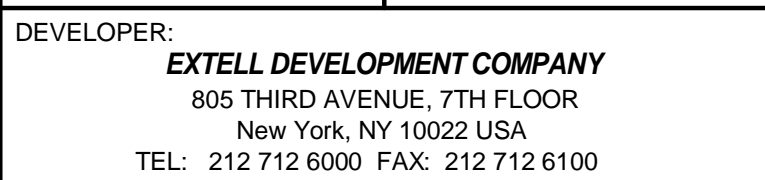
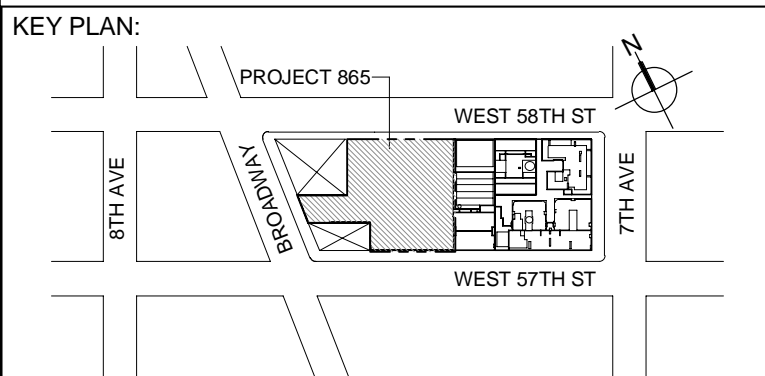
CONSULTANT: **AKF**
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
Website: www.akfgroup.com Email: info@akfgroup.com

PROJECT: **217 WEST 57TH STREET**
NEW YORK, NY

DRAWING TITLE: **PLUMBING**
95th and 96th FLOOR PLANS
(MFD-133rd-134th FLOOR)

SEAL & SIGNATURE:	DATE: 04/04/14
	PROJECT No: Y130747-000
	DRAWN: JRD
	CHK: JRD
	SCALE: 1/8" = 1'-0"
DWG No:	REV: 11
DOB PAGE No: 59 of 100	P-169.02

DOB EMPLOYEE STAMP: DOB 6-SCAN:



DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAJ ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
WSP CANTOR SEINUK
228 EAST 45th Street
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TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:

AKF GROUP
One Liberty Plaza, 165 Broadway, 22nd Floor
New York, NY 10006 USA
TEL: 212 354 5656 FAX: 212 354 5668

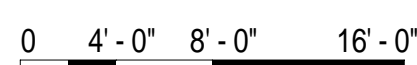
GEOTECHNICAL ENGINEERS:
Langan Engineering & Environmental Services
21 Penn Plaza - 360 West 31st Street, 8th Floor
New York, NY 10001-2727
TEL: 212 479 5400 FAX: 212 479 5444

CODE CONSULTANTS:
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100 Church Street
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New York, NY 10013
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
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TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - PLUMBING	15 OCT 2014
6	BID SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 5	10 AUG 2015
8	DOB AMENDMENT 2	18 SEP 2015
9	CD PROGRESS ISSUE 6	02 NOV 2015
10	CD PROGRESS ISSUE 7	29 JAN 2016
11	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
12	DOB AMENDMENT 3	03 OCT 2016



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T: 212.354.5656 F: 212.354.5668
Atlanta / Boston / Chicago / Dallas / Denver / New York
Philadelphia / Portland / Raleigh / Rochester / Seattle

PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

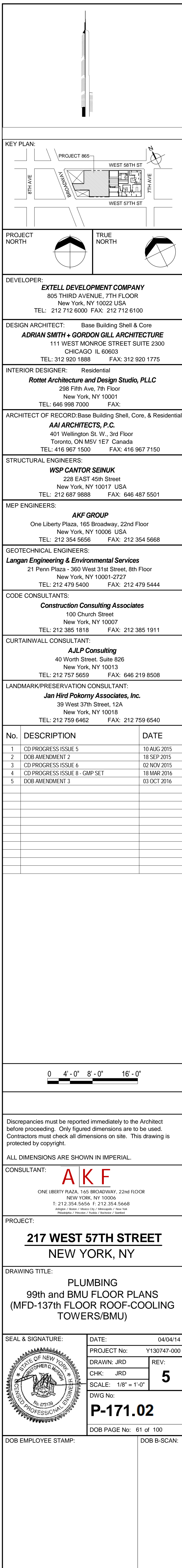
PLUMBING
97th and 98th FLOOR PLANS
(MFD-135th-136th FLOOR)

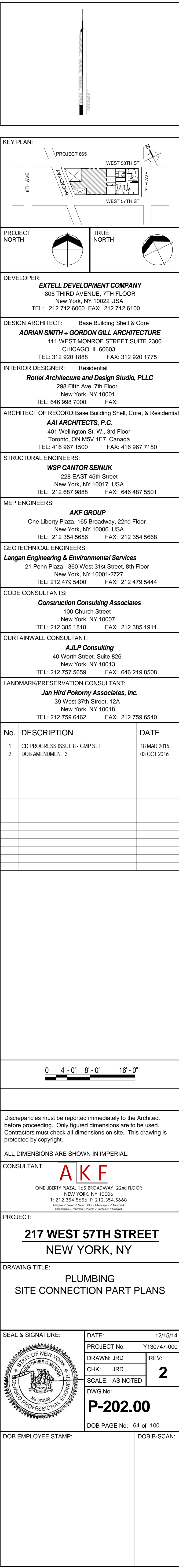
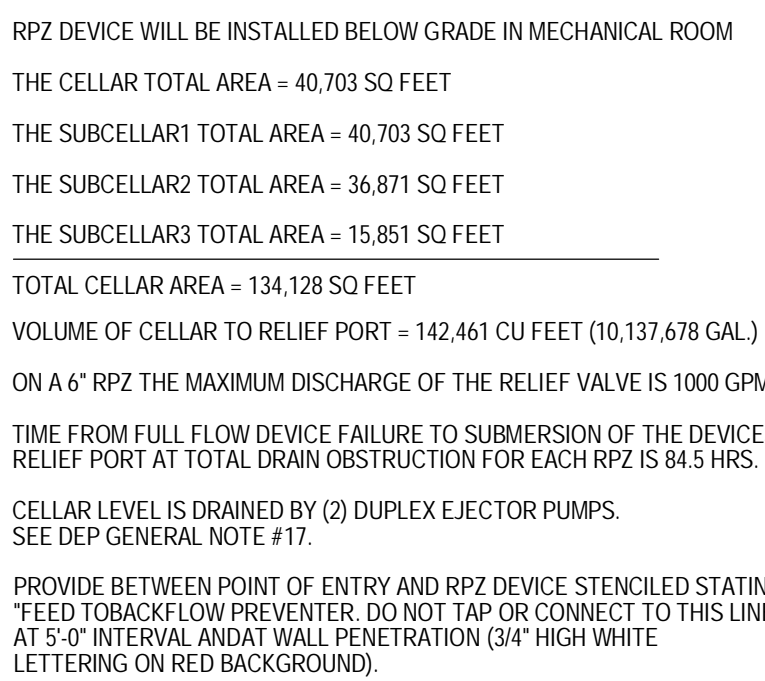
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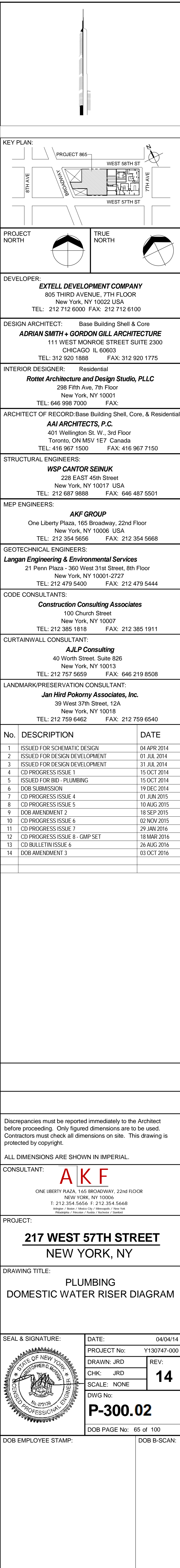
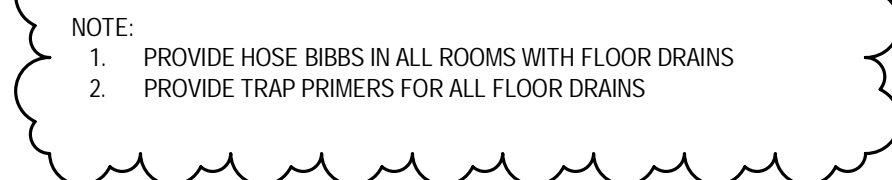
The seal is circular with a double-lined border. The outer ring contains the text "STATE OF NEW YORK" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom, separated by stars. The inner circle features a central emblem of a beaver on a rock, with the words "GOODWILL" and "MINISTRY" on either side. Below the emblem is the number "No. 07120".

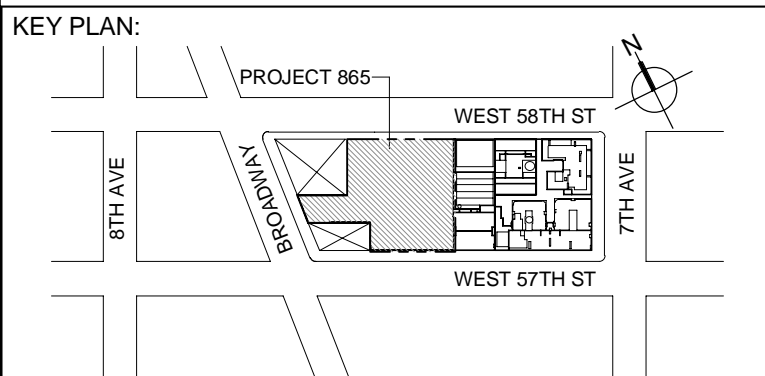
DATE: 04/04/14	
PROJECT No: Y130747-000	
DRAWN: JRD	REV:
CHK: JRD	12
SCALE: 1/8" = 1'-0"	
DWG No:	
P-170.02	
DOB PAGE No: 60 of 100	

DOB EMPLOYEE STAMP:		DOB B-SCAN:
---------------------	--	-------------









DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotter Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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TEL: 212 759 6462 FAX: 212 759 6540

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Philadelphia / Phoenix / Portland / Rochester / Seattle


PROJECT:


217 WEST 57TH STREET
NEW YORK, NY


DRAWING TITLE:

PLUMBING
DOMESTIC WATER RISER DIAGRAM

SEAL & SIGNATURE:	DATE:	04/04/14
-------------------	-------	----------

	PROJECT No: Y130747-000	
	DRAWN: JRD	REV:

	CHK: JRD	14
	SCALE: NONE	



DWG No:
P-301.02

DOB PAGE No: 66 of 100	
DOB EMPLOYEE STAMP:	DOB B-SCAN:

[illegible]

24TH FLOOR

467'-0"

23RD FLOOR

455'-2"

22ND FLOOR

443'-4"

21ST FLOOR

431'-6"

20TH FLOOR

415'-4"

19TH FLOOR

399'-6"

18TH FLOOR

387'-8"

17TH FLOOR

375'-10"

16TH FLOOR

364'-0"

15TH FLOOR

352'-2"

14TH FLOOR

340'-4"

13TH FLOOR

328'-6"

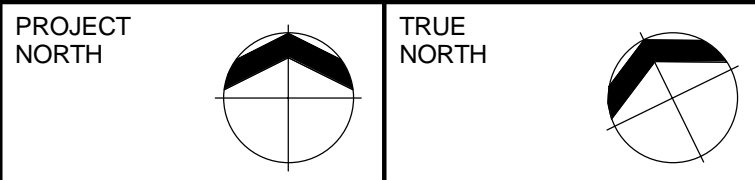
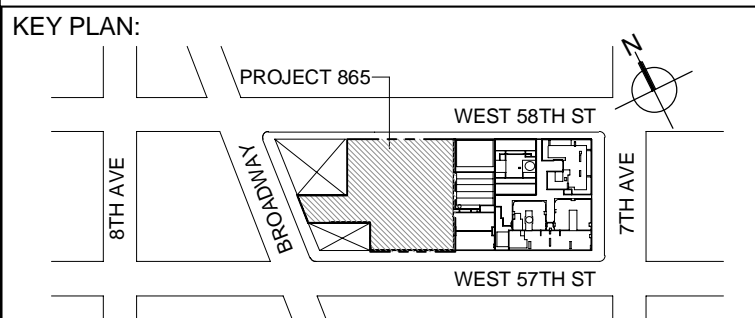
12TH FLOOR

293'-0"

11TH FLOOR

279'-0"

- NOTE:
1. PROVIDE HOSE BIBBS IN ALL ROOMS WITH FLOOR DRAINS
 2. PROVIDE TRAP PRIMERS FOR ALL FLOOR DRAINS



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
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DESIGN ARCHITECT: Base Building Shell & Core
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111 WEST MONROE STREET SUITE 2300
CHICAGO, IL 60663
TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
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TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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LANDMARK/PRESERVATION CONSULTANT:
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TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - PLUMBING	15 OCT 2014
6	CD PROGRESS ISSUE 2	19 DEC 2014
7	DOB SUBMISSION	01 JAN 2015
8	CD PROGRESS ISSUE 3	10 AUG 2015
9	DOB AMENDMENT 1	18 SEP 2015
10	CD PROGRESS ISSUE 4	02 NOV 2015
11	CD PROGRESS ISSUE 5 - GMP SET	18 MAR 2016
12	CD BULLETIN ISSUE 1	25 MAY 2016
13	CD BULLETIN ISSUE 2	15 JUL 2016
14	DOB AMENDMENT 2	03 OCT 2016

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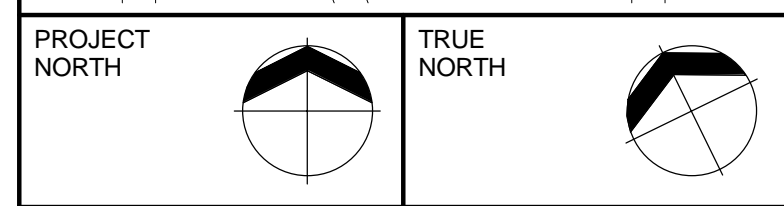
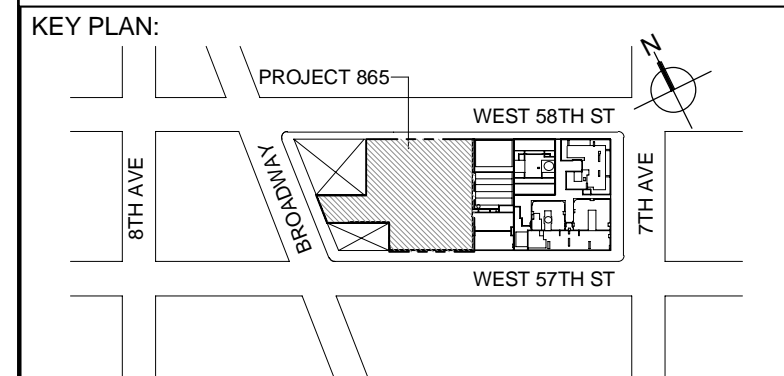
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT:
AKF
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd FLOOR
NEW YORK, NY 10006
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Website: www.akfgroup.com

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**PLUMBING
DOMESTIC WATER RISER DIAGRAM**

SEAL & SIGNATURE:	DATE: 04/04/14
	PROJECT No: Y130747-000
	DRAWN: JRD
	CHK: JRD
	SCALE: NONE
DWG No:	P-302.02
DOB PAGE No: 67 of 100	
DOB EMPLOYEE STRAMP:	DOB S-SCAN:



DEVELOPER: **EXTELL DEVELOPMENT COMPANY**
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 925 1000 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rotet Architecture and Design Studio, PLLC
288 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJ ARCHITECTS, P.C.
401 Wellington St., W. 3rd Floor
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TEL: 416 967 1500 FAX: 416 967 7150

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21 Persh Place - 360 West 37th Street, 8th Floor
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Construction Consulting Associates
100 Church Street
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CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - PLUMBING	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 4	01 JUN 2015
9	CD PROGRESS ISSUE 5	10 AUG 2015
10	DOB AMENDMENT 1	15 SEP 2015
11	CD PROGRESS ISSUE 6	02 NOV 2015
12	CD PROGRESS ISSUE 7	29 JAN 2016
13	CD PROGRESS ISSUE 8 - CAMP SET	10 MAR 2016
14	CD BULLETIN ISSUE 4	15 JUL 2016
15	DOB AMENDMENT 3	03 OCT 2016

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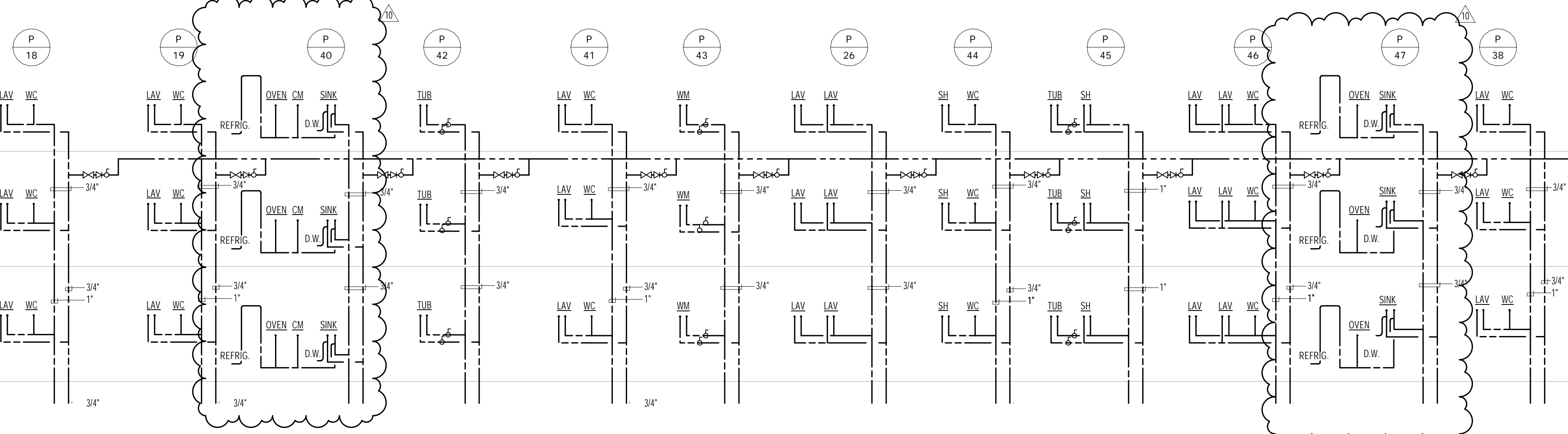
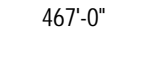
ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

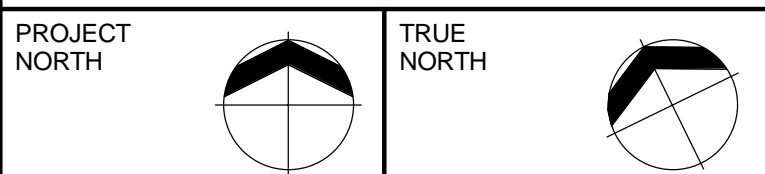
CONSULTANT: **AKF**
ONE LIBERTY PLAZA, 165 BROADWAY, 22nd Floor
NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
Website: www.akfgroup.com Email: info@akfgroup.com

PROJECT: **217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE: **PLUMBING
DOMESTIC WATER RISER DIAGRAM**

SEAL & SIGNATURE: [Signature] DATE: 04/04/14
PROJECT No: Y130747-000
DRAWN: JRD REV: 15
CHK: JRD
SCALE: NONE
DWG No: **P-303.02**
DOB PAGE No: 68 of 100
DOB EMPLOYEE STAMP: [Stamp] DOB 5-SCAN:





DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
Rottet Architecture and Design Studio, PLLC
298 Fifth Ave, 7th Floor
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TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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228 EAST 45th Street
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New York, NY 10001-2727
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CODE CONSULTANTS:
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TEL: 212 385 1818 FAX: 212 385 1911

CURTAINWALL CONSULTANT:
AJLP Consulting
40 Worth Street, Suite 826
New York, NY 10013
TEL: 212 757 5659 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
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6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 5	10 AUG 2015
9	DOB AMENDMENT 2	18 SEP 2015
10	CD PROGRESS ISSUE 6	02 NOV 2015
11	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
12	CD BULLETIN ISSUE 4	15 JUL 2016
13	DOB AMENDMENT 3	03 OCT 2016

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Atlanta / Boston / Miami City / Minneapolis / New York

PROJECT:


217 WEST 57TH STREET
NEW YORK, NY


DRAWING TITLE:


PLUMBING
DOMESTIC WATER RISER DIAGRAM

SEAL & SIGNATURE:	DATE:	04/04/14
-------------------	-------	----------

PROJECT No: Y130747-000

	DRAWN: JRD	REV:

	CHK: JRB	13
	SCALE: NONE	

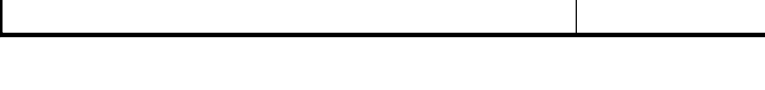
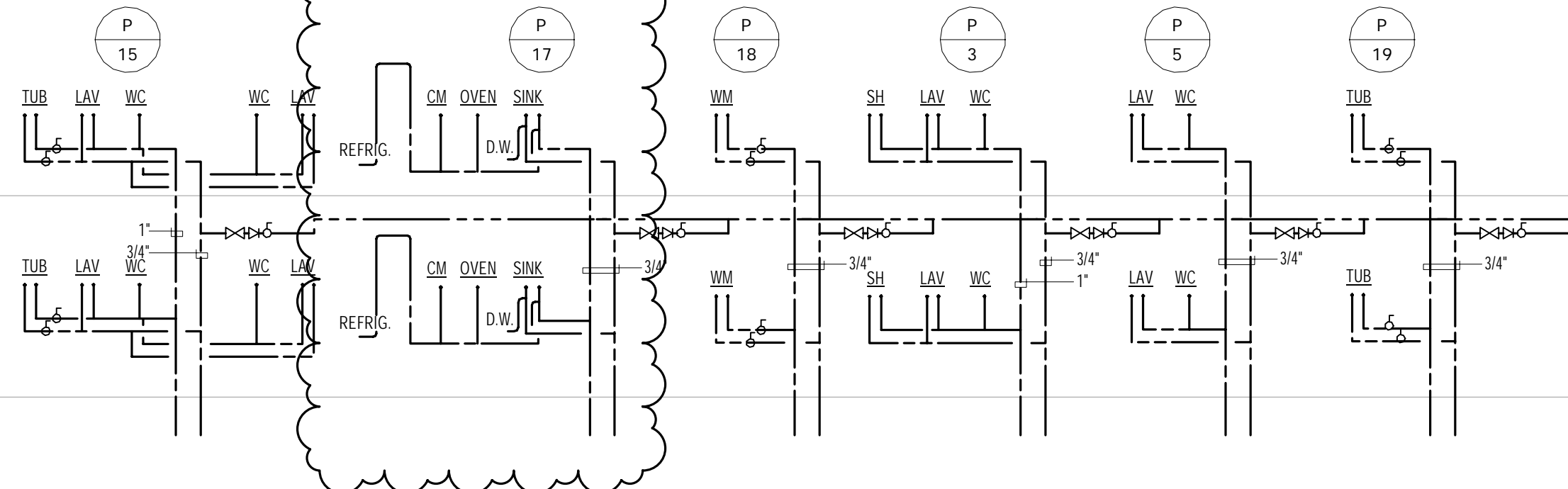
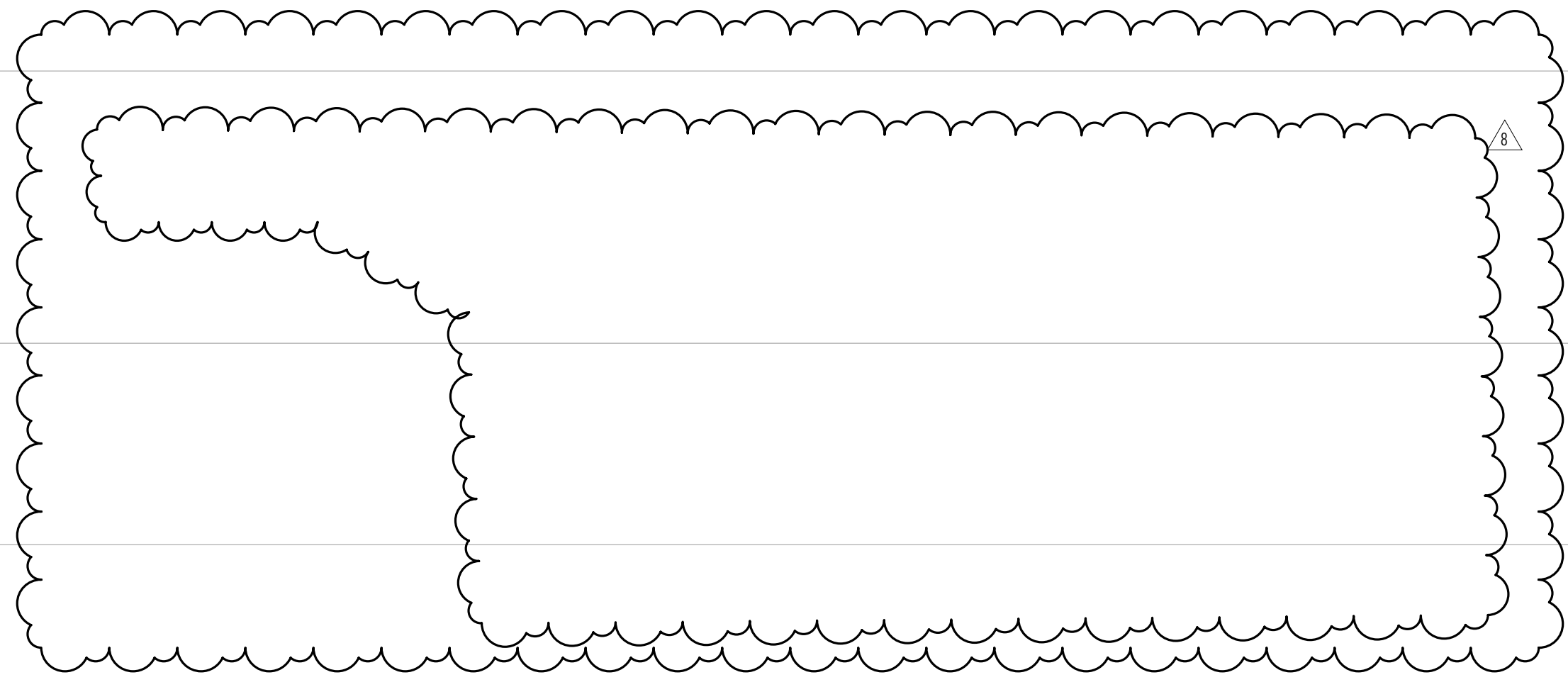
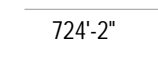


D/WG No:


P-305 02

	SCORE

DOB EMPLOYEE STAMP:		DOB B-SCAN:
---------------------	--	-------------





NOTE:

1. PROVIDE HOSE BIBBS IN ALL ROOMS WITH FLOOR DRAINS
2. PROVIDE TRAP PRIMERS FOR ALL FLOOR DRAINS

81ST FLOOR

1244'-2"

80TH FLOOR

1231'-4"

79TH FLOOR

1218'-6"

78TH FLOOR

1205'-8"

77TH FLOOR

1192'-10"

76TH FLOOR

1180'-0"

75TH FLOOR

1167'-2"

74TH FLOOR

1154'-2"

73RD FLOOR

1141'-6"

72ND FLOOR

1128'-8"

71ST FLOOR

1115'-10"

70TH FLOOR

1099'-10"

69TH FLOOR

1083'-10"

68TH FLOOR

1067'-10"

67TH MEZZ

67TH FLOOR

1035'-10"

66TH FLOOR

1019'-10"

65TH FLOOR

1007'-0"

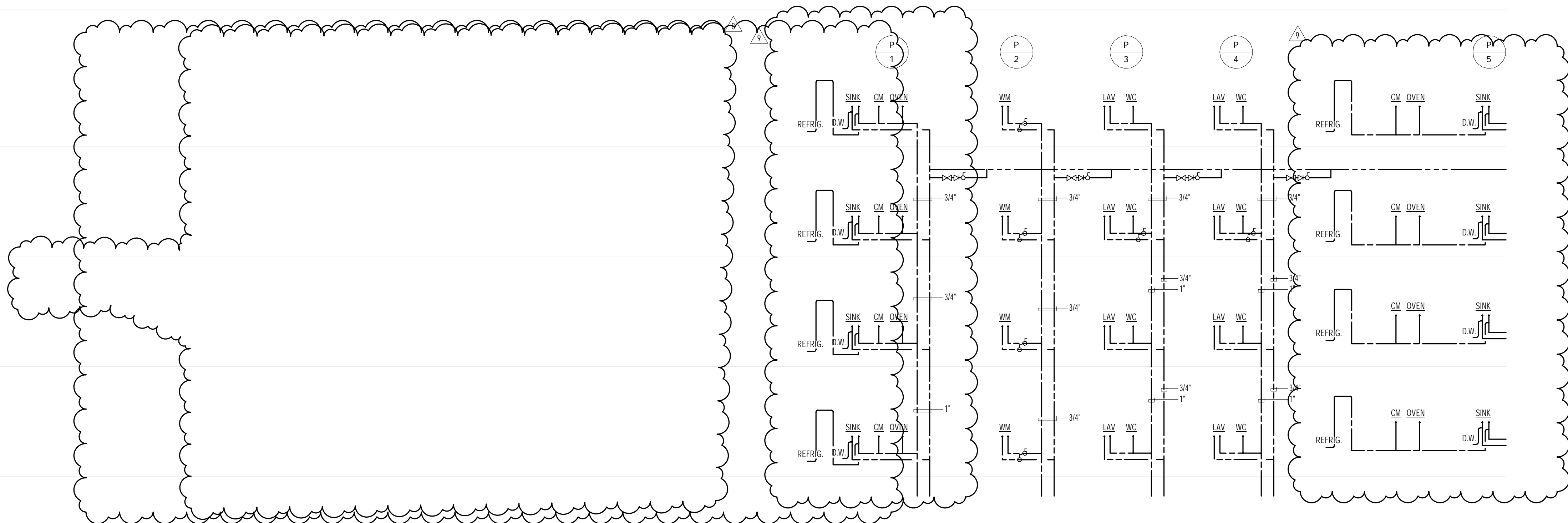
64TH FLOOR

994'-2"

63RD FLOOR

981'-4"

NOTE:
1. PROVIDE HOSE BIBBS IN ALL ROOMS WITH FLOOR DRAINS
2. PROVIDE TRAP PRIMERS FOR ALL FLOOR DRAINS



DEPT OF BLDGS

ESTB

SEAL

DEPT OF BLDGS

ESTB

SEAL

KEY PLAN

PROJECT M55

WEST 57TH ST

WEST 58TH ST

7TH AVE

8TH AVE

PROJECT NORTH

TRUE NORTH

DEVELOPER

EXTELL DEVELOPMENT COMPANY

805 THIRD AVENUE, 7TH FLOOR

NEW YORK, NY 10022 USA

TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT

Base Building Shell & Core

ADRIAN SMITH + GORDON GILL ARCHITECTURE

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TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER

Residential

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ARCHITECT OF RECORD

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39 West 37th Street, 12A

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TEL: 212 759 6462 FAX: 212 759 6540

No.

DESCRIPTION

DATE

1

CD PROGRESS ISSUE 1

15 OCT 2014

2

ISSUED FOR BID - PLUMBING

15 OCT 2014

3

DOB SUBMISSION

19 DEC 2014

4

CD PROGRESS ISSUE 5

30 AUG 2015

5

DOB AMENDMENT 2

18 SEP 2015

6

CD PROGRESS ISSUE 6

02 NOV 2015

7

CD PROGRESS ISSUE 8 - CMP SET

18 MAR 2016

8

CD BULLETIN ISSUE 3

25 MAY 2016

9

CD BULLETIN ISSUE 4

15 JUL 2016

10

DOB AMENDMENT 3

03 OCT 2016

0

4'-0"

8'-0"

16'-0"

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CONSULTANT:

AKF

ONE LIBERTY PLAZA, 165 BROADWAY, 22ND FLOOR

NEW YORK, NY 10006

T: 212 354 5656 F: 212 354 5668

Website: www.akfgroup.com Email: info@akfgroup.com

PROJECT:

217 WEST 57TH STREET

NEW YORK, NY

DRAWING TITLE:

PLUMBING

DOMESTIC WATER RISER DIAGRAM

SEAL & SIGNATURE:

DATE:

10/15/14

PROJECT No:

Y130747-000

DRAWN: JRD

REV:

CHK: JRD

10

SCALE: NONE

DWG No:

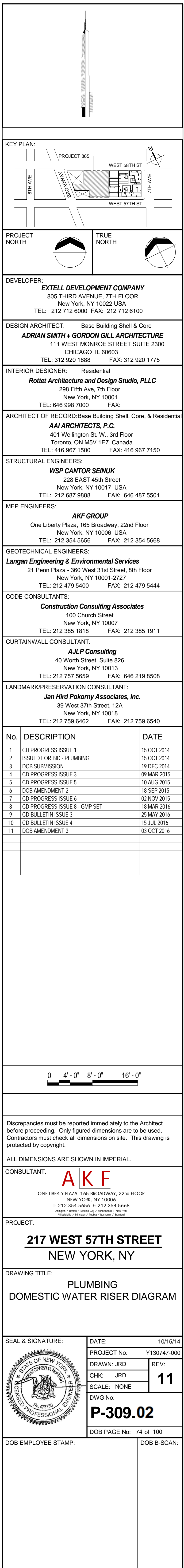
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DOB PAGE No:

73 of 100

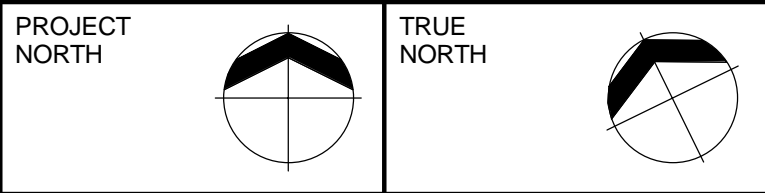
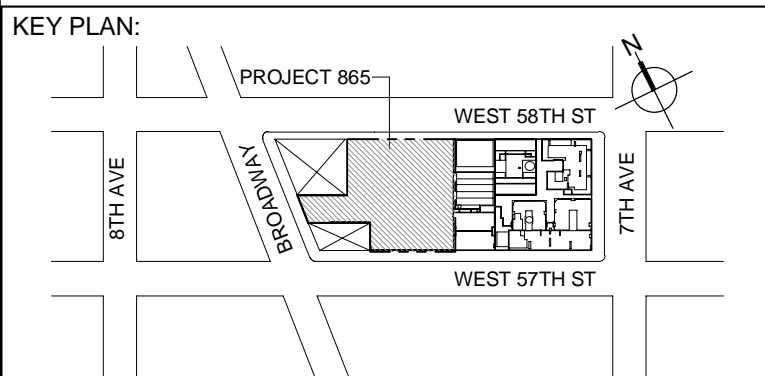
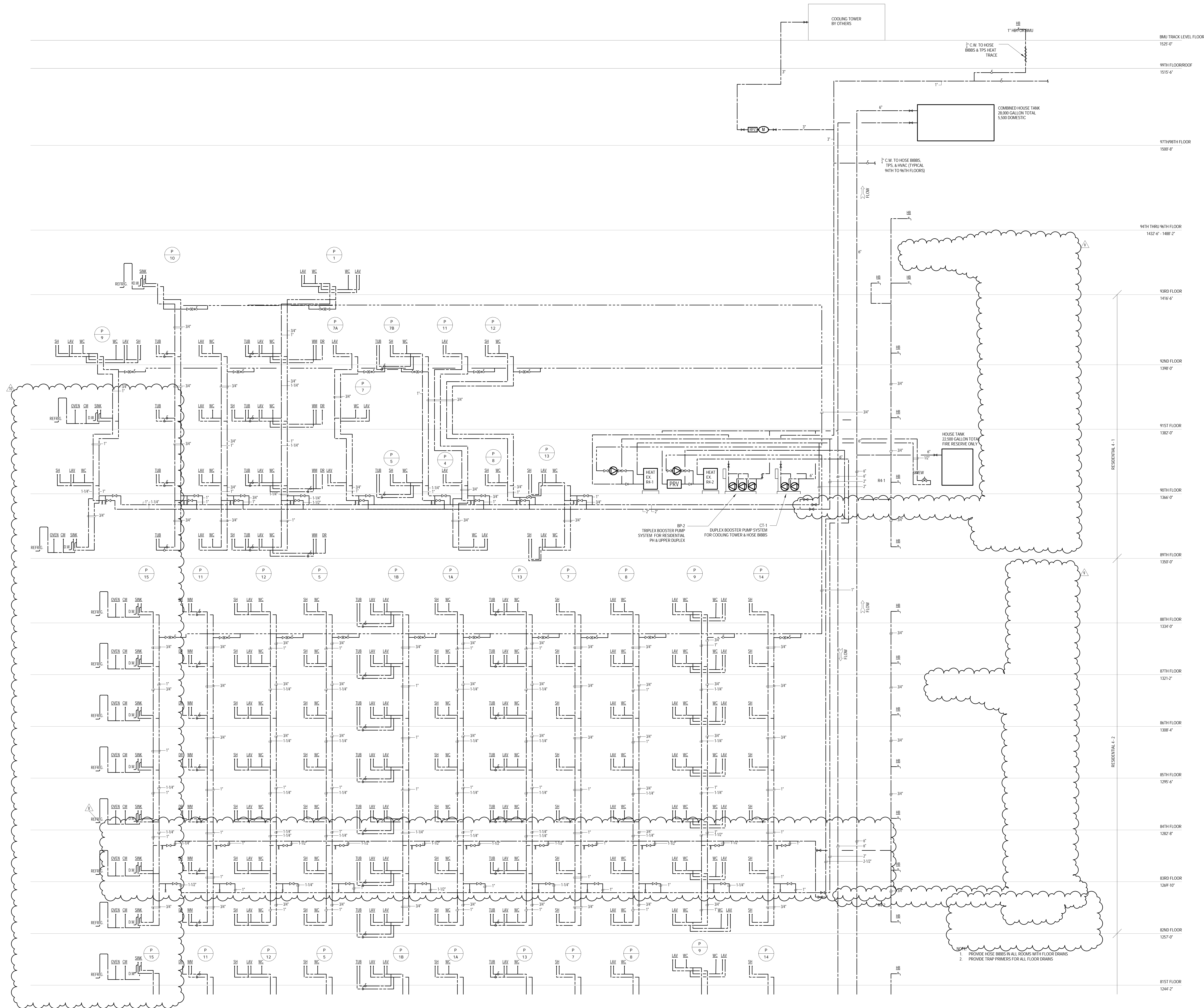
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DOB S-SCAN:



		DOB PAGE No: 74 of 100	
DOB EMPLOYEE STAMP:			DOB B-SCAN:

COMBINED HOUSE TANK
31,00 GALLON TOTAL
8,000 DOMESTIC



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60663
TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER: Residential
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288 Fifth Ave, 7th Floor
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ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
New York, NY 10018
TEL: 212 759 6462 FAX: 212 759 6540

No.	DESCRIPTION	DATE
1	CD PROGRESS ISSUE 1	15 OCT 2014
2	ISSUED FOR BID - PLUMBING	15 OCT 2014
3	DOB SUBMISSION	19 DEC 2014
4	CD PROGRESS ISSUE 3	09 MAR 2015
5	CD PROGRESS ISSUE 5	10 AUG 2015
6	DOB AMENDMENT 2	18 SEP 2015
7	CD PROGRESS ISSUE 6	02 NOV 2015
8	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
9	CD BULLETIN ISSUE 1	25 MAY 2016
10	CD BULLETIN ISSUE 4	15 JUL 2016
11	DOB AMENDMENT 3	03 OCT 2016

0 4'-0" 8'-0" 16'-0"

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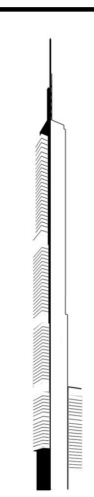
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NEW YORK, NY 10006
T: 212 354 5656 F: 212 354 5668
Website: www.akfgroup.com Email: info@akfgroup.com

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**PLUMBING
DOMESTIC WATER RISER DIAGRAM**

SEAL & SIGNATURE: [Signature]
DATE: 10/15/14
PROJECT No: Y130747-000
DRAWN: JRD
CHK: JRD
SCALE: NONE
DWG No: **P-311.02**
DOB PAGE No: 75 of 100
DOB EMPLOYEE STAMP: [Stamp]
DOB 5-SCAN:



PROJECT NORTH		TRUE NORTH	
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DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
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DESIGN ARCHITECT: Base Building Shell & Core
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 111 WEST MONROE STREET SUITE 2300
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LANDMARK/PRESERVATION CONSULTANT:
Jan Hird Pokorny Associates, Inc.
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No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - PLUMBING	15 OCT 2014
6	ISSUED FOR FILING	25 NOV 2014
7	DOB SUBMISSION	19 DEC 2014
8	CD PROGRESS ISSUE 3	09 MAR 2015
9	CD PROGRESS ISSUE 4	01 JUN 2015
10	CD PROGRESS ISSUE 5	10 AUG 2015
11	DOB AMENDMENT 2	18 SEP 2015
12	CD PROGRESS ISSUE 6	02 NOV 2015
13	CD PROGRESS ISSUE 7	29 JAN 2016
14	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
15	CD BULLETIN ISSUE 6	26 AUG 2016
16	DOB AMENDMENT 3	03 OCT 2016

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Atlanta / Boston / Chicago / Dallas / Denver / New York
Philadelphia / Phoenix / Portland / San Francisco / Seattle

PROJECT:

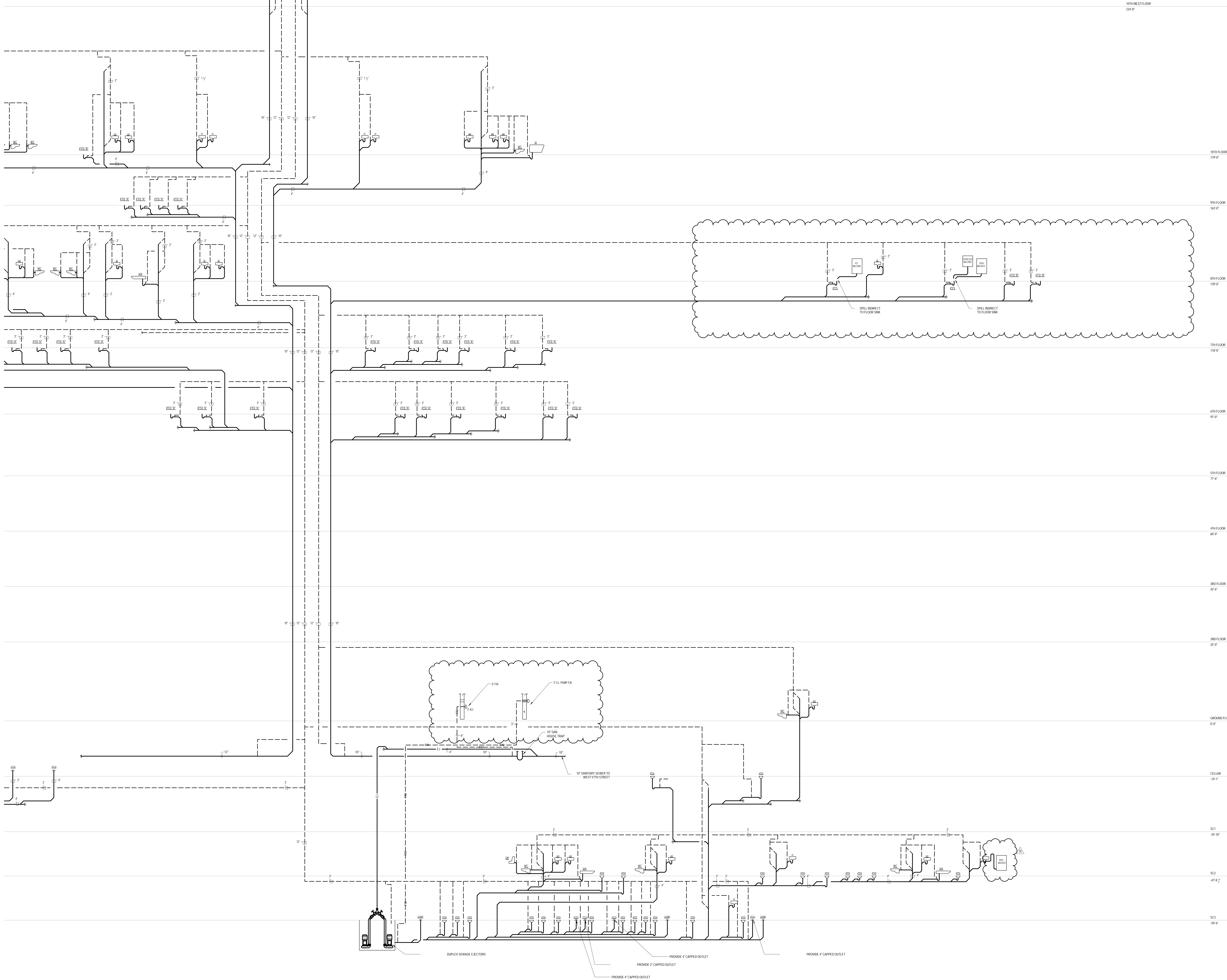
217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

PLUMBING
SANITARY RISER DIAGRAM

	DATE: 04/04/14	
	PROJECT No: Y130747-000	
	DRAWN: JRD	REV:
	CHK: JRD	16
	SCALE: NONE	
DWG No: P-312.02		

FOR EMPLOYEE STAMP: _____ DOB R SCAN: _____



DEPT OF BUILDINGS

Job Number: E52072565

Sheet Code:

10TH MEZZ FLOOR
234'-0"

10TH FLOOR
174'-0"

9TH FLOOR
162'-0"

8TH FLOOR
139'-0"

7TH FLOOR
118'-0"

6TH FLOOR
97'-0"

5TH FLOOR
74'-0"

4TH FLOOR
62'-0"

3RD FLOOR
42'-0"

2ND FLOOR
21'-0"

GROUND FLOOR
0'-0"

CELLAR
-18'-0"

SC1
-35'-10"

SC2
-47'-8"

SC3
-58'-0"

KEY PLAN:

PROJECT 1601 - WEST 57TH ST

7TH AVE
6TH AVE
5TH AVE
4TH AVE
3RD AVE
2ND AVE
1ST AVE

TRUE NORTH

DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
New York, NY 10022 USA
TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT:
Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60663
TEL: 312 925 1888 FAX: 312 920 1775

INTERIOR DESIGNER:
Residential
Rottet Architecture and Design Studio, PLLC
238 Fifth Ave, 7th Floor
New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AJAJ ARCHITECTS, P.C.
401 Wellington St., 3rd Floor
Toronto, ON M5V 1E7 Canada
TEL: 416 967 1500 FAX: 416 967 7150

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MEP ENGINEERS:
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21 Penn Plaza - 360 West 37th Street, 8th Floor
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CODE CONSULTANTS:
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TEL: 212 757 5559 FAX: 646 219 8508

LANDMARK/PRESERVATION CONSULTANT:
Jan Hind Pokorny Associates, Inc.
39 West 37th Street, 12A
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No.	DESCRIPTION	DATE
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12	CD PROGRESS ISSUE 6	02 NOV 2015
13	CD PROGRESS ISSUE 7	29 JAN 2016
14	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
15	CD BULLETIN ISSUE 7	14 SEP 2016
16	DOB AMENDMENT 3	03 OCT 2016

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Email: akf@akfgroup.com Website: www.akfgroup.com

PROJECT:
**217 WEST 57TH STREET
NEW YORK, NY**

DRAWING TITLE:
**PLUMBING
SANITARY RISER DIAGRAM**

SEAL & SIGNATURE:

DATE: 04/04/14

PROJECT No: Y130747-000

DRAWN: JRD

CHK: JRD

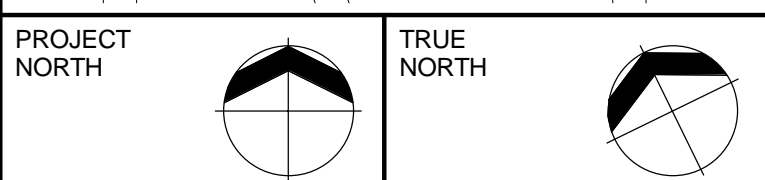
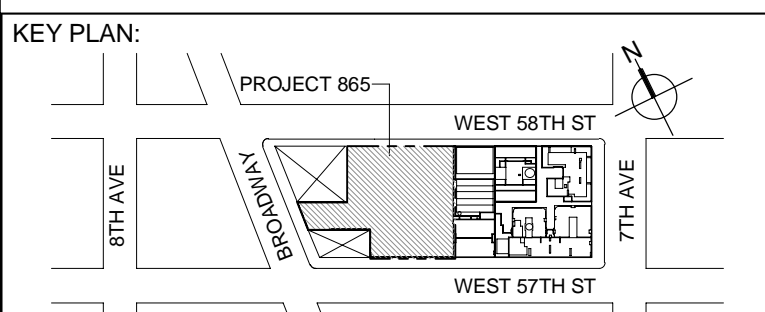
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DWG No: P-313.02

DOB PAGE No: 77 of 100

DOB EMPLOYEE STAMP:

DOB S-SCAN:



DEVELOPER:
EXTELL DEVELOPMENT COMPANY
805 THIRD AVENUE, 7TH FLOOR
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TEL: 212 712 6000 FAX: 212 712 6100

DESIGN ARCHITECT: Base Building Shell & Core
ADRIAN SMITH + GORDON GILL ARCHITECTURE
111 WEST MONROE STREET SUITE 2300
CHICAGO IL 60603
TEL: 312 920 1888 FAX: 312 920 1775

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New York, NY 10001
TEL: 646 998 7000 FAX:

ARCHITECT OF RECORD: Base Building Shell, Core, & Residential
AAI ARCHITECTS, P.C.
 401 Wellington St. W., 3rd Floor
 Toronto, ON M5V 1E7 Canada
 TEL: 416 967 1500 FAX: 416 967 7150

STRUCTURAL ENGINEERS:
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New York, NY 10017 USA
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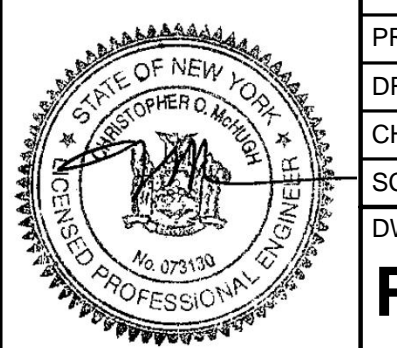
PROJECT:

217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

PLUMBING
SANITARY RISER DIAGRAM

SEAL & SIGNATURE:	DATE:	04/04/14
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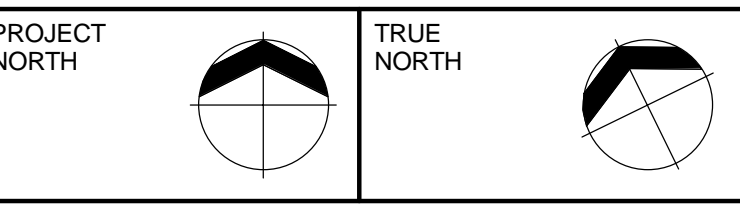
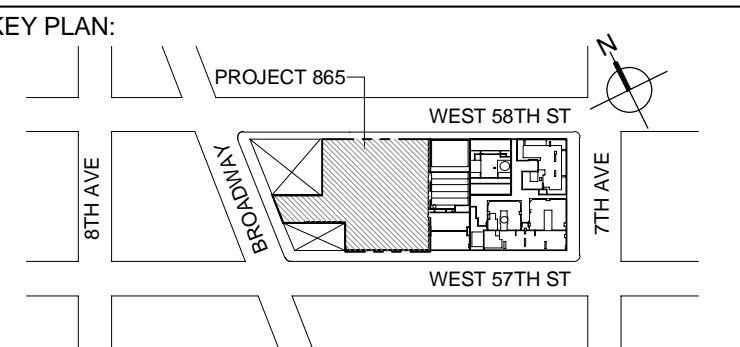
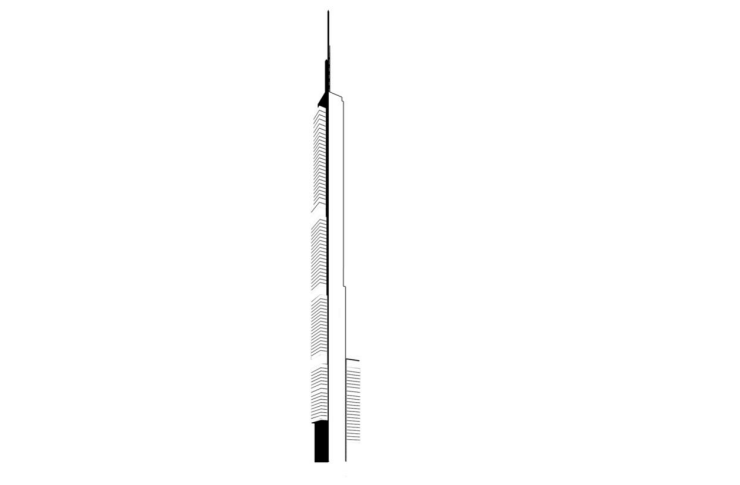


PROJECT No:	Y130747-000
DRAWN: JRD	REV:
CHECK: JRD	13
SCALE: NONE	

WG No: **P-315.02**

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DOB EMPLOYEE STAMP:	DOB B-SCAN:

DOB PAGE No: 79 of 100	
	DOB B-SCAN:



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New York, NY 10017 USA
TEL: 212 687 9888 FAX: 646 487 5501

MEP ENGINEERS:

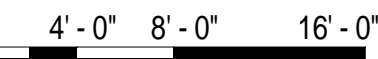
AKF GROUP
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[illegible]

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217 WEST 57TH STREET
NEW YORK, NY


DRAWING TITLE:

PLUMBING
SANITARY RISER DIAGRAM

REAL & SIGNATURE:	DATE:	10/15/14
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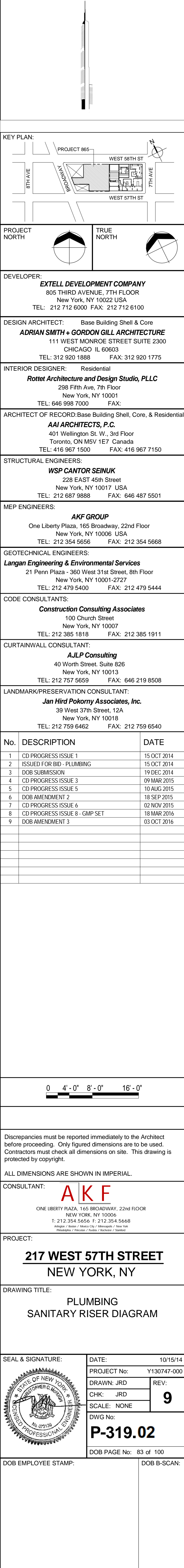
PROJECT No: Y130747-000

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	CHK: JRD	8
	SCALE: NONE	

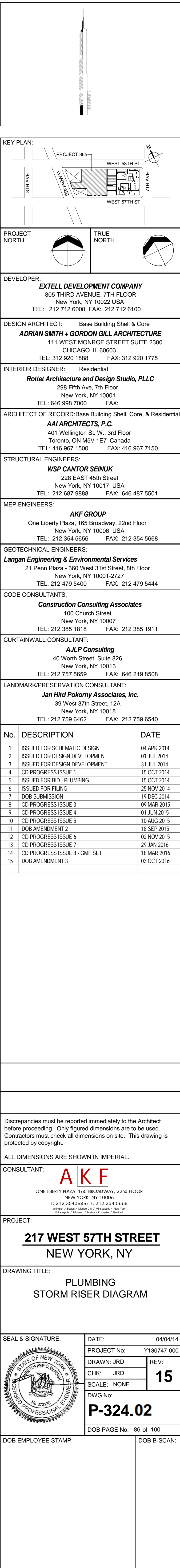
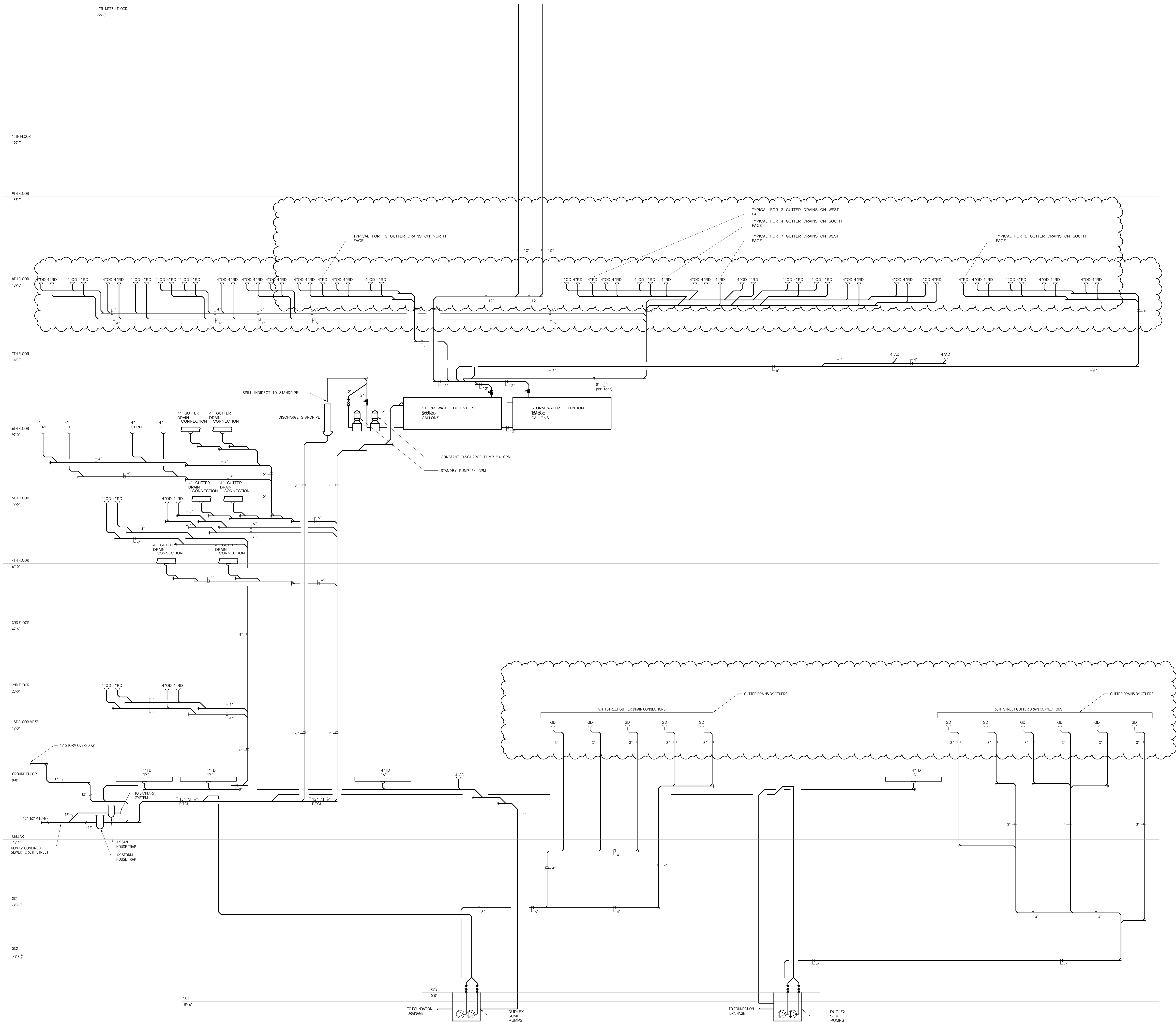


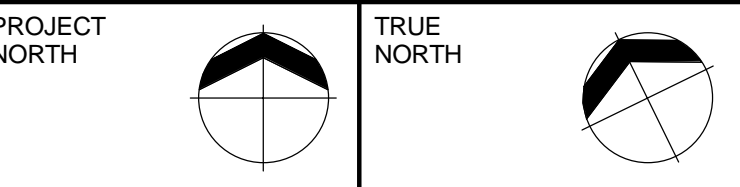
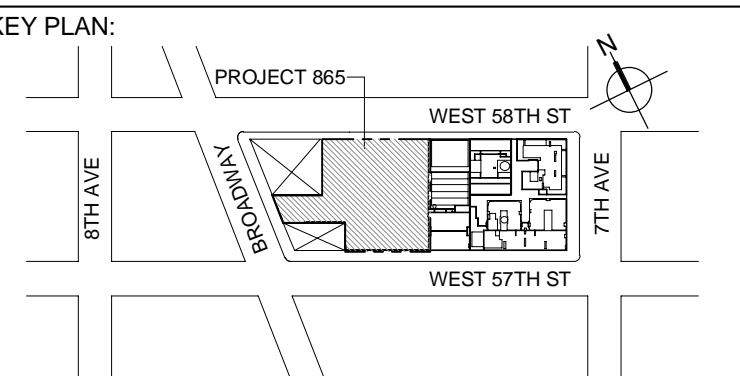
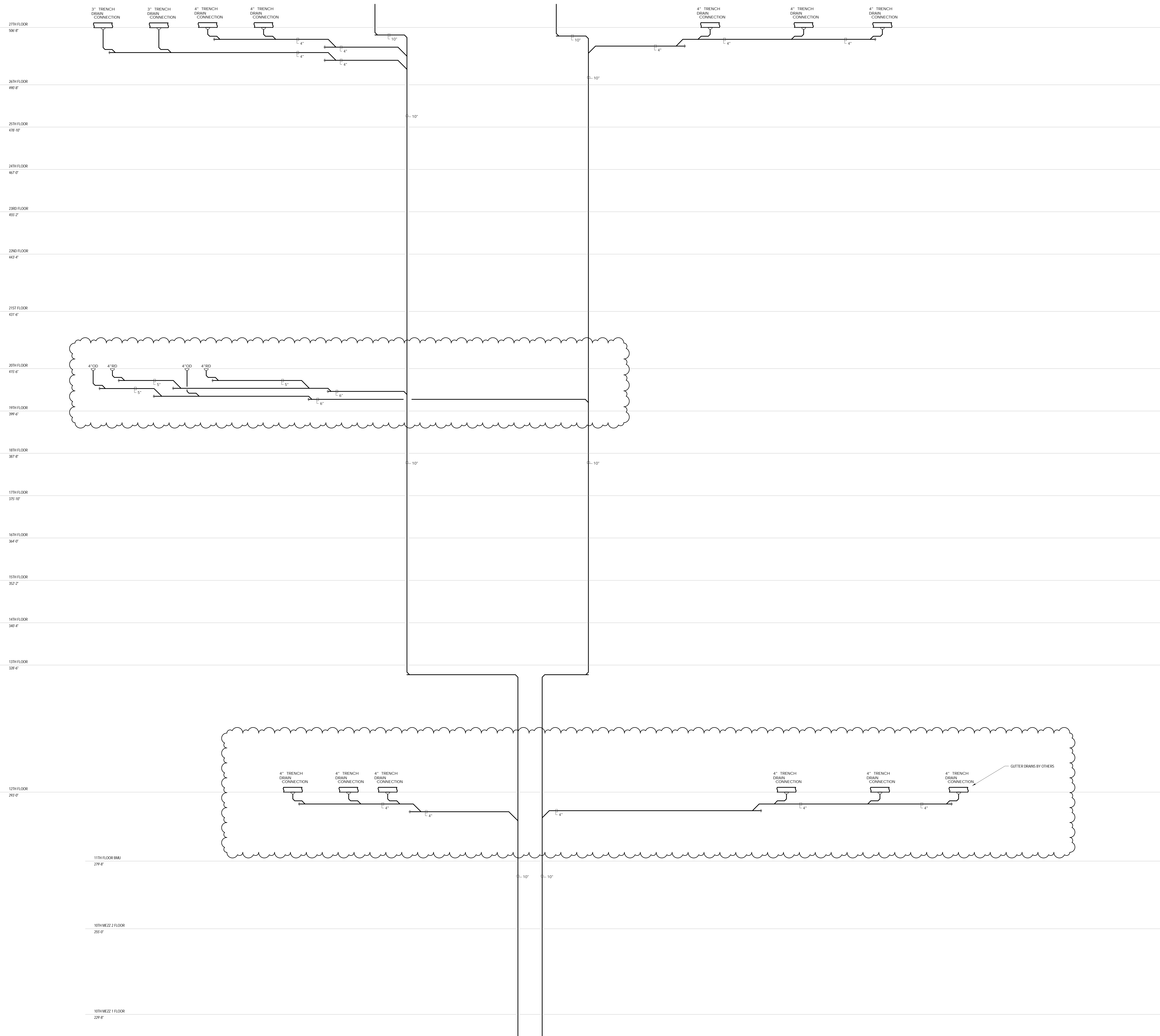
DWG No:
P-318.02

DOB PAGE No: 82 of 100	
DOB EMPLOYEE STAMP:	DOB B-SCAN:



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No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - PLUMBING	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 5	10 AUG 2015
8	DOB AMENDMENT 2	18 SEP 2015
9	CD PROGRESS ISSUE 6	02 NOV 2015
10	CD PROGRESS ISSUE 8 - GMP SET	18 MAR 2016
11	DOB AMENDMENT 3	03 OCT 2016

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217 WEST 57TH STREET
NEW YORK, NY


DRAWING TITLE:

PLUMBING
STORM RISER DIAGRAM

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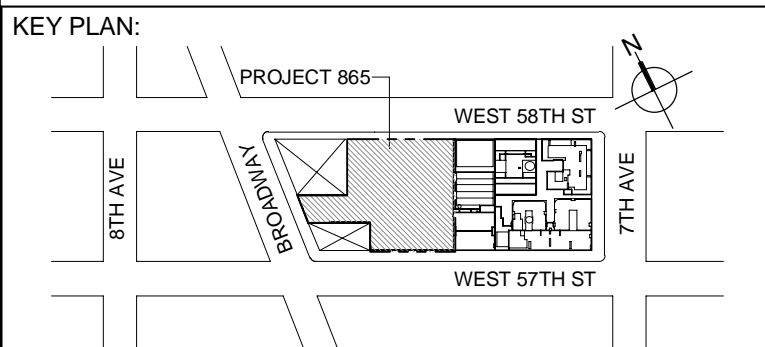
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DWG No: **P-325.02**

DOB PAGE No: 87 of 100



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PROJECT:


217 WEST 57TH STREET
NEW YORK, NY

DRAWING TITLE:

PLUMBING
STORM RISER DIAGRAM




SEAL & SIGNATURE:	DATE:	04/04/14
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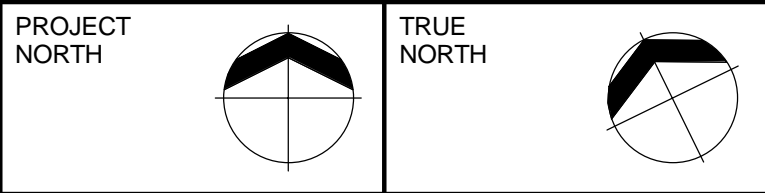
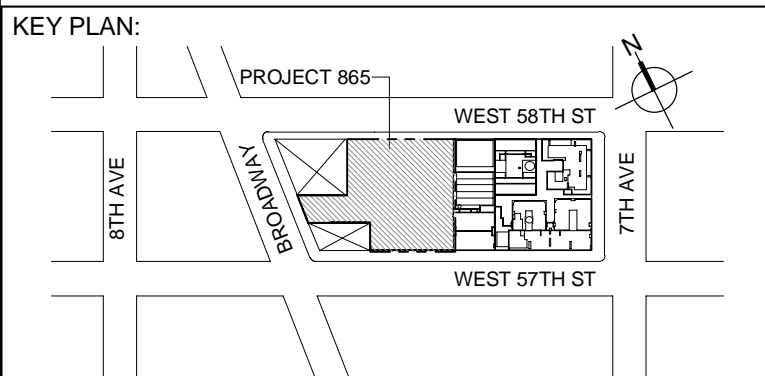
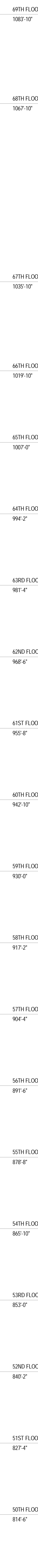
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P-326.02

DOB PAGE No: 88 of 100

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PROJECT:


217 WEST 57TH STREET
NEW YORK, NY


DRAWING TITLE:

PLUMBING
STORM RISER DIAGRAM

SEAL & SIGNATURE:	DATE:	04/04/14
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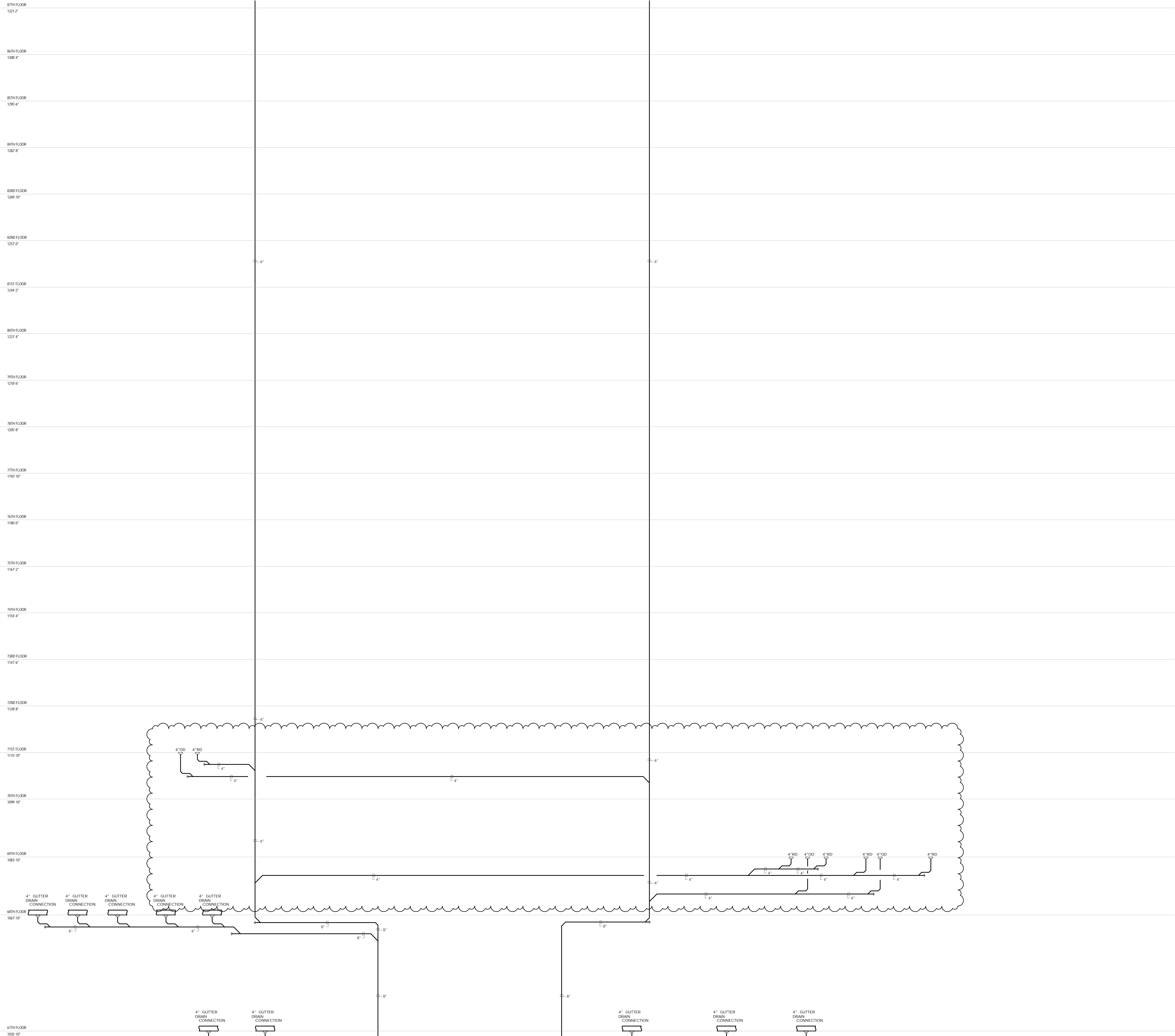
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DWG No:
P-327.02

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PROJECT NORTH



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No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	31 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BD - PLUMBING	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 5	10 AUG 2015
8	DOB AMENDMENT 2	18 SEP 2015
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PROJECT:

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DRAWING TITLE:

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STORM RISER DIAGRAM

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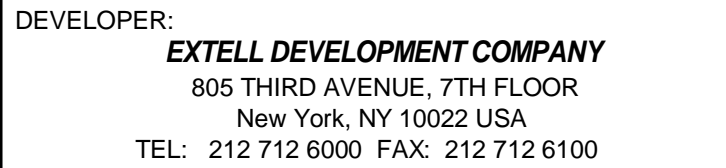
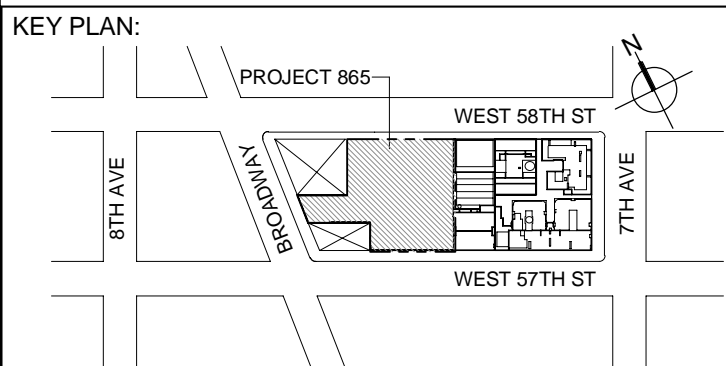
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P-328.02

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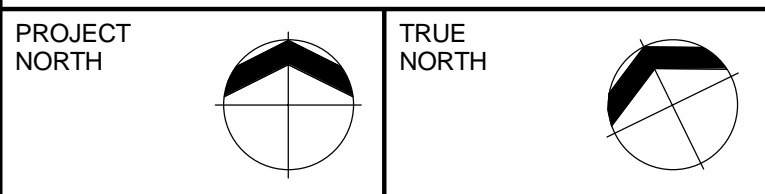
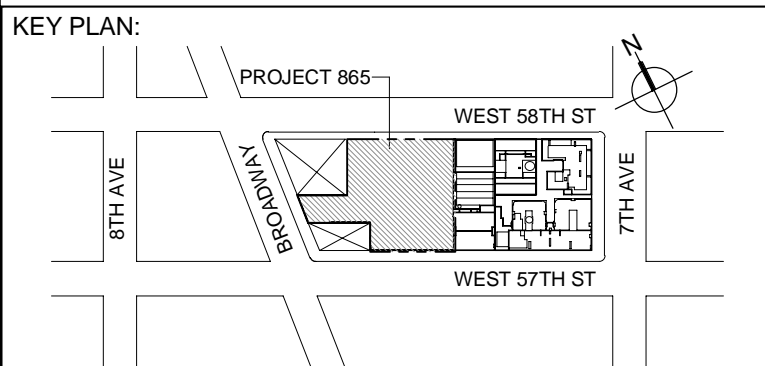
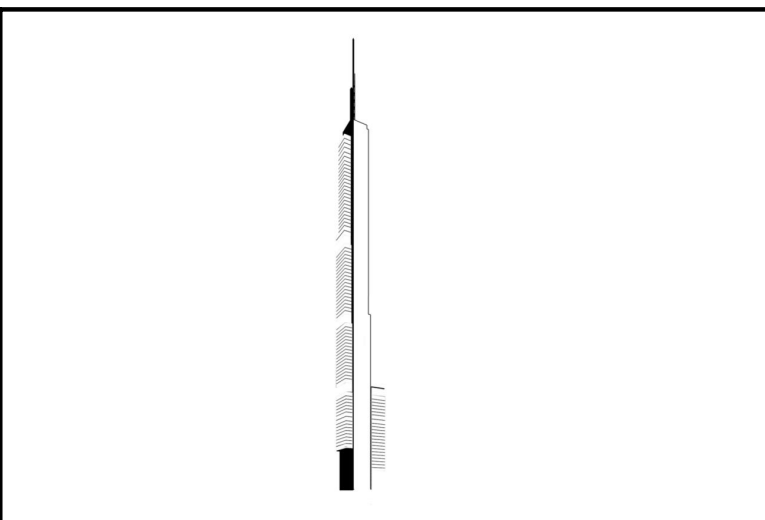
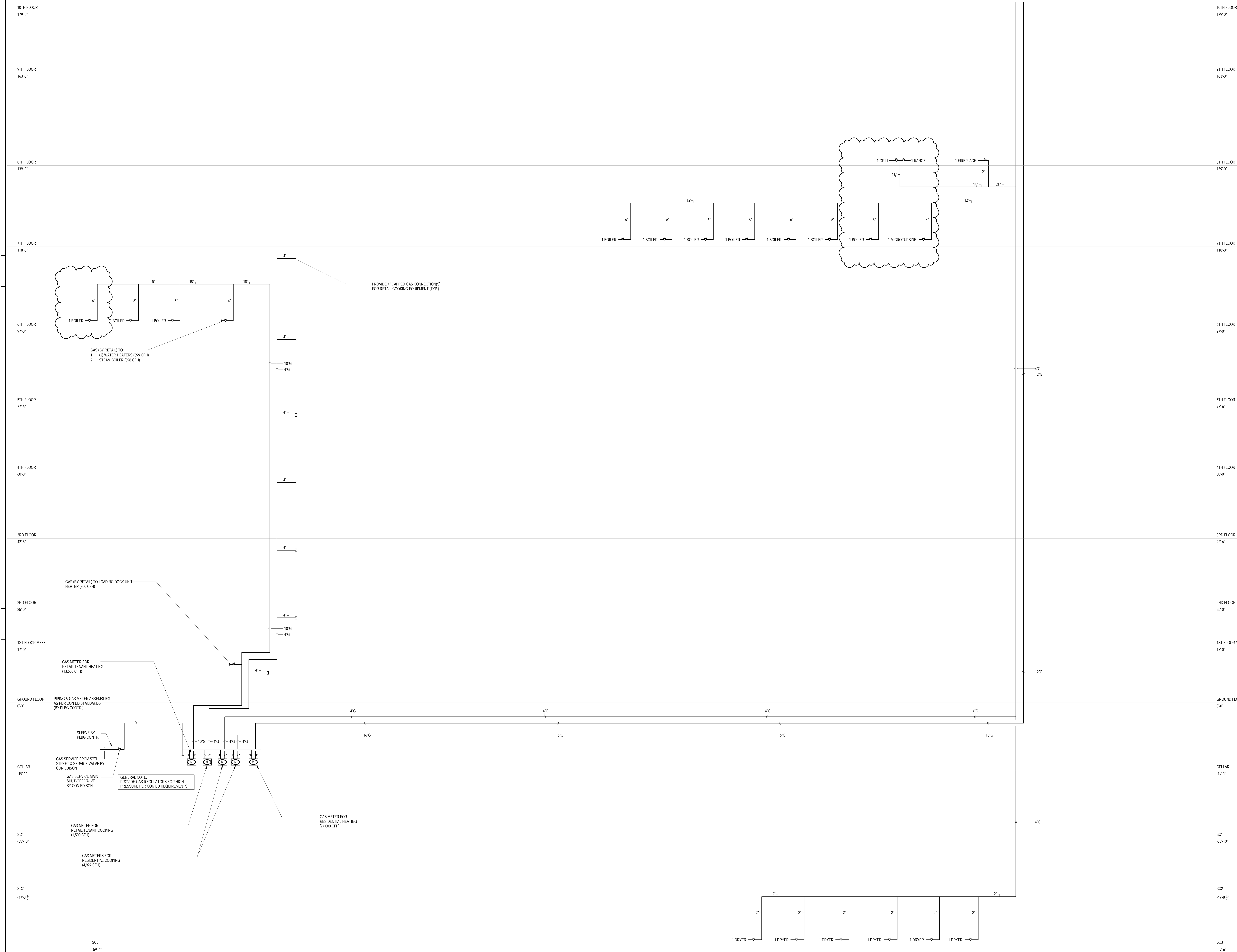
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NEW YORK, NY

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STORM RISER DIAGRAM

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P-329.02		
DOB PAGE No: 91 of 100		

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PROJECT:

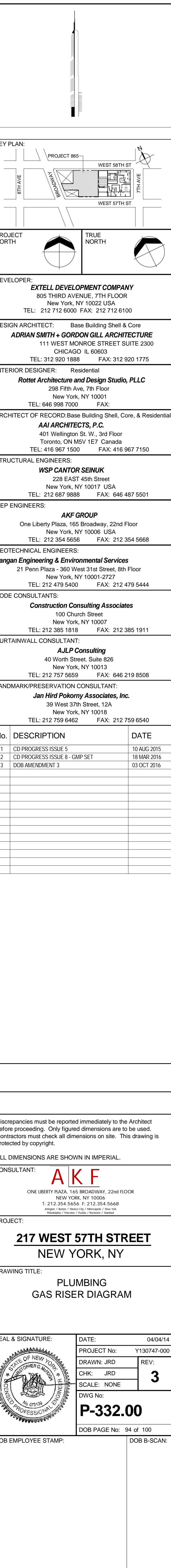
217 WEST 57TH STREET
NEW YORK, NY

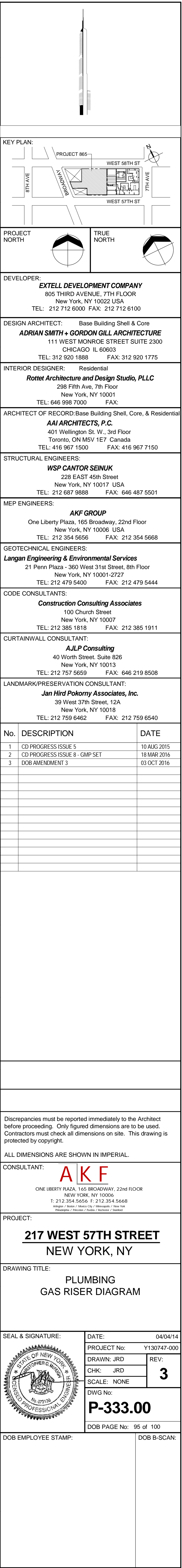
DRAWING TITLE:

PLUMBING
GAS RISER DIAGRAM

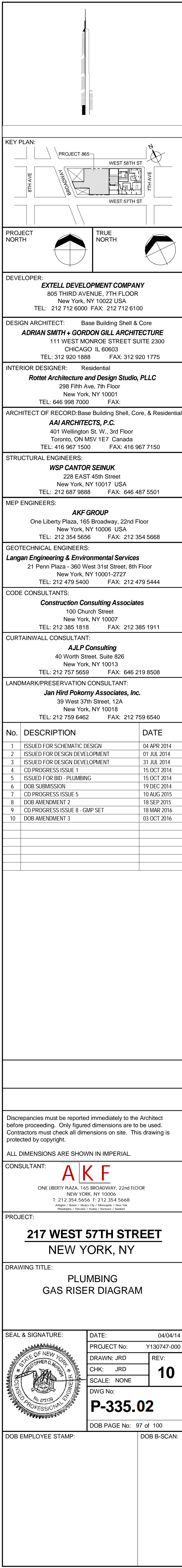
	DATE: 04/04/14	
	PROJECT No: Y130747-000	
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	CHK: JRD	4
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DWG No:		
P-330.02		

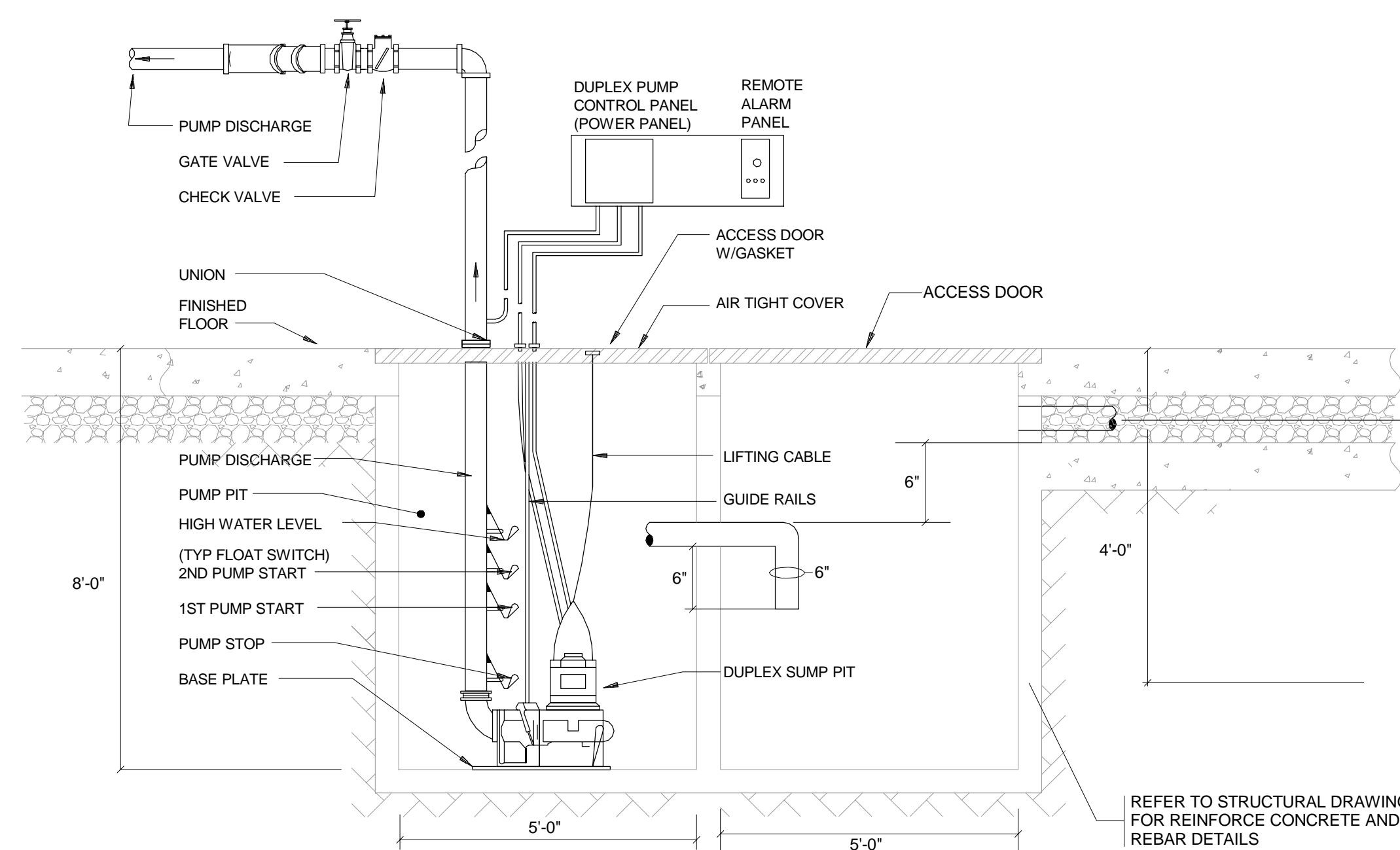
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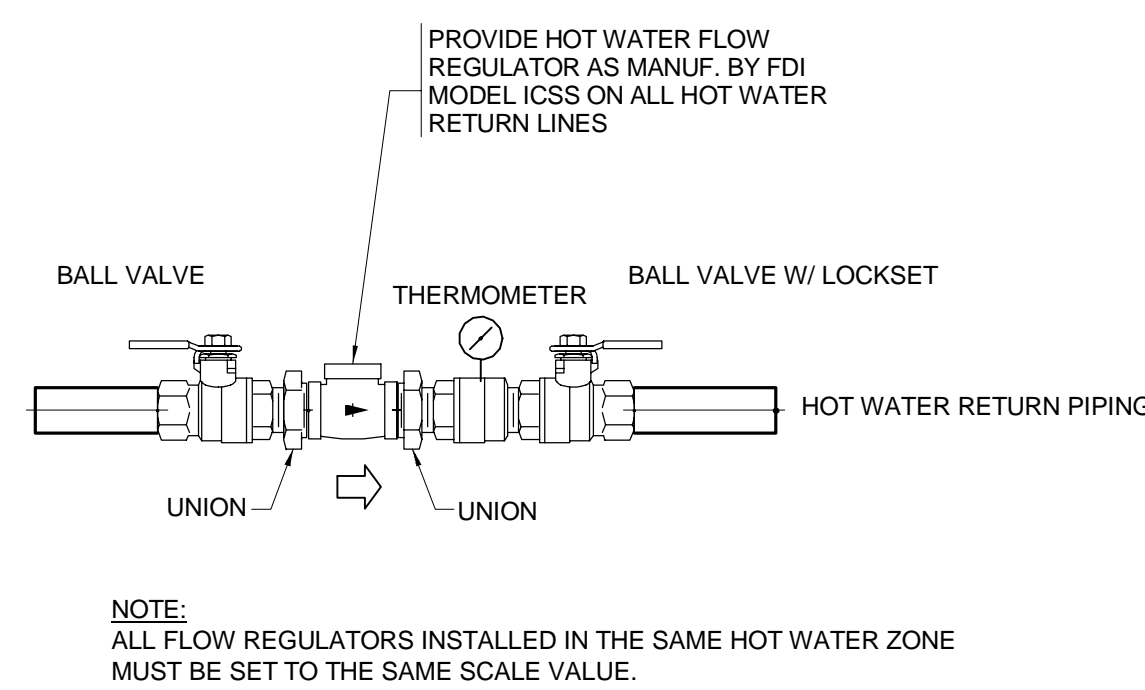




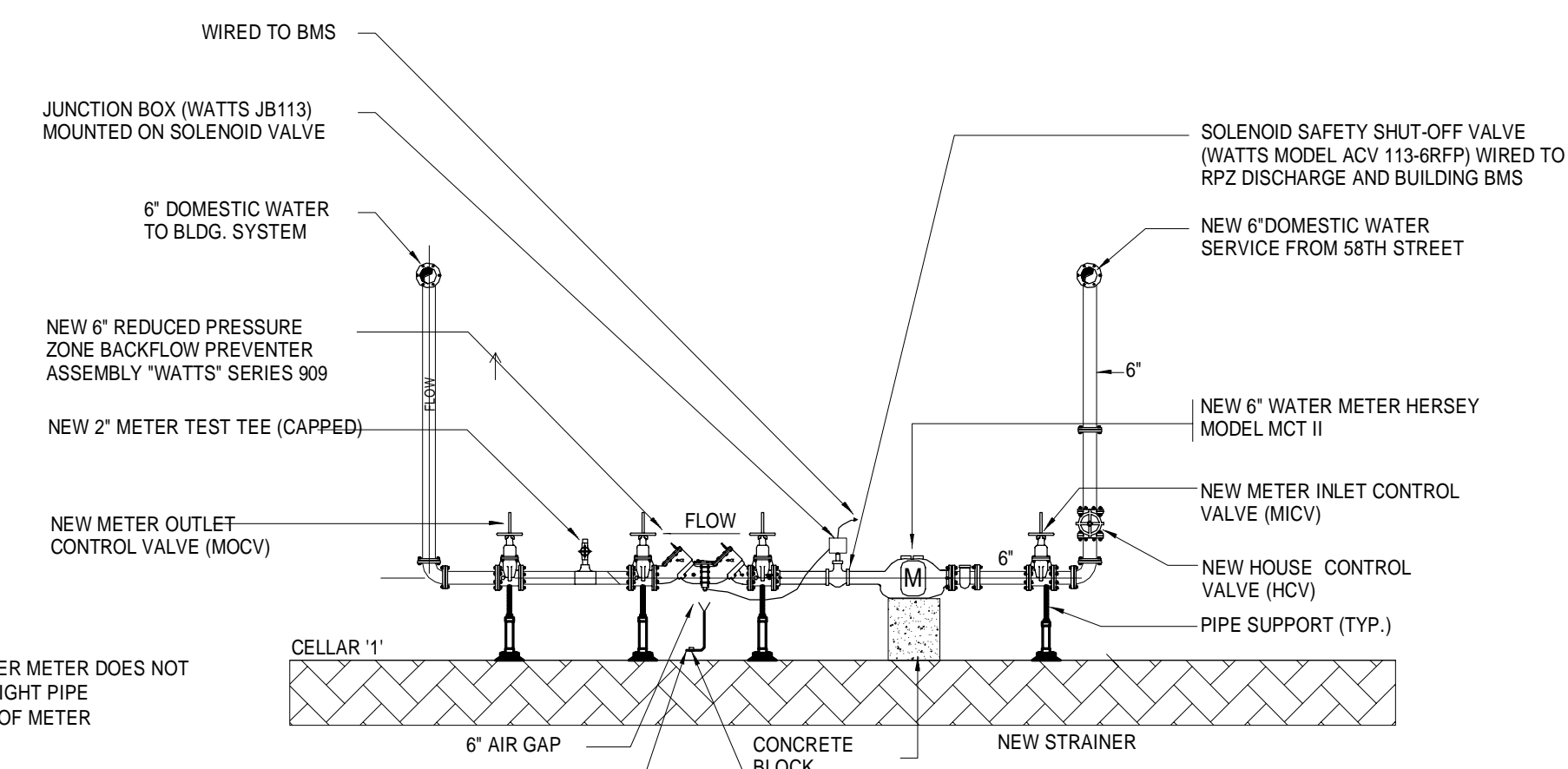




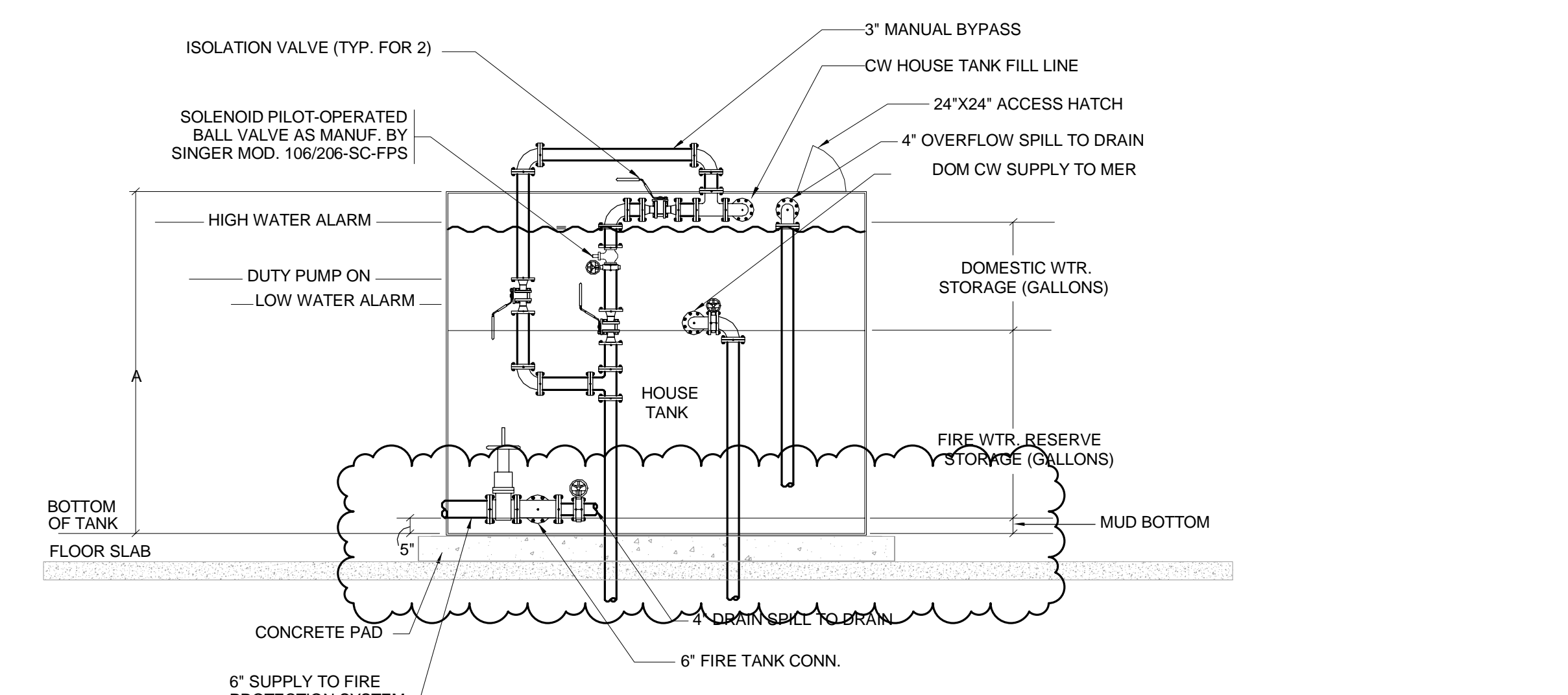
14 DUPLEX SUMP PUMPS IN SUMP PIT W/ SAND INTERCEPTOR
SCALE: N.T.S.



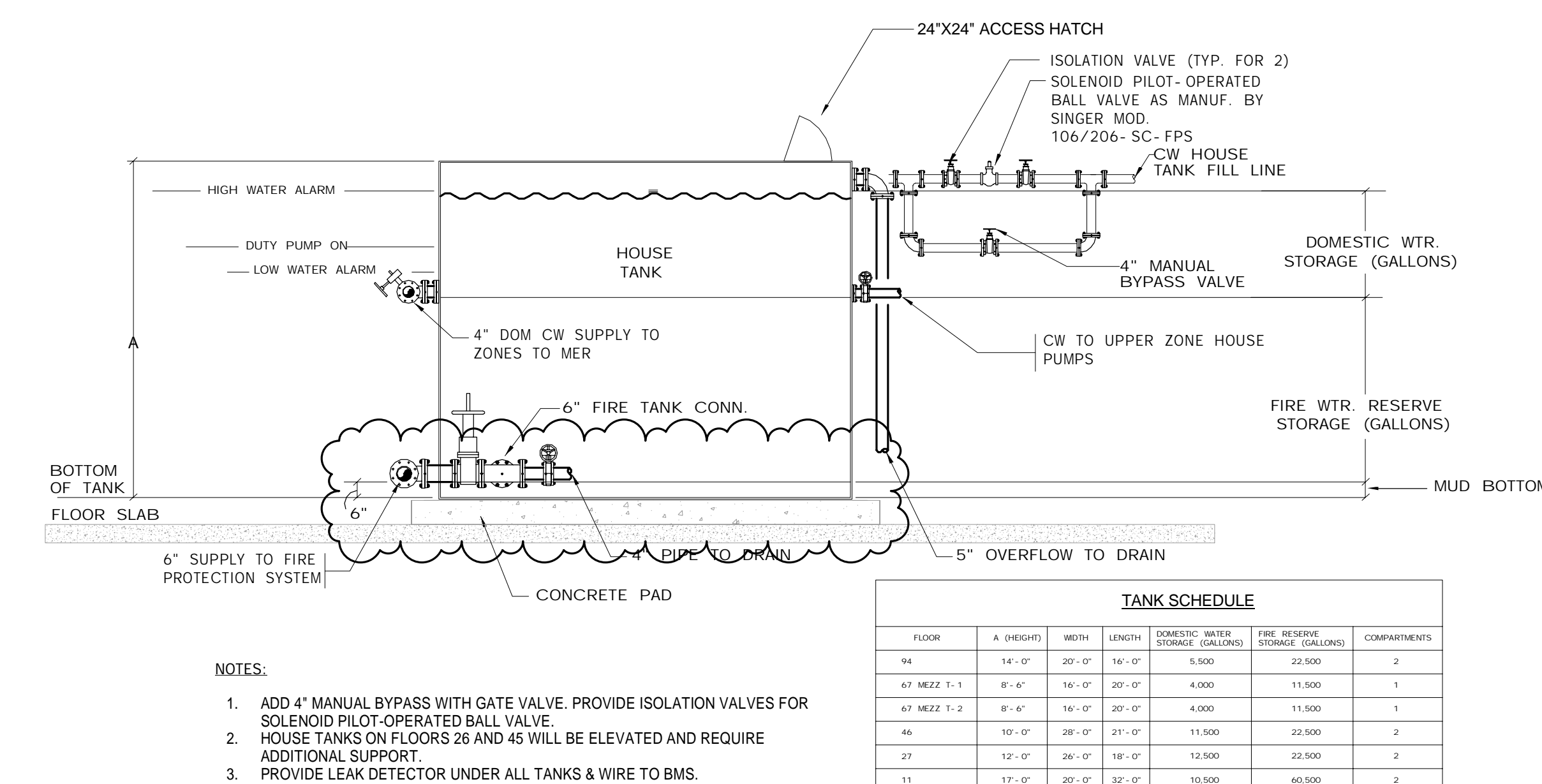
15 HOT WATER RETURN BALANCING ASSEMBLY
SCALE: N.T.S.



DOMESTIC WATER SERVICE BACKFLOW PREVENTER ASSEMBLY
SCALE: N.T.S.

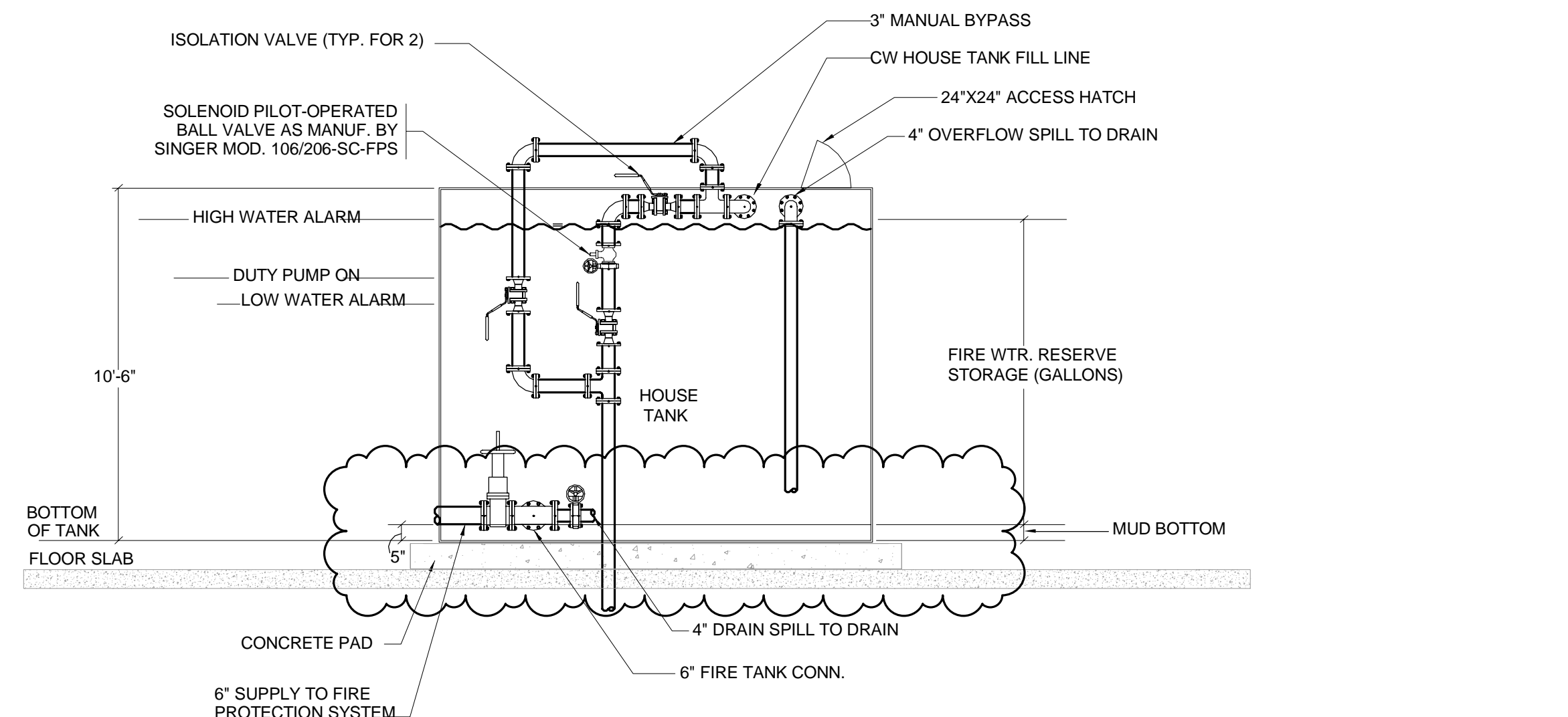


- NOTES:
1. ADD 3" MANUAL BYPASS WITH BALL VALVE. PROVIDE ISOLATION VALVES FOR SOLENOID PILOT-OPERATED BALL VALVE.
 2. PROVIDE LEAK DETECTORS UNDER ALL TANKS & WIRE TO BMS.

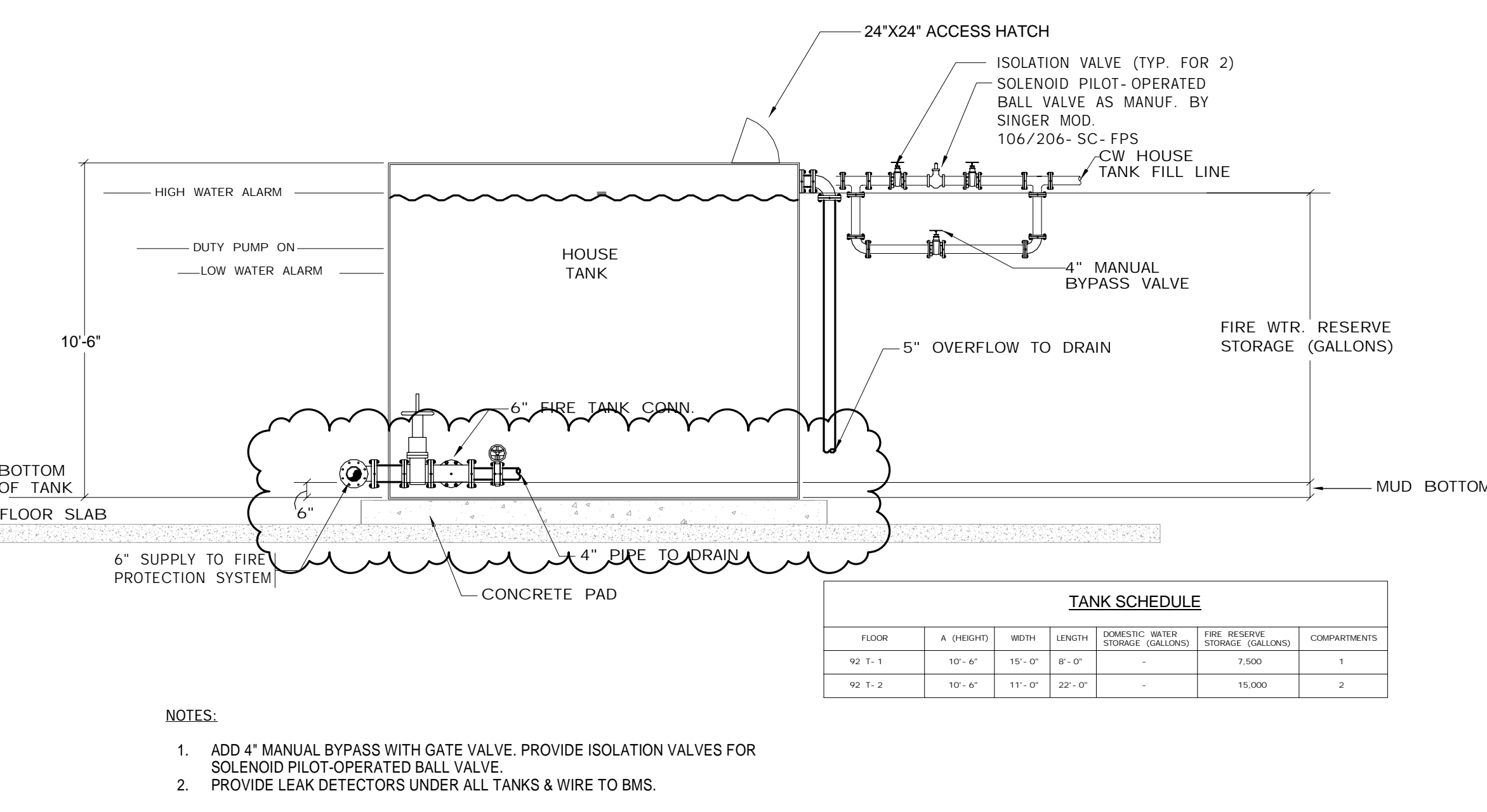


- NOTES:
1. ADD 4" MANUAL BYPASS WITH GATE VALVE. PROVIDE ISOLATION VALVES FOR SOLENOID PILOT-OPERATED BALL VALVE.
 2. PROVIDE LEAK DETECTORS UNDER ALL TANKS & WIRE TO BMS.

TANK SCHEDULE						
FLOOR	#	ZONE	WIDTH	LENGTH	DESIGN WATER STORAGE (GALLONS)	DESIGN FIRE STORAGE (GALLONS)
11	1	1	14'-0"	21'-0"	11,000	22,000
10	1	1	14'-0"	21'-0"	11,000	22,000
9	1	1	14'-0"	21'-0"	11,000	22,000
8	1	1	14'-0"	21'-0"	11,000	22,000
7	1	1	14'-0"	21'-0"	11,000	22,000
6	1	1	14'-0"	21'-0"	11,000	22,000
5	1	1	14'-0"	21'-0"	11,000	22,000
4	1	1	14'-0"	21'-0"	11,000	22,000
3	1	1	14'-0"	21'-0"	11,000	22,000
2	1	1	14'-0"	21'-0"	11,000	22,000
1	1	1	14'-0"	21'-0"	11,000	22,000

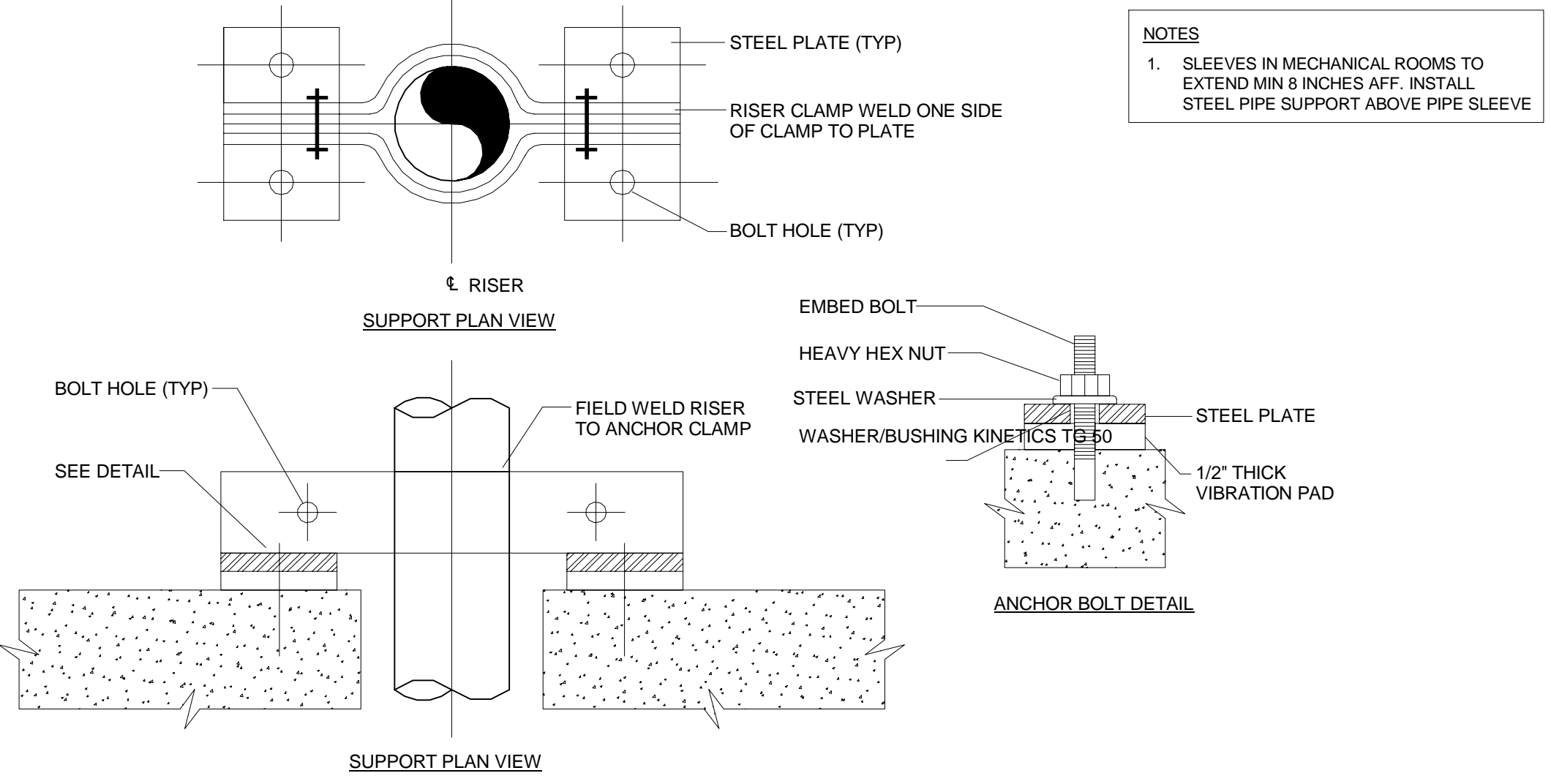


- NOTES:
1. ADD 3" MANUAL BYPASS WITH BALL VALVE. PROVIDE ISOLATION VALVES FOR SOLENOID PILOT-OPERATED BALL VALVE.
 2. PROVIDE LEAK DETECTORS UNDER ALL TANKS & WIRE TO BMS.

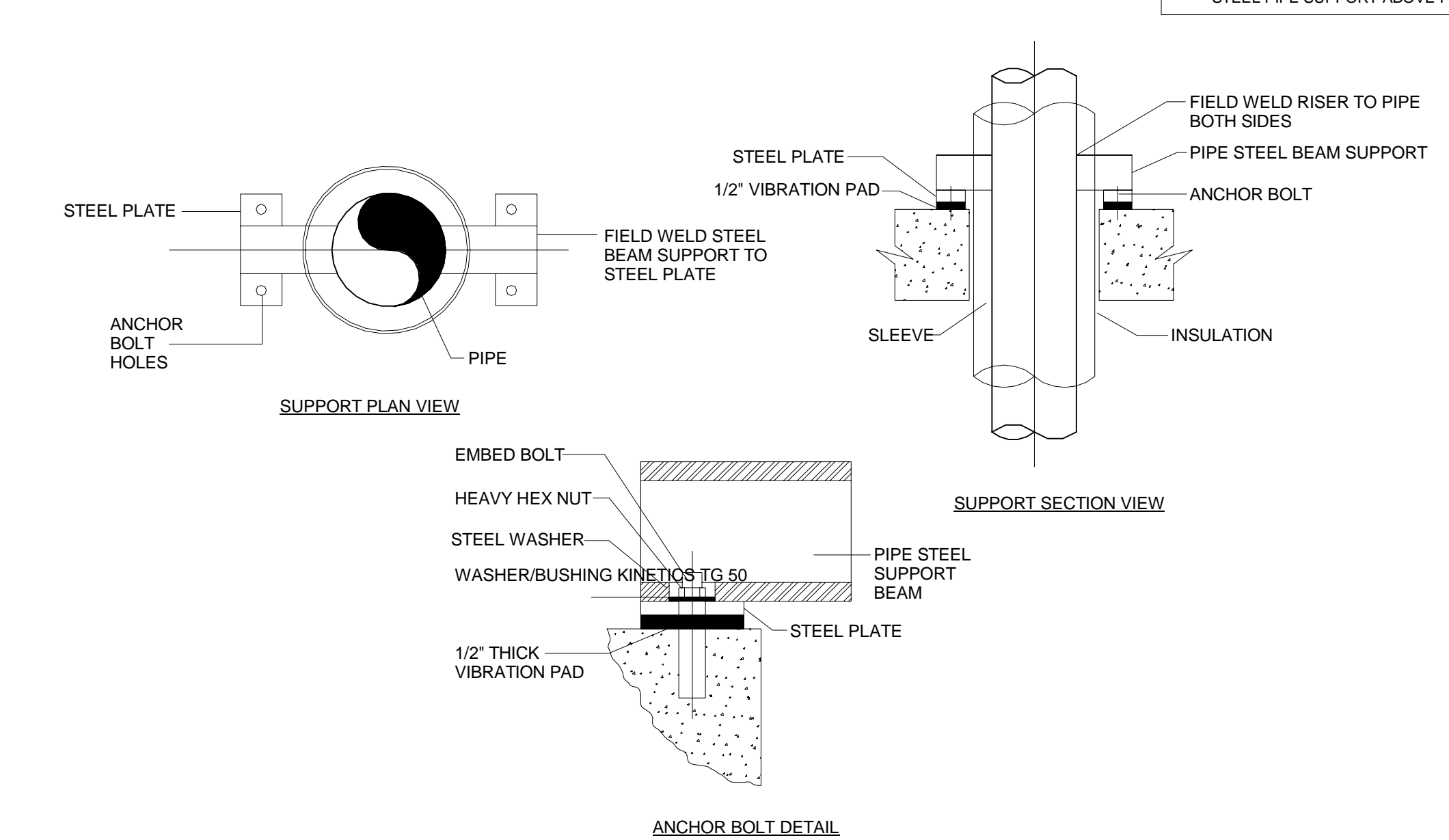


- NOTES:
1. ADD 4" MANUAL BYPASS WITH GATE VALVE. PROVIDE ISOLATION VALVES FOR SOLENOID PILOT-OPERATED BALL VALVE.
 2. PROVIDE LEAK DETECTORS UNDER ALL TANKS & WIRE TO BMS.

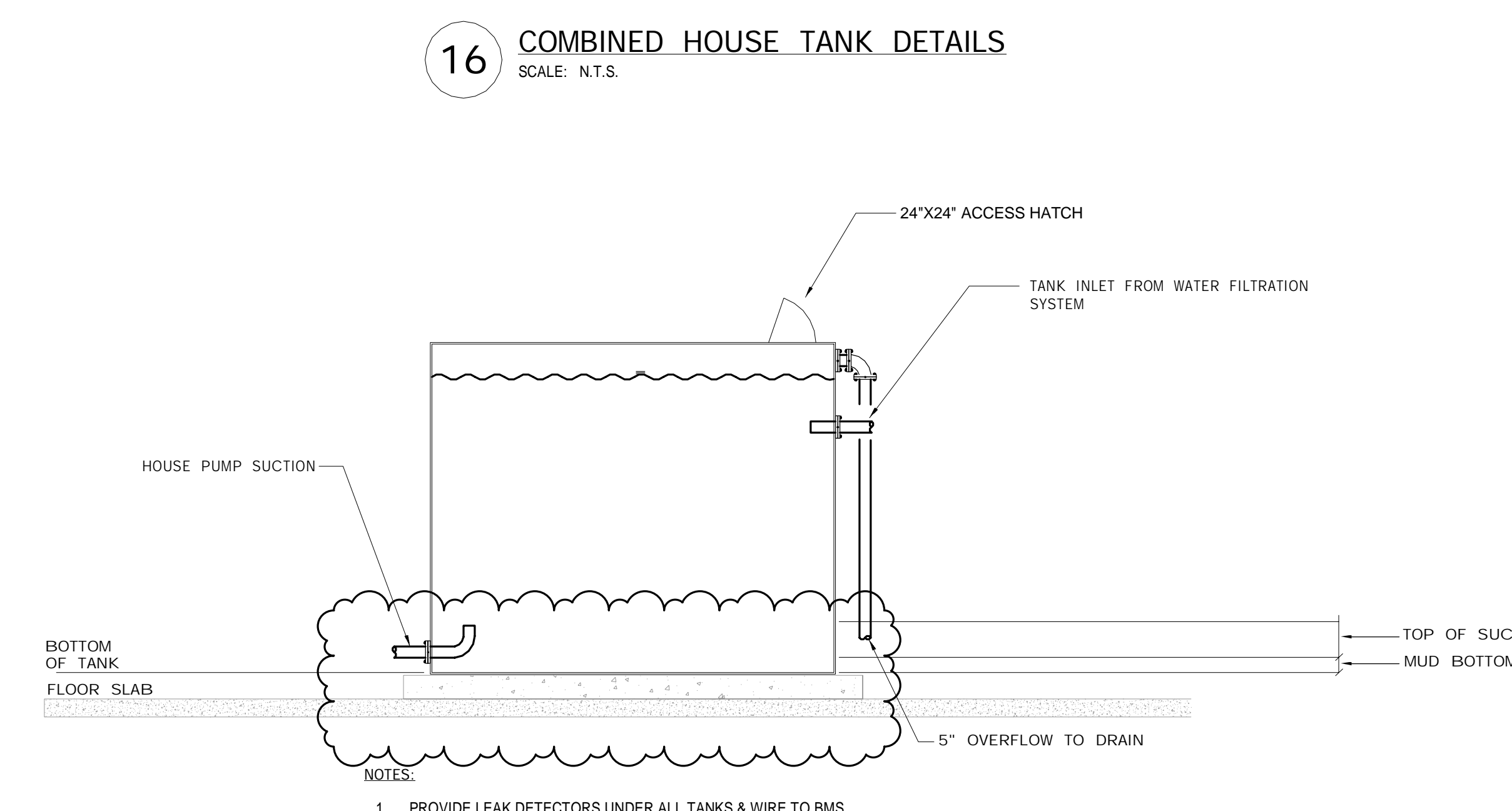
TANK SCHEDULE						
FLOOR	#	ZONE	WIDTH	LENGTH	DESIGN WATER STORAGE (GALLONS)	DESIGN FIRE STORAGE (GALLONS)
10	1	1	14'-0"	21'-0"	11,000	22,000
9	1	1	14'-0"	21'-0"	11,000	22,000



18 PIPE ANCHOR DETAIL #1
SCALE: N.T.S.



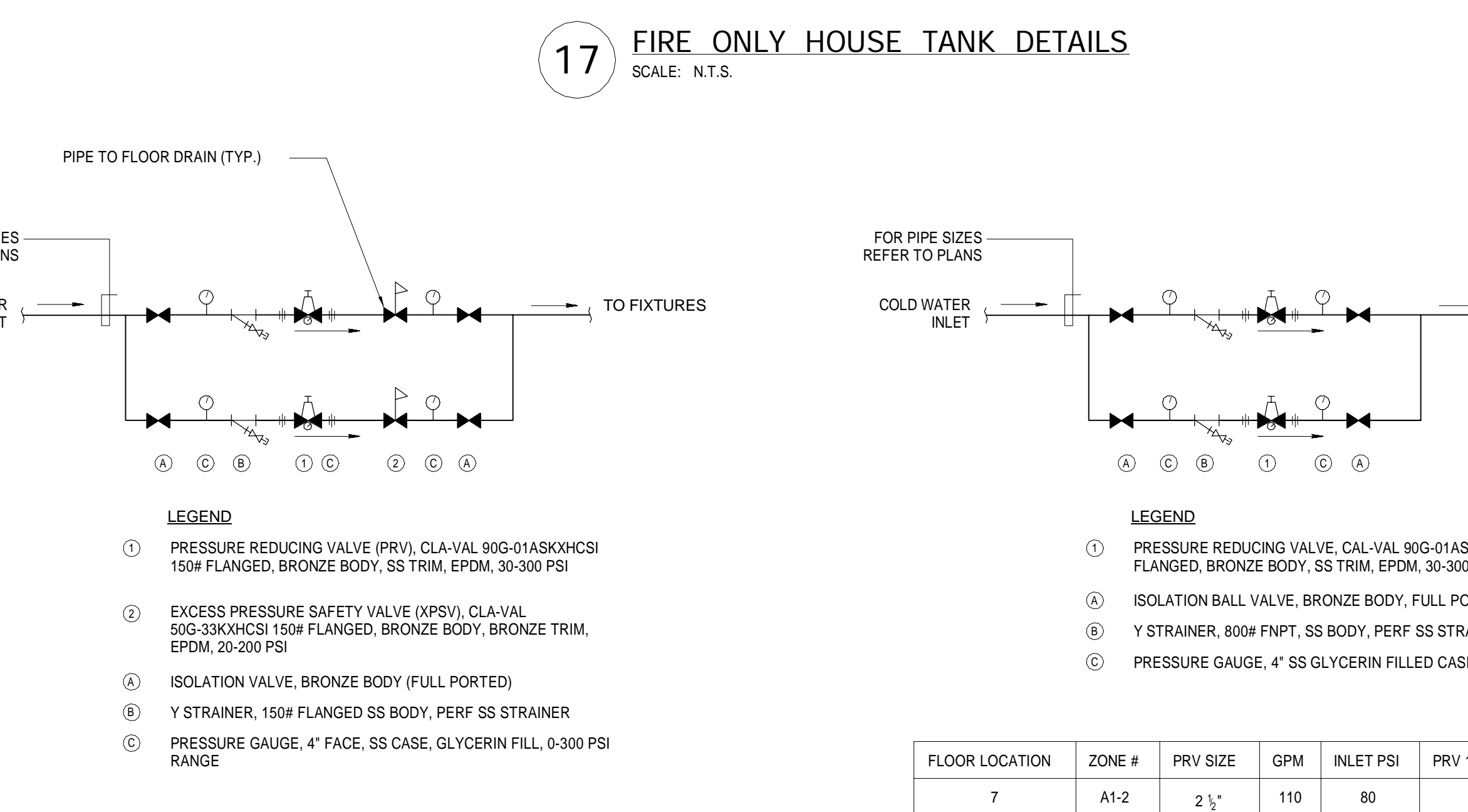
- NOTES:
1. SLEEVES IN MECHANICAL ROOMS TO EXTEND MIN 8 INCHES AFF. INSTALL STEEL PIPE SUPPORT ABOVE PIPE SLEEVE.



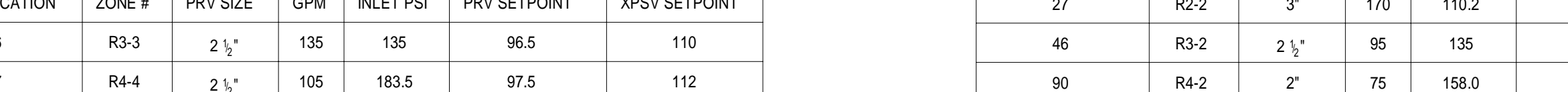
16 COMBINED HOUSE TANK DETAILS
SCALE: N.T.S.



20 SUCTION TANK DETAIL
SCALE: N.T.S.

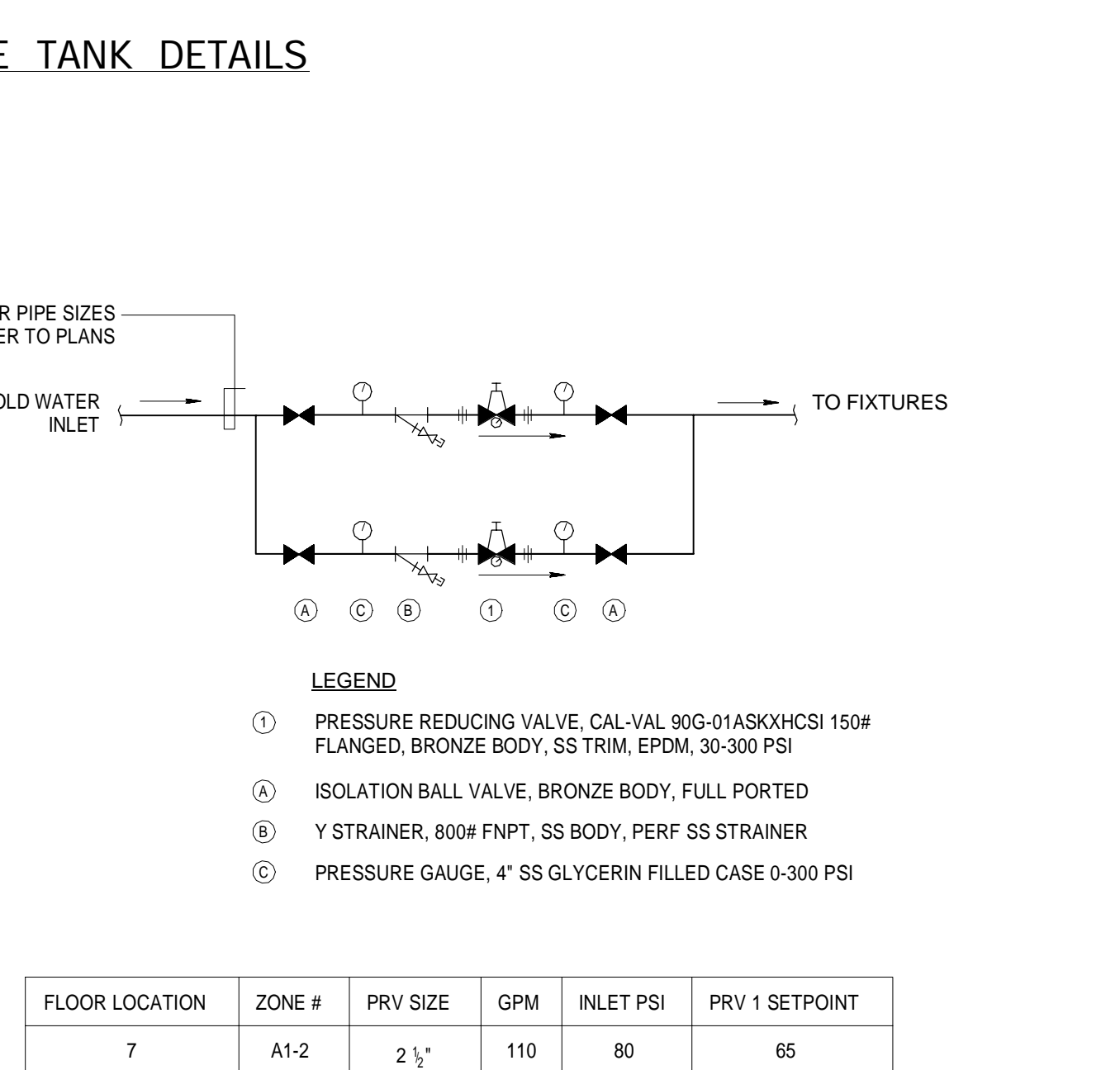


17 FIRE ONLY HOUSE TANK DETAILS
SCALE: N.T.S.



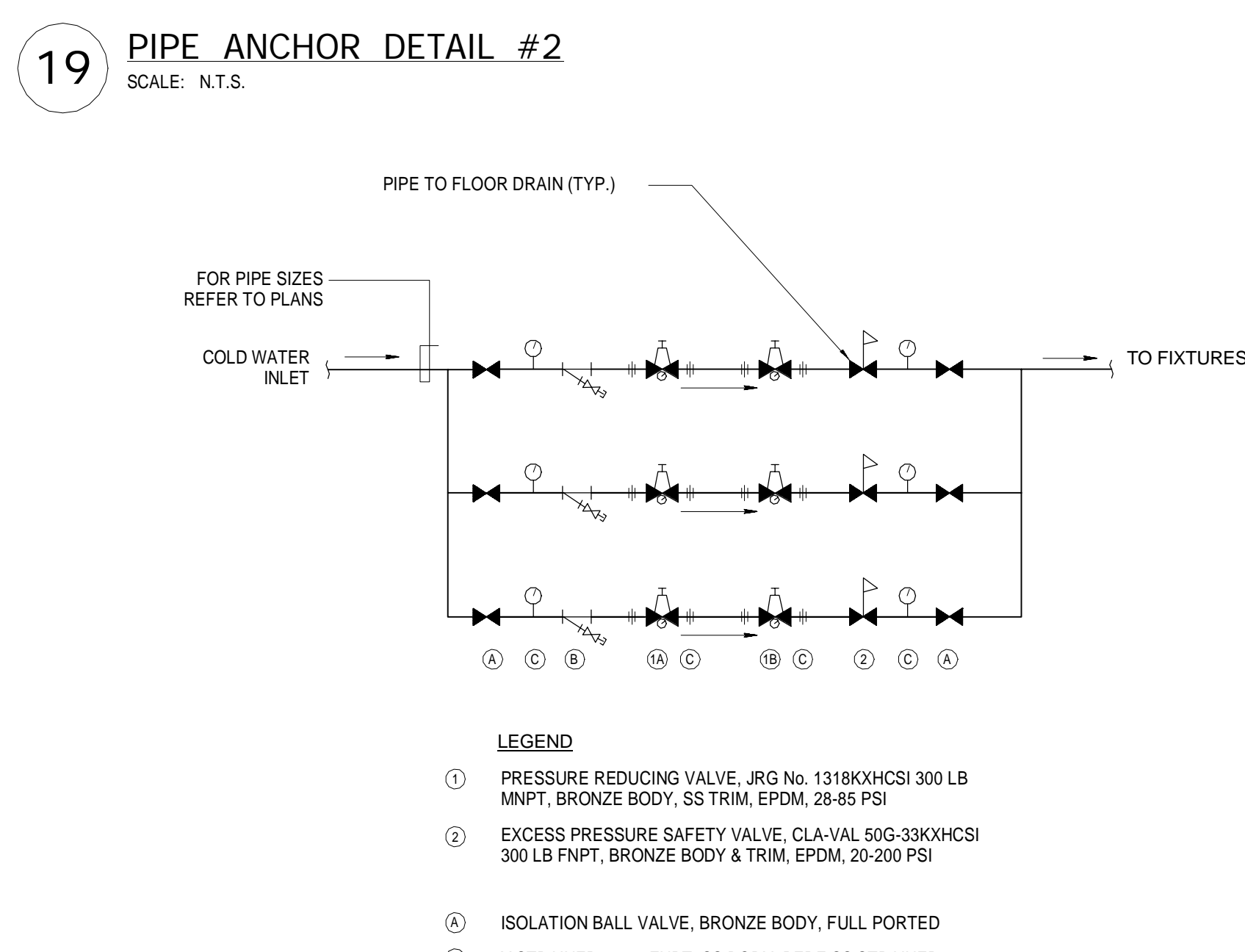
21 MASTER PRV STATION - WITH EXCESSIVE PRESSURE SAFETY VALVE (XPSV)
SCALE: N.T.S.

FLOOR LOCATION	ZONE #	PRV SIZE	GPM	INLET PSI	PRV SETPOINT	XPSV SETPOINT
46	R3-3	2 1/2"	135	135	96.5	110
67	R4-4	2 1/2"	105	183.5	97.5	112
67	R4-3	2 1/2"	105	183.5	146.7	160

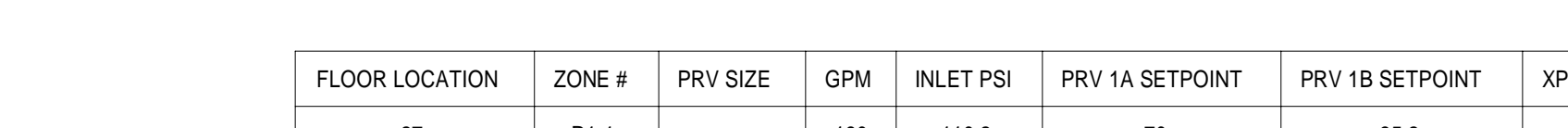


22 MASTER PRV STATION - WITHOUT EXCESSIVE PRESSURE SAFETY VALVE (XPSV)
SCALE: N.T.S.

FLOOR LOCATION	ZONE #	PRV SIZE	GPM	INLET PSI	PRV 1 SETPOINT
7	A1-2	2 1/2"	110	80	65
12	R1-2	3"	225	96.4	88.4
27	R2-2	3"	170	110.2	95.5
46	R3-2	2 1/2"	95	135	124.1
90	R4-2	2"	75	158.0	38.0



19 PIPE ANCHOR DETAIL #2
SCALE: N.T.S.



- LEGEND
1. PRESSURE REDUCING VALVE, JRG No. 1318KHCHS 300 LB FNPT, BRONZE BODY, SS TRIM, EPDM, 28-65 PSI
 2. EXCESS PRESSURE SAFETY VALVE, CLA-VAL 50G-33KHCHS 300 LB FNPT, BRONZE BODY & TRIM, EPDM, 20-200 PSI
 3. ISOLATION BALL VALVE, BRONZE BODY, FULL PORTED
 4. Y STRAINER, 800# FNPT, SS BODY, PERF SS STRAINER
 5. PRESSURE GAUGE, 4" SS GLYCERIN FILLED CASE 0-300 PSI

FLOOR LOCATION	ZONE #	PRV SIZE	GPM	INLET PSI	PRV 1A SETPOINT	PRV 1B SETPOINT	XPSV SETPOINT
27	R1-1	2 1/2"	180	110.2	70	35.2	50
46	R2-1	2 1/2"	180	135	70	35.2	50
67	R3-1	2 1/2"	120	183.5	75	42.5	50

23 MASTER PRV STATION - TWO STAGE REDUCTION
SCALE: N.T.S.

KEY PLAN

PROJECT: 217 WEST 57TH STREET, NEW YORK, NY

DEVELOPER: EXTRELL DEVELOPMENT COMPANY

DESIGN ARCHITECT: ADRIAN SMITH + GORDON GILL ARCHITECTURE

INTERIOR DESIGNER: Rotter Architecture and Design Studio, PLLC

ARCHITECT OF RECORD: ADRIAN SMITH + GORDON GILL ARCHITECTURE

STRUCTURAL ENGINEERS: VSP CANTOR SEINUK

MEP ENGINEERS: AKF GROUP

GEOTECHNICAL ENGINEERS: Langan Engineering & Environmental Services

CODE CONSULTANTS: Construction Consulting Associates

CURTAINWALL CONSULTANT: A.J.P. Consulting

LANDMARK/PRESERVATION CONSULTANT: Jan Hind Pokorny Associates, Inc.

No.	DESCRIPTION	DATE
1	ISSUED FOR SCHEMATIC DESIGN	04 APR 2014
2	ISSUED FOR DESIGN DEVELOPMENT	01 JUL 2014
3	ISSUED FOR DESIGN DEVELOPMENT	21 JUL 2014
4	CD PROGRESS ISSUE 1	15 OCT 2014
5	ISSUED FOR BID - PLUMBING	15 OCT 2014
6	DOB SUBMISSION	19 DEC 2014
7	CD PROGRESS ISSUE 3	09 MAR 2015
8	CD PROGRESS ISSUE 5	10 AUG 2015
9	DOB AMENDMENT 2	18 SEP 2015
10	CD PROGRESS ISSUE 6	30 NOV 2015
11	CD PROGRESS ISSUE 7	29 JAN 2016
12	CD PROGRESS ISSUE 8 - CMP SET	18 MAR 2016
13	DOB AMENDMENT 3	20 OCT 2016

0 4'-0" 8'-0" 16'-0"

Discrepancies must be reported immediately to the Architect before proceeding. Only figured dimensions are to be used. Contractors must check all dimensions on site. This drawing is protected by copyright.

ALL DIMENSIONS ARE SHOWN IN IMPERIAL.

CONSULTANT: AKF

PROJECT: 217 WEST 57TH STREET, NEW YORK, NY

DRAWING TITLE: PLUMBING DETAILS

SEAL & SIGNATURE: [Signature]

DATE: 04/04/14

PROJECT No: Y130747-000

DRAWN: JRD

CHK: JRD

SCALE: 1/8" = 1'-0"

DWG No: P-501.02

DOB PAGE No: 100 of 100

DOB EMPLOYEE STAMP: [Stamp]

DOB S-CAN: [Stamp]